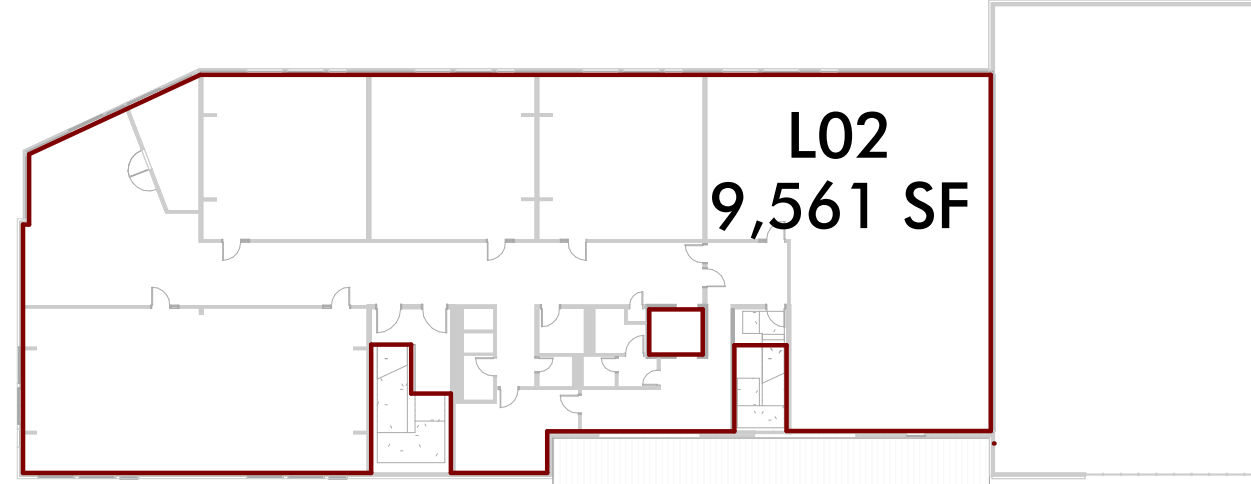
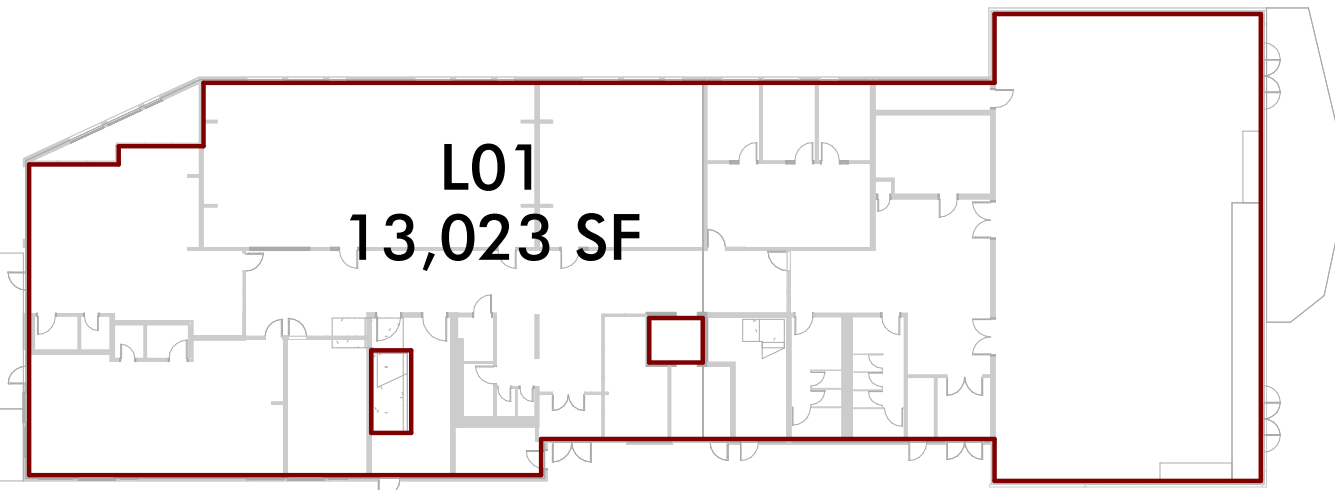


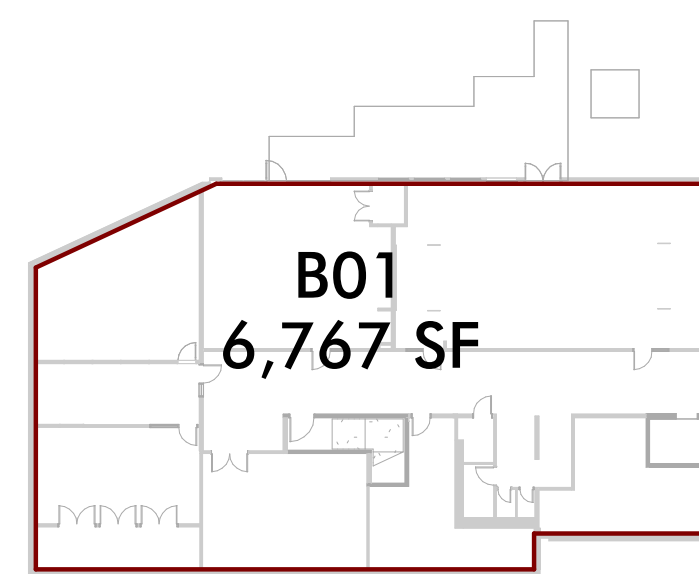
4 L03 BUILDING AREA DIAGRAM
1/32" = 1'-0"



3 L02 BUILDING AREA DIAGRAM
1/32" = 1'-0"



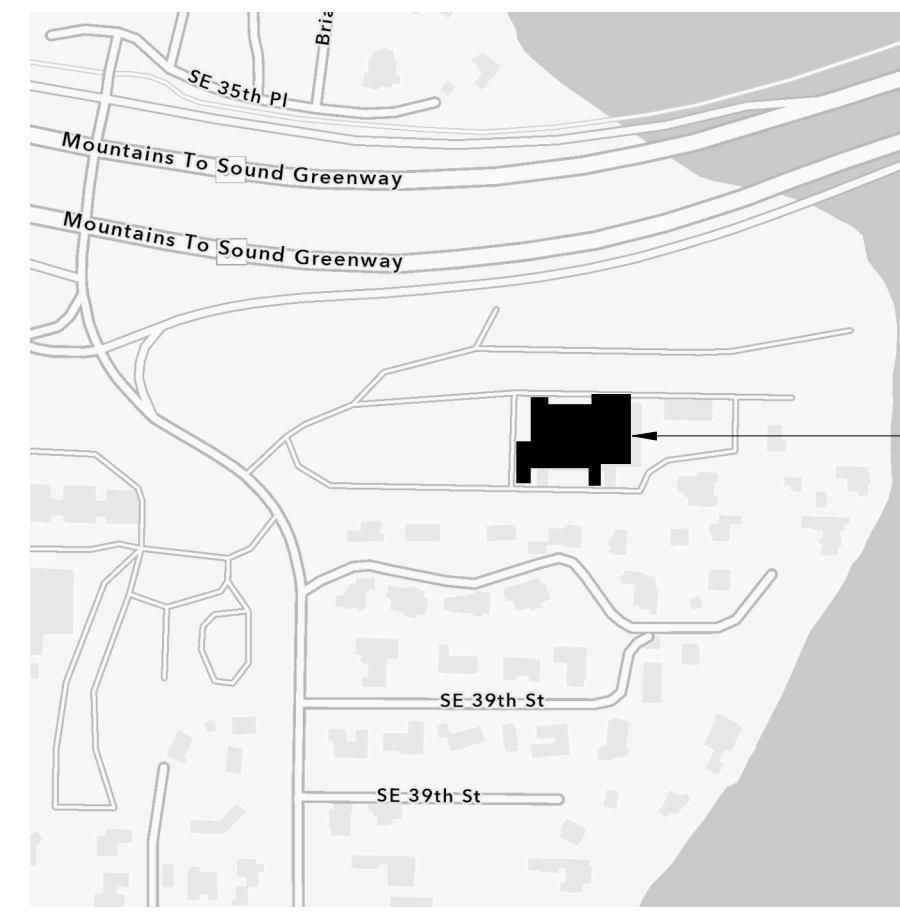
2 L01 BUILDING AREA DIAGRAM
1/32" = 1'-0"



1 B01 BUILDING AREA DIAGRAM
1/32" = 1'-0"

GROSS FLOOR AREA	
Level	Area
B01	6,767 SF
L01	13,023 SF
L02	9,561 SF
L03	7,593 SF
	36,945 SF

VICINITY MAP



PROJECT SITE

PROJECT DESCRIPTION (CUP)

THE PROPOSED PROJECT ON THE COMMERCIAL ZONED LOT IS A 3-STORY MIXED-USE BUILDING HOUSING A PRESCHOOL-8 PRIVATE SCHOOL AND COMMUNITY MULTIPURPOSE SPACE ON LEVELS 0, 1 AND 2; AND COMMUNITY OFFICE RENTAL SPACE ON LEVELS 2 AND 3.

THE EXISTING PERMITTED USES ON THE RESIDENTIALLY ZONED LOTS AT 3700 E MERCER WAY SITE INCLUDE A SYNAGOGUE BUILDING (USE APPROVED 1970); CARETAKER'S FACILITY AND OUTDOOR PLAY AREAS (1979); MULTIPURPOSE BUILDING (1979); NON-COMMERCIAL RECREATIONAL AREA USED BETWEEN 7 AM AND 10 PM (1979); AND ASSOCIATED PARKING.

THE PROPOSED AMENDMENT TO THE EXISTING CONDITIONAL USE PERMIT(S) WOULD ALLOW THE USERS OF THE MIXED-USE BUILDING TO SHARE THE SYNAGOGUE'S EXISTING PARKING LOTS FOR PARKING, DROP-OFF AND PICKUP DURING HOURS WHEN THE SYNAGOGUE IS NOT BEING USED FOR WORSHIP; AND WOULD PERMIT THE SCHOOL TO USE THE EXISTING OUTDOOR PLAY AREAS AND THE NON-COMMERCIAL RECREATIONAL AREA.

PROJECT DATA

PROJECT NAME
BARNABIE POINT PROJECT

FILE NUMBER
CUP24-001

OWNER
HERZEL-NER-TAMID CONSERVATIVE CONGREGATION

ADDRESS
3700 E MERCER WAY
MERCER ISLAND, WA 98040

ZONING DESIGNATION
R-9.6

LEGAL DESCRIPTION
PARCEL A: (APN 082405-9045-07)
THAT PORTION OF GOVERNMENT LOT 11, SECTION 8, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON; TOGETHER WITH THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE WEST LINE OF GOVERNMENT LOT 11 WITH THE NORTH LINE OF DOYLE-HANSEN ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 75 OF PLATS, PAGE 24, RECORDS OF KING COUNTY, WASHINGTON;
THENCE SOUTH 89°09'34" EAST SLOING THE NORTH OF SAID DOYLE-HANSEN ADDITION, A DISTANCE OF 253.49 FEET TO THE WEST LINE OF LOT 7 OF CHANNEL CREST, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 72 OF PLATS, PAGE 63, RECORDS OF KING COUNTY, WASHINGTON;
THENCE NORTH 01°12'29" EAST ALONG SAID WEST LINE, A DISTANCE OF 111.48 FEET TO THE SOUTH LINE OF TRACT "A" OF SAID CHANNEL CREST;
THENCE SOUTH 85°39'49" WEST ALONG SAID SOUTH LINE 173.15 FEET TO SOUTHEASTERLY LINE OF LAND CONVEYED TO STATE OF WASHINGTON TOLL BRIDGE AUTHORITY UNDER RECORDING NO. 3032009;
THENCE SOUTH 65°24'55" WEST ALONG SOUTHEASTERLY LINE TO THE EASTERLY MARGIN OF EAST MERCER WAY, AS CONVEYED TO KING COUNTY UNDER RECORDING NO. 923897;
THENCE SOUTH 01°02'29" WEST TO THE NORTH LINE OF SAID DOYLE-HANSEN ADDITION;
THENCE SOUTH 89°09'34" EAST ALONG SAID NORTH LINE 70.61 FEET TO THE POINT OF BEGINNING.

PARCEL B: (APN 210700-0010-06)
LOTS 1 THROUGH 5, INCLUSIVE, DOYLE-HANSEN ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 75 OF PLATS, PAGE 24, RECORDS OF KING COUNTY, WASHINGTON.

PARCEL C: (APN 151560-0010-06)
LOTS 1 THROUGH 7, INCLUSIVE, CHANNEL CREST, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 72 OF PLATS, PAGE 63, RECORDS OF KING COUNTY, WASHINGTON;

TOGETHER WITH AN UNDIVIDED 7/8THS INTEREST IN TRACT "A" OF SAID PLAT.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

ASSESSOR'S PARCEL NUMBER
0824059045, 1515600010, 2107000010, 151560TRCT

SCOPE OF WORK
CONSTRUCTION OF A 3-STORY SCHOOL AND OFFICE BUILDING.

DESIGN TEAM

ARCHITECT
ANJALI GRANT DESIGN
3427 BEACON AVE S
SEATTLE, WA 98144
(206) 512-4209

COLLABORATING ARCHITECT
GRACE LEONG
STUDIO MGL
1425 WESTERN AVE #201
SEATTLE, WA 98101
(206) 354-9116

CIVIL ENGINEER
JACOBSON CONSULTING ENGINEERS
255 S KING ST, SUITE 800
SEATTLE, WA 98104
(206) 426-2600

STRUCTURAL ENGINEER
PCS STRUCTURAL SOLUTIONS
1011 WESTERN AVE, UNIT 810
SEATTLE, WA 98104
(206) 292-5076

MECHANICAL, PLUMBING
HV ENGINEERING
6912 220TH STREET SW, SUITE 303
MOUNTLAKE TERRACE, WA 98043
(206) 706-9669

ELECTRICAL ENGINEER
TF-WB
1200 WESTLAKE AVE N,
SEATTLE, WA 98109
(206) 285-7228

LANDSCAPE ARCHITECT
KK-LA
111 WEST JOHN STREET, SUITE 306
SEATTLE, WA 98119
(206) 323-6032

ACOUSTICS
A3 ACOUSTICS LLP
1909 25TH AVE S, SUITE A
SEATTLE, WA 98144
(206) 551-5280

SEPA CONSULTANT
JEFF DING
EA ENGINEERING, SCIENCE &
TECHNOLOGY, INC.
2200 SIXTH AVENUE, SUITE 707
SEATTLE, WA 98121

ENVIRONMENTAL
RAEDEKE ASSOCIATES, INC.
2111 N. NORTHGATE WAY STE. 219
SEATTLE, WASHINGTON, 98133
(206) 525-8122

GEOTECHNICAL
ASSOCIATED EARTH SCIENCES, INC.
911 5TH AVENUE
KIRKLAND, WASHINGTON 98033
425-827-7701

SHEET INDEX - CUP

SHEET #	SHEET NAME
A-001A	CUP PLANSET - SHEET INDEX, GENERAL NOTES
A-010	LAND USE/SITE PLAN
A-011	SITE PLAN ENLARGED-WEST
A-012	SITE PLAN ENLARGED-EAST

1 (1970) EXISTING SITE PLAN, GRADING, PAVING (FOR REFERENCE ONLY)

1	SURVEY PROVIDED FOR REFERENCE ONLY
2	SURVEY PROVIDED FOR REFERENCE ONLY
3	SURVEY PROVIDED FOR REFERENCE ONLY
4	SURVEY PROVIDED FOR REFERENCE ONLY
5	SURVEY PROVIDED FOR REFERENCE ONLY
6	SURVEY PROVIDED FOR REFERENCE ONLY
7	SURVEY PROVIDED FOR REFERENCE ONLY

C0.10	OVERALL SITE PLAN
C1.00	OVERALL DEMO PLAN
C3.00	OVERALL GRADING PLAN
C6.00	OVERALL PAVING AND STRIPING PLAN
C6.01	PAVING AND STRIPING PLAN
C6.02	PAVING AND STRIPING PLAN

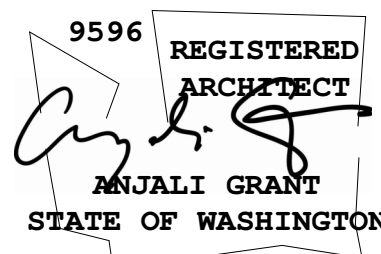
L-101	TREE PROTECTION PLAN - WEST
L-102	TREE PROTECTION PLAN - EAST
L-103	TREE INVENTORY & REPLACEMENT
L-201	LANDSCAPE PLAN - WEST
L-202	LANDSCAPE PLAN - EAST
L-203	LANDSCAPE PLAN - ENLARGEMENT
L-204	LANDSCAPE DETAILS

APPENDIX A	TITLE REPORT
APPENDIX B	ARBORIST REPORT
APPENDIX C	WETLAND DELINEATION REPORT
APPENDIX E	SEPA CHECKLIST

SHEET COUNT: 29

3427 BEACON AVE S
SEATTLE 98144
ANJALI@AGRANTDESIGN.COM
206-512-4209

anjali grant design LLC



3700 E MERCER WAY
BARNABIE POINT PROJECT

NO.	DATE	DESCRIPTION
	22 SEPTEMBER 2024	CONDITIONAL USE PERMIT

PROJECT:

CUP PLANSET - SHEET INDEX,
GENERAL NOTES

A-001A

PROJECT NAME
BARNABIE POINT PROJECT

FILE NUMBER
CUP24-001

OWNER
HERZEL-NER-TAMID CONSERVATIVE CONGREGATION

ADDRESS
3700 E MERCER WAY
MERCER ISLAND, WA 98040

ZONING DESIGNATION
R-9.6

LEGAL DESCRIPTION
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PARCEL B: (APN 210700-0010-06)
LOTS 1 THROUGH 5, INCLUSIVE, DOYLE-HANSEN ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 75 OF PLATS, PAGE 24, RECORDS OF KING COUNTY, WASHINGTON.

PARCEL C: (APN 151560-0010-06)
LOTS 1 THROUGH 7, INCLUSIVE, CHANNEL CREST, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 72 OF PLATS, PAGE 63, RECORDS OF KING COUNTY, WASHINGTON.

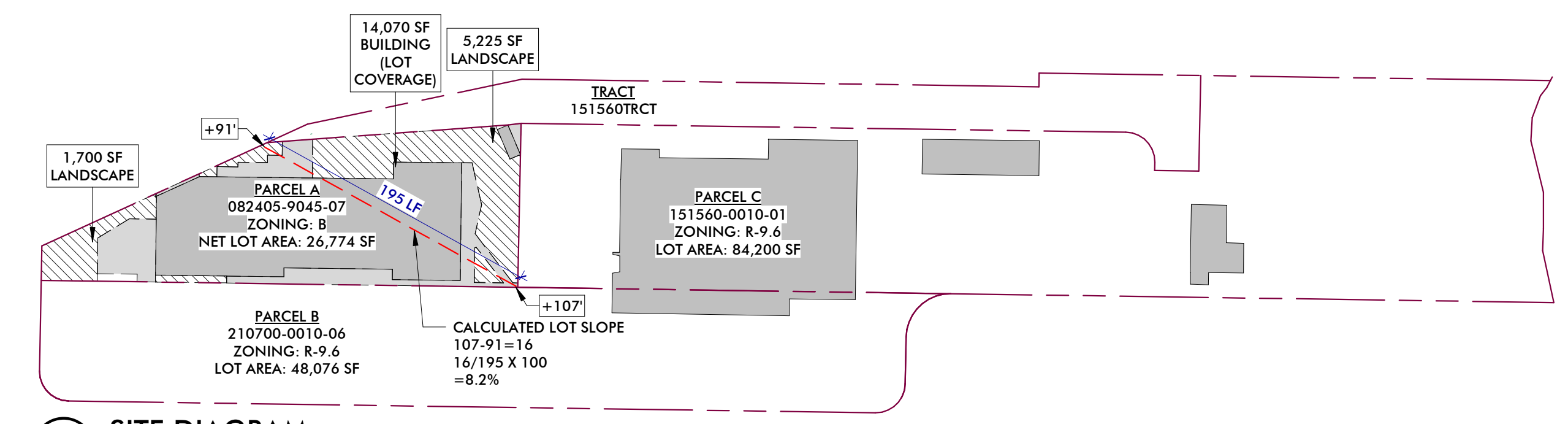
TOGETHER WITH AN UNDIVIDED 7/8THS INTEREST IN TRACT "A" OF SAID PLAT.
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

ASSESSOR'S PARCEL NUMBER
0824059045, 1515600010, 2107000010, 151560TRCT

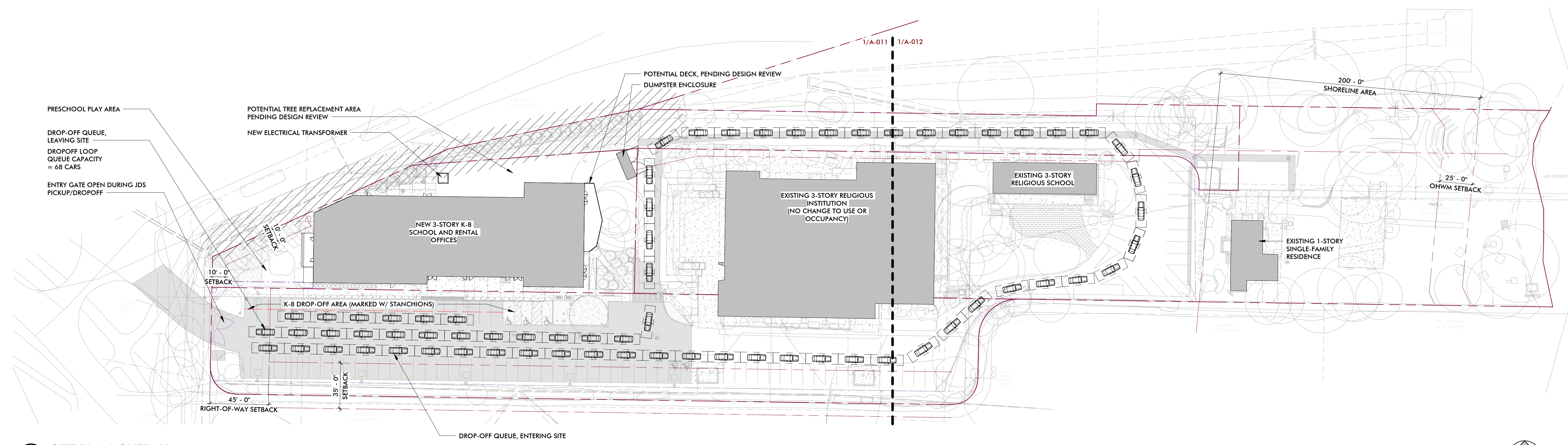
SCOPE OF WORK
CONSTRUCTION OF A 3-STORY SCHOOL AND OFFICE BUILDING.

LOT AREAS (B-ZONED PARCEL)		
Comments	AREA	% OF TOTAL LOT AREA
BUILDING (LOT COVERAGE)	14,070 SF	53%
	14,070 SF	53%
HARDSCAPE	4,871 SF	18%
	4,871 SF	18%
LANDSCAPE	5,225 SF	20%
LANDSCAPE	1,700 SF	6%
LANDSCAPE	232 SF	1%
LANDSCAPE	262 SF	1%
LANDSCAPE	385 SF	1%
	7,804 SF	29%
	26,745 SF	100%

MINIMUM LANDSCAPE REQUIREMENT FOR BUSINESS (B) ZONE - 25% OF GROSS LOT AREA.
LOT AREA: 26,881 SF
MINIMUM LANDSCAPE REQUIREMENT: 6,720 SF



2 SITE DIAGRAM
1" = 80'-0"



1 SITE PLAN-OVERALL
1" = 40'-0"

3427 BEACON AVE S
SEATTLE 98144
ANJALI@AGRANTDESIGN.COM
206-512-4209

anjali grant design LLC

9596 REGISTERED ARCHITECT
ANJALI GRANT
STATE OF WASHINGTON

3700 E MERCER WAY
BARNABIE POINT PROJECT

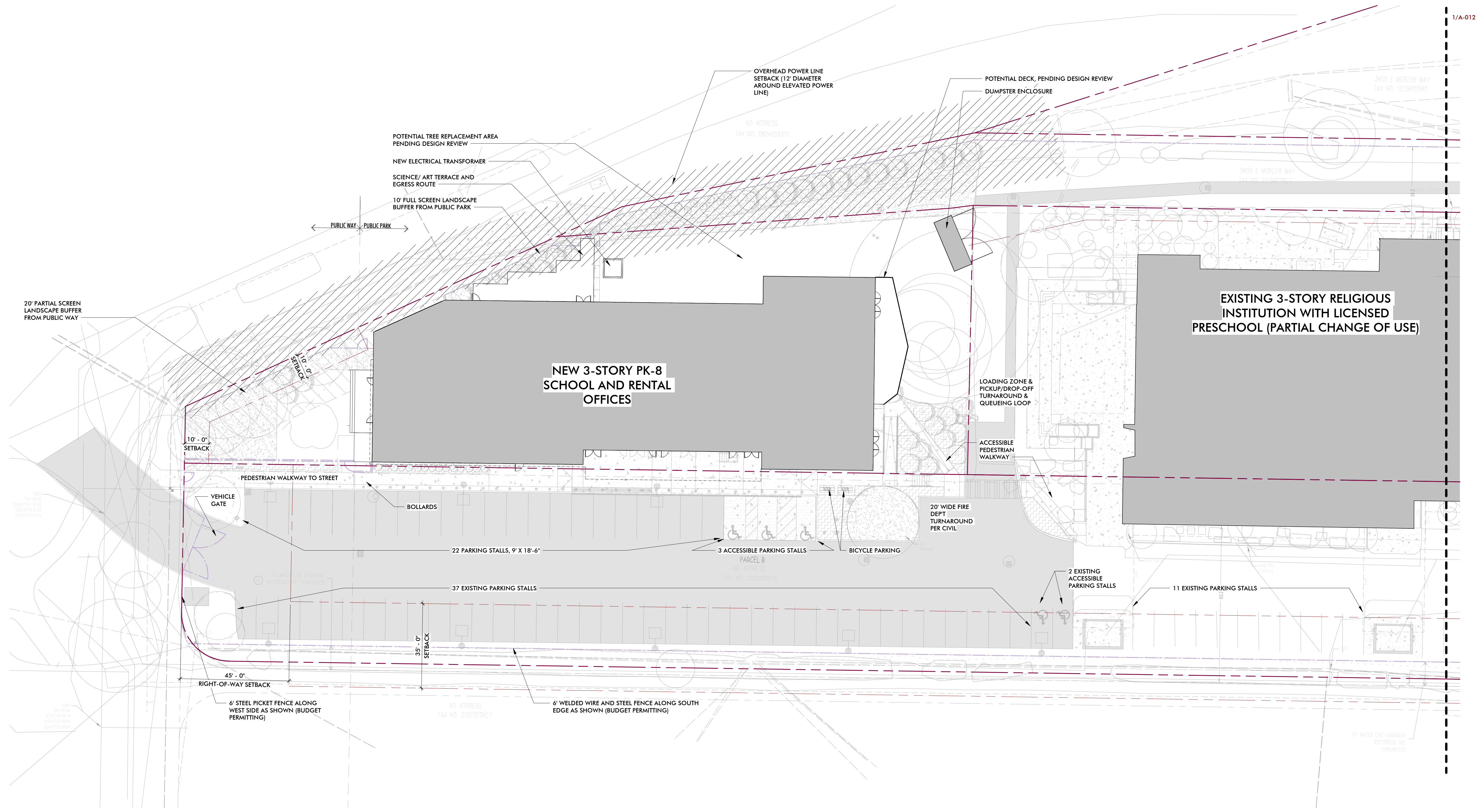
NO.	DATE	DESCRIPTION
	22 SEPTEMBER 2024	CONDITIONAL USE PERMIT

PROJECT:

LAND USE/SITE PLAN

A-010

09/10/2024 6:38:00 AM Anjali Grant Design Barnabie Point 20241001 CUP 2024-001
© ANJALI GRANT DESIGN LLC ORIGINAL SHEET SIZE: 24" X 36"



NO.	DATE	DESCRIPTION
22	SEPTEMBER 2024	CONDITIONAL USE PERMIT

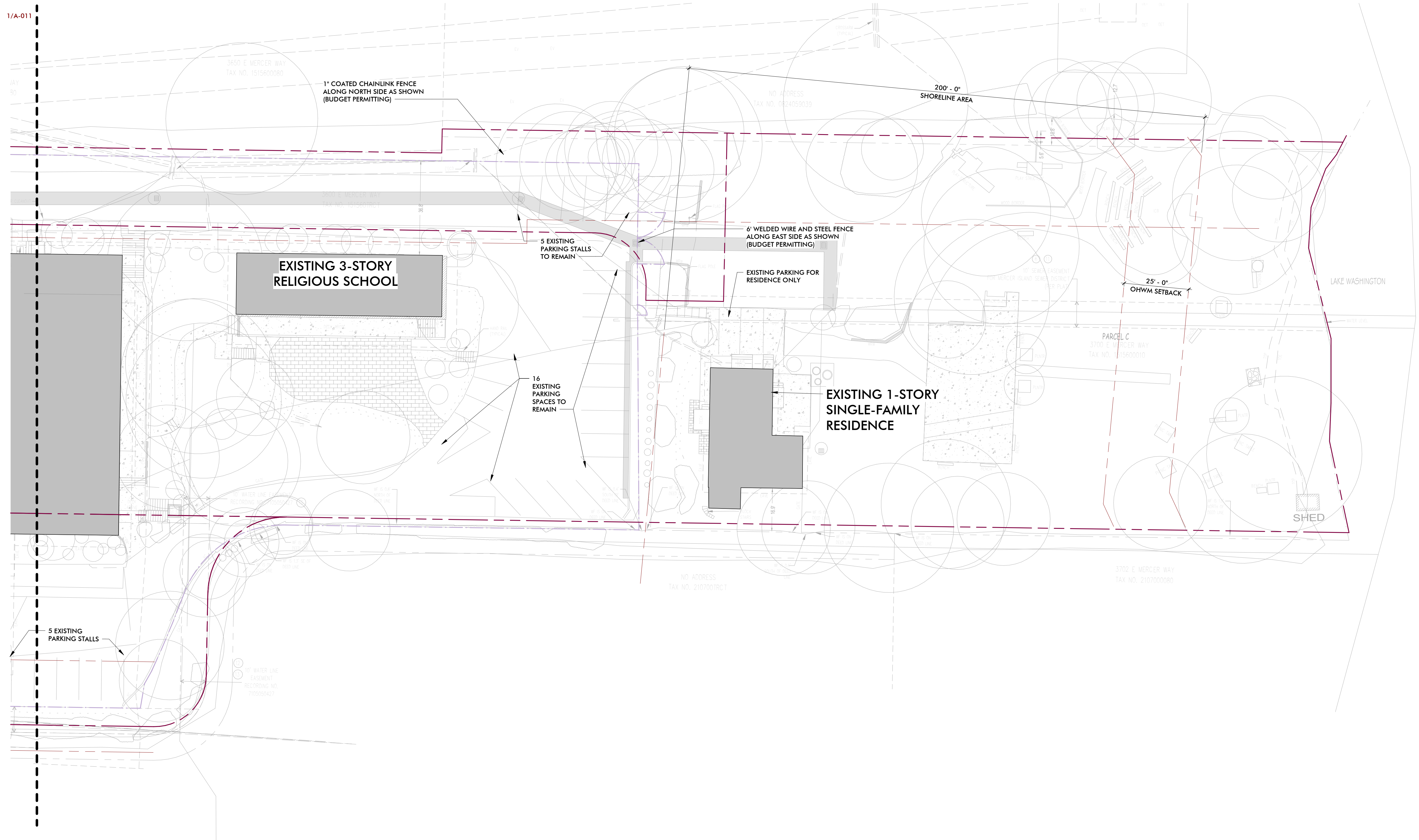
PROJECT:

SITE PLAN ENLARGED-WEST

A-011

1 SITE PLAN-ENLARGED WEST
1" = 20'-0"

09/10/2024 09:38:02 AM Anjali Grant Design
© ANJALI GRANT DESIGN LLC ORIGINAL SHEET SIZE: 24" X 36"



1/A-011

1 SITE PLAN-ENLARGED EAST
1" = 20'-0"

NO.	DATE	DESCRIPTION
	22 SEPTEMBER 2024	CONDITIONAL USE PERMIT
PROJECT:		
SITE PLAN ENLARGED-EAST		

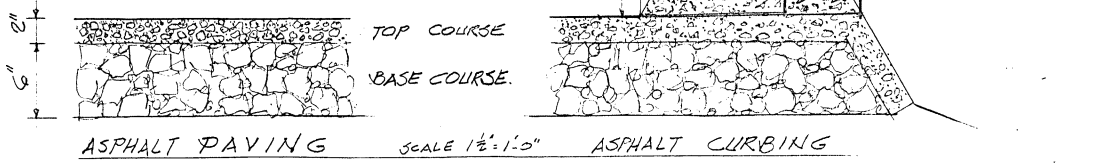
A-012

LIST OF DRAWINGS

- ARCHITECTURAL
 - 1 SITE PLAN, GRADING, PAVING
 - 2 UPPER FLOOR
 - 3 LOWER FLOOR PLAN, STAIR SECTIONS & DETAILS
 - 4 BASEMENT PLAN, HIGH ROOF PLAN, SECTIONS & DETAILS
 - 5 DOOR SCHEDULE, INTERIOR ELEVATION & DETAILS
 - 6 FINISH SCHEDULE & INTERIOR ELEVATION
 - 7 BIMA & CHAPEL DETAILS
 - 8 BUILDING SECTIONS & DETAILS
 - 9 BUILDING SECTIONS & SECTION DETAILS
 - 10 EXTERIOR ELEVATIONS & DETAILS
 - 11 INTERIOR & EXTERIOR WALL SECTIONS
- STRUCTURAL
 - S1 FOUNDATION PLAN
 - S2 FOUNDATION, ELEVATION & DETAILS
 - S3 FLOOR FRAMING PLANS
 - S4 ROOF FRAMING PLANS
 - S5 FRAME WALL ELEVATIONS & DETAILS
 - S6 ROOF FRAMING DETAILS
- MECHANICAL
 - M1 SITE PLAN & DETAILS & SCHEDULES
 - M2 FOUNDATION PLAN & BASEMENT PLAN
 - M3 LOWER FLOOR PLAN & DETAILS
 - M4 UPPER FLOOR PLAN & DETAILS
- ELECTRICAL
 - E1 SITE PLAN, LEGEND & SCHEDULES
 - E2 UPPER FLOOR PLAN
 - E3 LOWER FLOOR PLAN
 - E4 BASEMENT FLOOR PLAN, BIMA PLAN & RISER DIAGRAM

FIRE ZONE THREE

B 2 Occupancy Group
 111 H.T. Inv.
 OCC Load
 Two story w/ Base ment
 Floor area 11793 upper
 10035 lower
 5265 basement
 27793



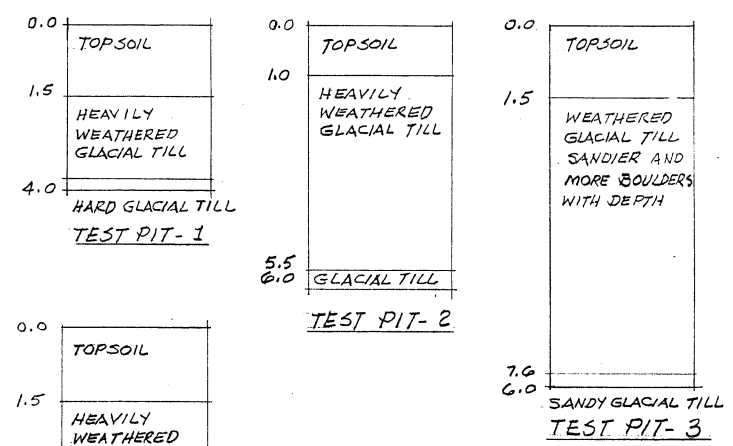
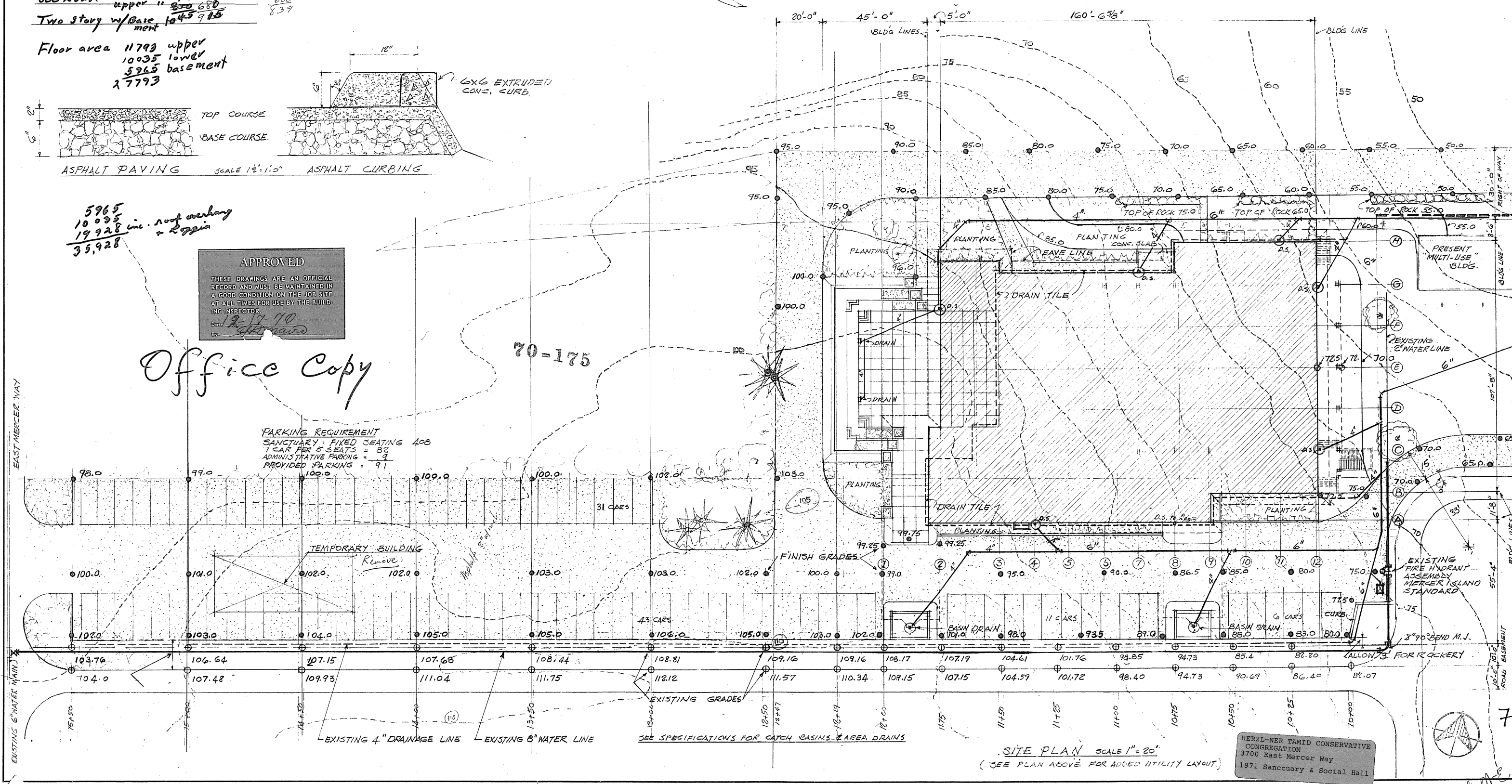
5965
 10035
 19928
 35,928

APPROVED
 THESE DRAWINGS ARE AN OFFICIAL RECORD AND MUST BE MAINTAINED IN A GOOD CONDITION ON THE JOB SITE AT ALL TIMES FOR USE BY THE BUILDING INSPECTOR.
 Date: 8-14-70
 By: [Signature]

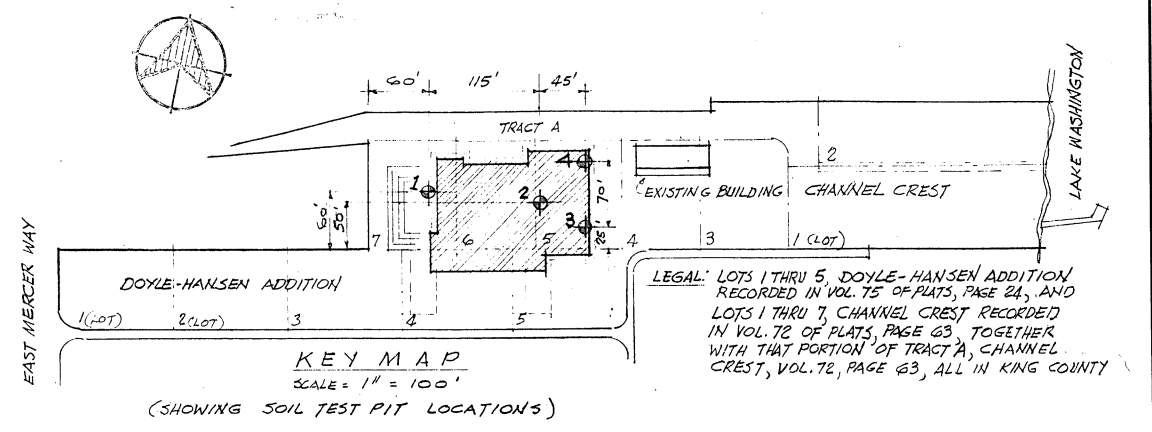
Office Copy

PARKING REQUIREMENT
 SANCTUARY: FIXED SEATING 408
 1 CAR PER 5 SEATS = 82
 ADMINISTRATIVE PARKING = 9
 PROVIDED PARKING = 91

TEMPORARY BUILDING
 Remove
 102.0



TEST PIT SOIL DATA LOCATIONS ON KEY MAP
 SEE REPORT IN SPECIFICATION SEC 1 (PREPARED BY ENGINEER GEO. E. LAMB)



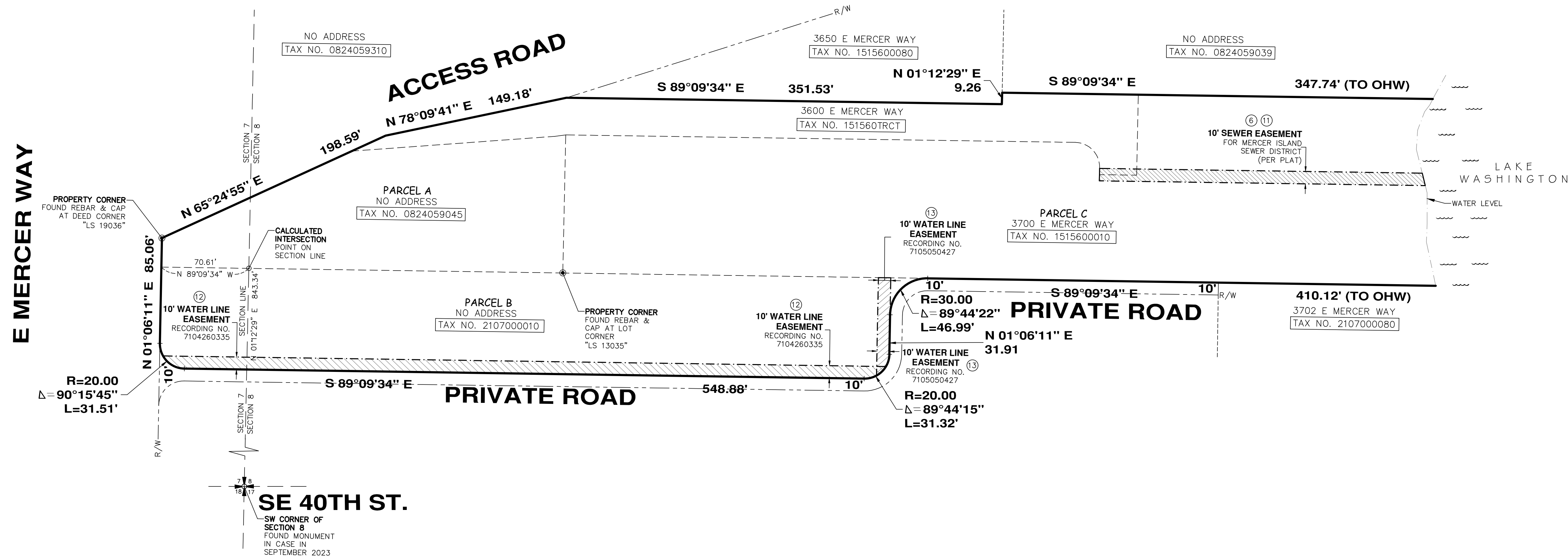
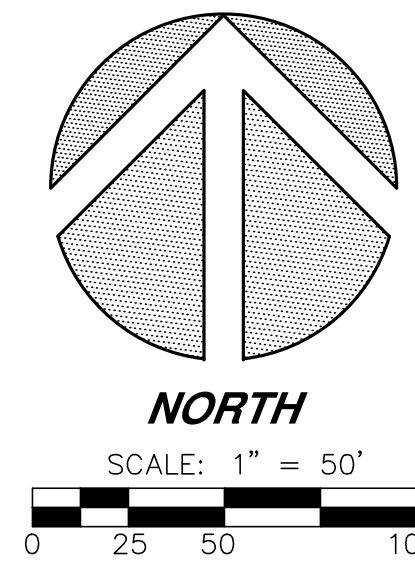
SITE PLAN SHOWING PAVED AREAS "A" & "B" SCALE 1" = 50'

SITE PLAN SCALE 1" = 20'
 (SEE PLAN ABOVE FOR ADDED UTILITY LAYOUT.)

HERZL-NER TAMID CONSERVATIVE CONGREGATION
 3700 East Mercer Way
 1971 Sanctuary & Social Hall

ARCHITECT	JAMES J. CHIARELLI A.I.A. 1717 EAST PINE STREET SEATTLE 22, WASHINGTON EA 3-2000
ENGINEERS	EA 3-2-2-000 15 TISHUE ST.
APPROVED BY	
DATE	7-15-70
REVISIONS	JVC DMZ
DRAWING	CHECKED
TITLE	SANCTUARY & SOCIAL CENTER FOR HERZL-NER TAMID CONSERVATIVE CONGREGATION 3700 E MERCER WAY MERCER ISLAND WASHINGTON 98012
SHEET	1
OF	57
JOB	70-175

CONTROL DIAGRAM
(1" = 50')



NOTES:

1. THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE USING A 10 SECOND TOTAL STATION. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 332-130-090.
2. CONTOUR INTERVAL = 1 FT.
3. VERTICAL DATUM = NAVD88, AS PER DIRECT OBSERVATIONS USING GPS EQUIPMENT ON SEPTEMBER 14TH, 2023.
4. HORIZONTAL DATUM = NAD 83/11 (EPOCH 2010).
5. COMBINED UPLAND PARCEL AREA = 180,686 FT².
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THEREFORE EASEMENTS AFFECTING THE PROPERTY, IF ANY, ARE NOT SHOWN HEREON.
7. TREES AS SHOWN HEREON HAVE BEEN MAPPED TO THE BEST OF OUR ABILITY DURING THE COURSE OF THIS SURVEY. HOWEVER, ALL ONSITE TREES THAT COULD AFFECT PROJECT DEVELOPMENT MAY NOT BE SHOWN. THEREFORE, PRIOR TO DESIGN A CERTIFIED ARBORIST SHOULD BE CONSULTED TO VERIFY THE SPECIFIC GENUS, TRUNK DIAMETER, DRIP LINE, LOCATION AND NUMBER OF QUALIFYING TREES UPON THIS SITE.

DEED DESCRIPTIONS:

PARCEL A: (TAX PARCEL NO. 082405-9045-07)

THAT PORTION OF GOVERNMENT LOT 11, SECTION 8, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, TOGETHER WITH THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE WEST LINE OF GOVERNMENT LOT 11 WITH THE NORTH LINE OF DOYLE-HANSEN ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 75 OF PLATS, PAGE 24, RECORDS OF KING COUNTY, WASHINGTON; THENCE SOUTH 89°09'34" EAST ALONG THE NORTH OF SAID DOYLE-HANSEN ADDITION, A DISTANCE OF 253.49 FEET TO THE WEST LINE OF SAID DOYLE-HANSEN ADDITION; THENCE SOUTH 01°12'29" EAST ALONG SAID WEST LINE, A DISTANCE OF 111.48 FEET TO THE SOUTH LINE OF TRACT 'A' OF SAID CHANNEL CREST; THENCE SOUTH 85°39'49" WEST ALONG SAID SOUTH LINE 173.15 FEET TO SOUTHEASTERLY LINE OF LAND CONVEYED TO STATE OF WASHINGTON TOLL BRIDGE AUTHORITY UNDER RECORDING NO. 3032009; THENCE SOUTH 65°24'55" WEST ALONG SAID SOUTHEASTERLY LINE TO THE EASTERLY MARGIN OF EAST MERCER WAY, AS CONVEYED TO KING COUNTY UNDER RECORDING NO. 923897; THENCE SOUTH 01°02'29" WEST TO THE NORTH LINE OF SAID DOYLE-HANSEN ADDITION; THENCE SOUTH 89°09'34" EAST ALONG SAID NORTH LINE 70.61 FEET TO THE POINT OF BEGINNING.

PARCEL B: (TAX PARCEL NO. 210700-0010-06)

LOTS 1 THROUGH 5, INCLUSIVE, DOYLE-HANSEN ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 75 OF PLATS, PAGE 24, RECORDS OF KING COUNTY, WASHINGTON.

PARCEL C: (TAX PARCEL NO. 151560-0010-01)

LOTS 1 THROUGH 7, INCLUSIVE, CHANNEL CREST, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 72 OF PLATS, PAGE 63, RECORDS OF KING COUNTY, WASHINGTON; TOGETHER WITH AN UNDIVIDED 7/8THS INTEREST IN TRACT 'A' OF SAID PLAT, SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

SET CONTENTS:

- SHEET 1 - CONTROL DIAGRAM
- SHEET 2 - TITLE REPORT SCHEDULE B EXCEPTIONS
- SHEET 3 - TOPOGRAPHIC SURVEY (WEST)
- SHEET 4 - TOPOGRAPHIC SURVEY (EAST)
- SHEET 5 - ARBOR EXHIBIT (WEST)
- SHEET 6 - ARBOR EXHIBIT (EAST)
- SHEET 7 - ARBOR TABLE

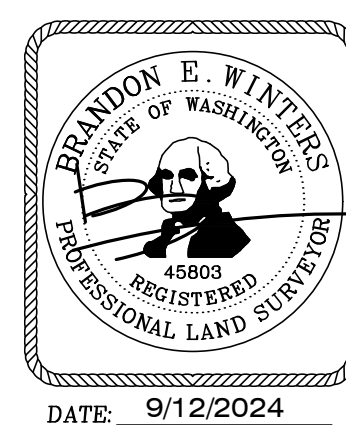
SHEET 1 OF 7

UNDERGROUND UTILITY NOTE:

UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS APPROXIMATE ONLY AND IS BASED UPON OBSERVED GROUND EVIDENCE, THE CITY OF MERCER ISLAND PUBLIC GIS DATABASE, LOCAL AS-BUILT AND PLAN SETS PROVIDED BY CLIENT & PSE GAS RECORDS, AND ALSO AS PER TIES TO ABOVE GROUND STRUCTURES. CHADWICK AND WINTERS ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS & LOCATIONS OR ACCEPTS RESPONSIBILITY FOR UNDERGROUND UTILITIES NOT DISCLOSED IN SAID RECORDS. THE FINAL LOCATION OF EXISTING UNDERGROUND UTILITIES IN AREAS CRITICAL TO DESIGN SHOULD BE ESTABLISHED BY CONTACTING THE UTILITY OWNER OR AGENCY. 1-800-424-5555 SHOULD ALWAYS BE CALLED PRIOR TO CONSTRUCTION.

OVERHEAD POWER LINE NOTE:

WE HAVE DETERMINED TO THE BEST OF OUR ABILITY THE OVERHEAD HIGH VOLTAGE POWER LINE WHICH IS CLOSEST TO THE PROJECT SITE AND HAVE DISPLAYED ITS HORIZONTAL AND VERTICAL LOCATION HEREON. HOWEVER, ADDITIONAL OVERHEAD SERVICE LINES MAY EXIST WHICH ARE NOT OBVIOUS TO US BY FIELD OBSERVATION AND POTENTIALLY IMPACT PROJECT DESIGN. THEREFORE, PRIOR TO DESIGN AND CONSTRUCTION WE RECOMMEND THAT PSE/SEATTLE CITY LIGHT BE CONSULTED REGARDING THE POSSIBLE EXISTENCE OF ADDITIONAL SERVICE LINES NOT DISPLAYED HEREON WHICH SHOULD BE CONSIDERED FOR PROJECT DESIGN.



TOPOGRAPHIC SURVEY
3700 EAST MERCER WAY
MERCER ISLAND, WASHINGTON

CHADWICK WINTERS
LAND SURVEYING AND MAPPING
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996
FAX: 206.297.0997
WEB: WWW.CHADWICKWINTERS.COM

PROJECT #: 23-7964
DRAWING: 23-7964 TOPO
CLIENT: AUDREY COVNER
DATE: 9/12/2024
DRAWN BY: TTB

TITLE REPORT SCHEDULE B EXCEPTIONS:

THIS SURVEY IS RELIANT UPON THE INFORMATION CONTAINED WITHIN CHICAGO TITLE INSURANCE COMPANY, TITLE CERTIFICATE NO. 0264638-16, DATED OCTOBER 30, 2023. ITEMS CIRCLED BELOW ARE SHOWN ON MAP.

1. RIGHT OF THE STATE OF WASHINGTON TO REMOVE OR DEPOSIT EARTH MATERIAL UPON SAID PREMISES IN EXTENSION OF SLOPES FOR GRADE OR EMBANKMENT, WITH RIGHT OF INGRESS AND EGRESS GRANTED BY INSTRUMENTS RECORDED UNDER RECORDING NOS. 3032001, 3034650 AND 3038601.

2. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: PUGET SOUND POWER & LIGHT COMPANY
 PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINE AND APPURTENANCES
 RECORDING DATE: JUNE 15, 1950
 RECORDING NO.: 4025491
 AFFECTS: A PORTION OF SAID PREMISES

SURVEYORS NOTE: DESCRIPTION TOO GENERAL, NOT PLOTTABLE.

3. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: MERCER ISLAND SEWER DISTRICT
 PURPOSE: SEWER PIPE LINE OR LINES, CONNECTIONS AND APPURTENANCES WITH RIGHT OF INGRESS AND EGRESS
 RECORDING DATE: MAY 6, 1959
 RECORDING NO.: 5028729
 AFFECTS: A PORTION OF SAID PREMISES

SURVEYORS NOTE: AS CONSTRUCTED, NOT PLOTTABLE.

4. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: MERCER ISLAND SEWER DISTRICT
 PURPOSE: SEWER LINE OR LINES, CONNECTIONS AND APPURTENANCES WITH RIGHT OF INGRESS AND EGRESS
 RECORDING DATE: AUGUST 4, 1959
 RECORDING NO.: 5064115
 AFFECTS: A PORTION OF SAID PREMISES

SURVEYORS NOTE: AS CONSTRUCTED, NOT PLOTTABLE.

5. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: PUGET SOUND POWER & LIGHT COMPANY
 PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINES AND EQUIPMENT
 RECORDING DATE: SEPTEMBER 28, 1960
 RECORDING NO.: 5206698
 AFFECTS: A PORTION OF SAID PREMISES

SURVEYORS NOTE: AS CONSTRUCTED, NOT PLOTTABLE.

6. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, ENCROACHMENTS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON THE PLAT OF CHANNEL CREST:

RECORDING NO: 5543277
 (AFFECTS: PARCEL C)

7. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: PUGET SOUND POWER & LIGHT COMPANY
 PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINE, FACILITIES AND EQUIPMENT
 RECORDING DATE: JULY 19, 1963
 RECORDING NO.: 5612241
 AFFECTS: A PORTION OF SAID PREMISES

SURVEYORS NOTE: AS CONSTRUCTED, NOT PLOTTABLE.

8. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, ENCROACHMENTS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON THE PLAT OF DOYLE-HANSEN ADDITION:

RECORDING NO: 5699123
 (AFFECTS: PARCEL B)

9. RELINQUISHMENT OF ALL EXISTING, FUTURE OR POTENTIAL EASEMENTS FOR ACCESS, LIGHT, VIEW AND AIR, AND ALL RIGHTS OF INGRESS, EGRESS AND REGRESS TO, FROM AND BETWEEN SAID LAND AND THE HIGHWAY OR HIGHWAYS TO BE CONSTRUCTED ON LANDS CONVEYED BY DEED:

TO: STATE OF WASHINGTON
 DATED: JULY 13, 1967
 RECORDING DATE: DECEMBER 13, 1967
 RECORDING NO.: 6277737

SURVEYORS NOTE: DEED FOR I-90.

10. AGREEMENT AND THE TERMS AND CONDITIONS THEREOF, AS DISCLOSED IN DOCUMENT:

RECORDING DATE: AUGUST 12, 1968
 RECORDING NO.: 6389877
 REGARDING: OPTION TO HOOK ON TO A WATERLINE SERVING SAID PREMISES

(AFFECTS: A PORTION OF LOTS 3 THROUGH 7 OF PARCEL C)

11. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS DISCLOSED IN A DOCUMENT:

PURPOSE: EXISTING WATER PUMP, PIPES AND OTHER EQUIPMENT
 RECORDING DATE: AUGUST 12, 1968
 RECORDING NO.: 6389878

AFFECTS: A PORTION OF LOT 1 OF PARCEL C

12. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS DISCLOSED IN A DOCUMENT:

GRANTED TO: WATER DISTRICT NO. 91, KING COUNTY, WASHINGTON
 PURPOSE: WATER MAIN(S) AND WATER UTILITIES AND APPURTENANCES
 RECORDING DATE: APRIL 26, 1971
 RECORDING NO.: 7104260335

AFFECTS: A PORTION OF PARCEL B

13. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: WATER DISTRICT NO. 91, KING COUNTY, WASHINGTON
 PURPOSE: WATER MAIN AND APPURTENANCES
 RECORDING DATE: MAY 5, 1971
 RECORDING NO.: 7105050427
 AFFECTS: A PORTION OF LOT 5 OF PARCEL B

14. NOTICE OF CHARGES FOR CONNECTION TO WATER AND SEWER SYSTEMS AND THE TERMS AND CONDITIONS THEREOF:

EXECUTED BY: CITY OF BELLEVUE
 RECORDING DATE: NOVEMBER 9, 1977
 RECORDING NO.: 7711090948

SURVEYORS NOTE: NOT A SURVEY MATTER, NOT PLOTTABLE.

15. CONCOMITANT ZONING AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:

RECORDING DATE: MAY 24, 1979
 RECORDING NO.: 7905240807
 (AFFECTS: PARCEL A)

SURVEYORS NOTE: NOT A SURVEY MATTER, NOT PLOTTABLE.

16. NOTICE OF CHARGES BY WATER, SEWER AND STORM AND SURFACE WATER UTILITIES AND THE TERMS AND CONDITIONS THEREOF:

EXECUTED BY: CITY OF BELLEVUE
 RECORDING DATE: DECEMBER 20, 1996
 RECORDING NO.: 9612200938

SURVEYORS NOTE: NOT A SURVEY MATTER, NOT PLOTTABLE.

17. FAT, OIL AND GREASE AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:

BETWEEN: HERZL-NER TAMID CONSERVATIVE CONGREGATION AND: CITY OF MERCER ISLAND
 RECORDING DATE: JUNE 27, 2019
 RECORDING NO.: 20190627000163
 (AFFECTS: PARCEL C)

SURVEYORS NOTE: NOT A SURVEY MATTER, NOT PLOTTABLE.

18. QUESTION OF LOCATION OF LATERAL BOUNDARIES OF SAID SECOND CLASS TIDELANDS OR SHORELANDS.

SURVEYORS NOTE: BLANKET IN NATURE, NOT PLOTTABLE.

19. ANY QUESTION THAT MAY ARISE DUE TO SHIFTING AND CHANGING IN THE COURSE, BOUNDARIES OR HIGH WATER LINE OF LAKE WASHINGTON.

SURVEYORS NOTE: BLANKET IN NATURE, NOT PLOTTABLE.

20. RIGHTS OF THE STATE OF WASHINGTON IN AND TO THAT PORTION, IF ANY, OF THE LAND WHICH LIES BELOW THE LINE OF ORDINARY HIGH WATER OF LAKE WASHINGTON.

SURVEYORS NOTE: BLANKET IN NATURE, NOT PLOTTABLE.

21. ANY PROHIBITION OR LIMITATION OF USE, OCCUPANCY OR IMPROVEMENT OF THE LAND RESULTING FROM THE RIGHTS OF THE PUBLIC OR RIPARIAN OWNERS TO USE ANY PORTION WHICH IS NOW OR WAS FORMERLY COVERED BY WATER.

SURVEYORS NOTE: BLANKET IN NATURE, NOT PLOTTABLE.

22. PARAMOUNT RIGHTS AND EASEMENTS IN FAVOR OF THE UNITED STATES FOR COMMERCE, NAVIGATION, FISHERIES AND THE PRODUCTION OF POWER.

SURVEYORS NOTE: BLANKET IN NATURE, NOT PLOTTABLE.

23. THE PROPERTY HEREIN DESCRIBED IS CARRIED ON THE TAX ROLLS AS EXEMPT AS TO GENERAL REAL PROPERTY TAXES (NOT SPECIAL TAXES AND CHARGES), HOWEVER, IT WILL BECOME TAXABLE ON THE DATE OF THE EXECUTION OF A CONVEYANCE TO A TAXABLE ENTITY AND SUBJECT TO THE LIEN OF REAL PROPERTY TAXES FOR THE BALANCE OF THE YEAR FROM THAT DATE:

TAX ACCOUNT NO.: 082405-9045-07, 210700-0010-06 AND 151560-0010-01
 LEVY CODE: 1031

SURVEYORS NOTE: NOT A SURVEY MATTER, NOT PLOTTABLE.

24. SPECIAL TAXES AND CHARGES, PAYABLE FEBRUARY 15, DELINQUENT IF FIRST HALF UNPAID ON MAY 1, SECOND HALF DELINQUENT IF UNPAID ON NOVEMBER 1 OF THE TAX YEAR (AMOUNTS DO NOT INCLUDE INTEREST AND PENALTIES):

YEAR: 2023
 TAX ACCOUNT NO.: 082405-9045-07
 LEVY CODE: 1031
 ASSESSED VALUE-LAND: \$1,686,000.00
 ASSESSED VALUE-IMPROVEMENTS: \$0.00

SPECIAL TAXES AND CHARGES:
 BILLED: \$12.30
 PAID: \$12.30
 UNPAID: \$0.00
 (AFFECTS: PARCEL A)

SURVEYORS NOTE: NOT A SURVEY MATTER, NOT PLOTTABLE.

25. SPECIAL TAXES AND CHARGES, PAYABLE FEBRUARY 15, DELINQUENT IF FIRST HALF UNPAID ON MAY 1, SECOND HALF DELINQUENT IF UNPAID ON NOVEMBER 1 OF THE TAX YEAR (AMOUNTS DO NOT INCLUDE INTEREST AND PENALTIES):

YEAR: 2023
 TAX ACCOUNT NO.: 210700-0010-06
 LEVY CODE: 1031
 ASSESSED VALUE-LAND: \$2,163,400.00
 ASSESSED VALUE-IMPROVEMENTS: \$0.00

SPECIAL TAXES AND CHARGES:
 BILLED: \$12.30
 PAID: \$12.30
 UNPAID: \$0.00
 (AFFECTS: PARCEL B)

SURVEYORS NOTE: NOT A SURVEY MATTER, NOT PLOTTABLE.

26. SPECIAL TAXES AND CHARGES, PAYABLE FEBRUARY 15, DELINQUENT IF FIRST HALF UNPAID ON MAY 1, SECOND HALF DELINQUENT IF UNPAID ON NOVEMBER 1 OF THE TAX YEAR (AMOUNTS DO NOT INCLUDE INTEREST AND PENALTIES):

YEAR: 2023
 TAX ACCOUNT NO.: 151560-0010-01
 LEVY CODE: 1031
 ASSESSED VALUE-LAND: \$3,620,600.00
 ASSESSED VALUE-IMPROVEMENTS: \$1,200,600.00

SPECIAL TAXES AND CHARGES:
 BILLED: \$12.57
 PAID: \$12.57
 UNPAID: \$0.00
 (AFFECTS: PARCEL C)

SURVEYORS NOTE: NOT A SURVEY MATTER, NOT PLOTTABLE.

27. CITY, COUNTY OR LOCAL IMPROVEMENT DISTRICT ASSESSMENTS, IF ANY.

SURVEYORS NOTE: NOT A SURVEY MATTER, NOT PLOTTABLE.

28. LIABILITY FOR SEWER TREATMENT CAPACITY CHARGES, IF ANY, AFFECTING CERTAIN AREAS OF KING, PIERCE AND SNOHOMISH COUNTIES, SAID CHARGES COULD APPLY TO PROPERTY CONNECTING TO THE METROPOLITAN SEWERAGE FACILITIES OR RECONNECTING OR CHANGING ITS USE AND/OR STRUCTURE AFTER FEBRUARY 1, 1990.

PLEASE CONTACT THE KING COUNTY WASTEWATER TREATMENT DIVISION, CAPACITY CHARGE PROGRAM, FOR FURTHER INFORMATION AT 206-296-1490 OR FAX NO. 206-263-6823 OR EMAIL AT CAPCHARGE@KINGCOUNTY.GOV.

* A MAP SHOWING SEWER SERVICE AREA BOUNDARIES AND INCORPORATED AREAS CAN BE FOUND ONLINE. UNRECORDED SEWER CAPACITY CHARGES ARE NOT A LIEN ON TITLE TO THE LAND.

SURVEYORS NOTE: NOT A SURVEY MATTER, NOT PLOTTABLE.

29. A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW:

AMOUNT: \$200,000.00
 DATED: JANUARY 23, 2018
 TRUSTOR/GRANTOR: HERZL-NER TAMID CONSERVATIVE CONGREGATION, A WASHINGTON NOT FOR PROFIT CORPORATION
 TRUSTEE: MARY STRASBURG, P.S., A CORPORATION
 BENEFICIARY: BRUCE GLADNER AND MARY GLADNER, HUSBAND AND WIFE
 RECORDING DATE: JANUARY 26, 2018
 RECORDING NO.: 20180126001153
 (AFFECTS: PARCEL A)

SURVEYORS NOTE: NOT A SURVEY MATTER, NOT PLOTTABLE.

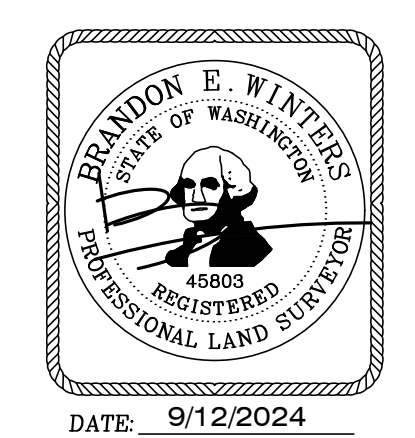
30. A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW:

AMOUNT: \$200,000.00
 DATED: JANUARY 23, 2018
 TRUSTOR/GRANTOR: HERZL-NER TAMID CONSERVATIVE CONGREGATION, A WASHINGTON NOT FOR PROFIT CORPORATION
 TRUSTEE: MARY STRASBURG, P.S., A CORPORATION
 BENEFICIARY: LEWIS EDELHEIT AND SUSAN EDELHEIT, HUSBAND AND WIFE
 RECORDING DATE: JANUARY 26, 2018
 RECORDING NO.: 20180126001154
 (AFFECTS: PARCEL A)

SURVEYORS NOTE: NOT A SURVEY MATTER, NOT PLOTTABLE.

31. ANY UNRECORDED LEASEHOLDS, RIGHT OF VENDORS AND HOLDERS OF SECURITY INTERESTS ON PERSONAL PROPERTY INSTALLED UPON THE LAND AND RIGHTS OF TENANTS TO REMOVE TRADE FIXTURES AT THE EXPIRATION OF THE TERMS.

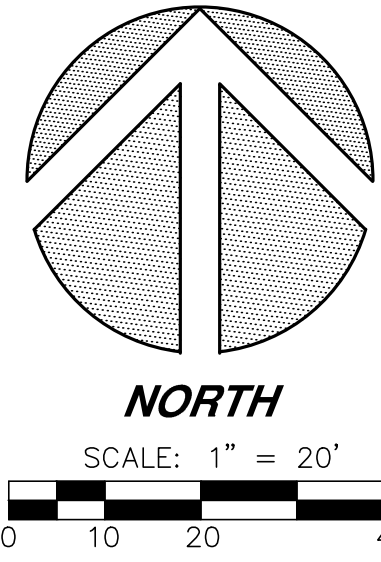
SURVEYORS NOTE: NOT A SURVEY MATTER, NOT PLOTTABLE.



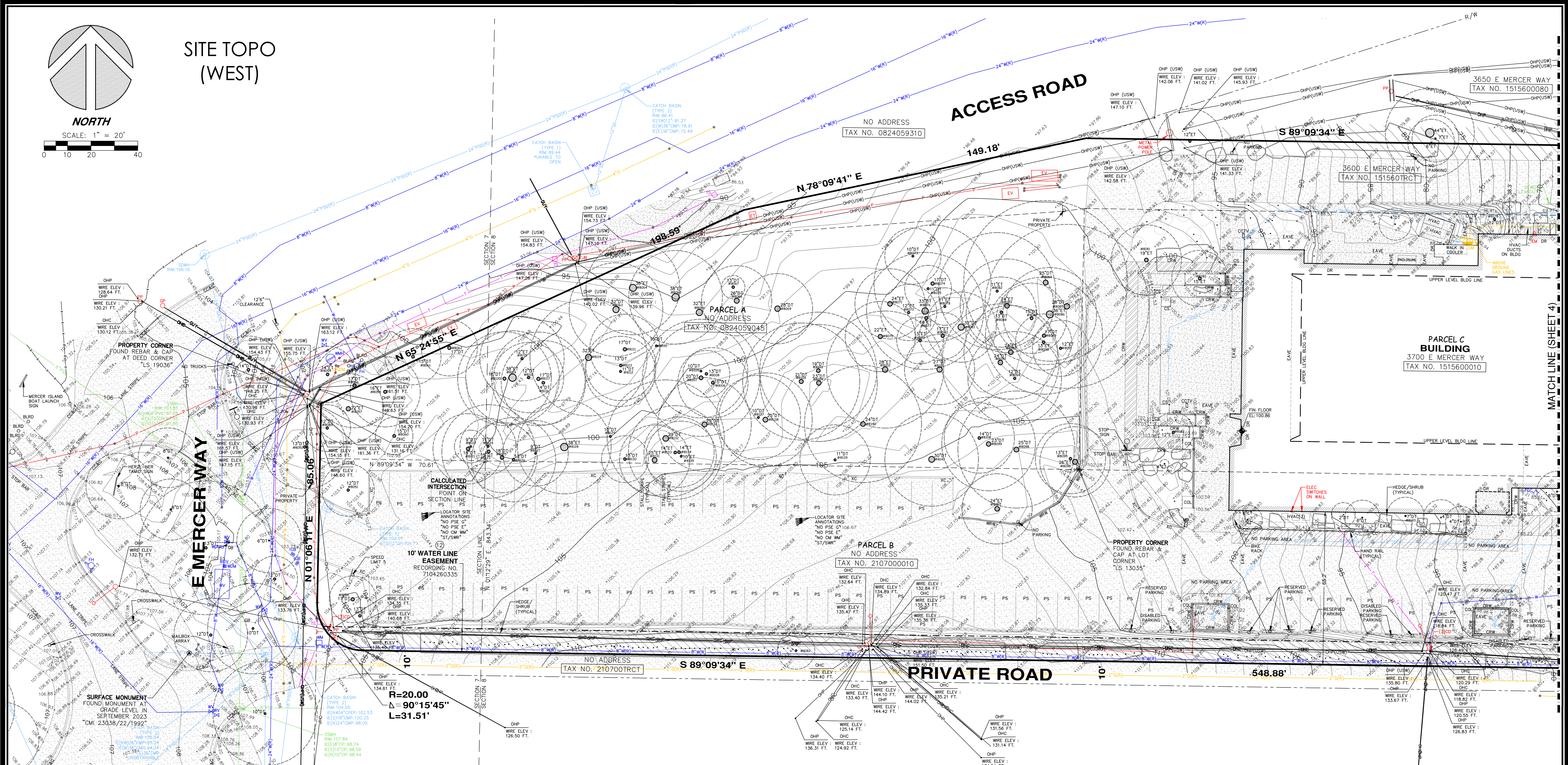
TOPOGRAPHIC SURVEY
3700 EAST MERCER WAY
MERCER ISLAND, WASHINGTON

CHADWICK WINTERS
 LAND SURVEYING AND MAPPING
 1422 N.W. 85TH ST., SEATTLE, WA 98117
 PHONE: 206.297.0996
 FAX: 206.297.0997
 WEB: WWW.CHADWICKWINTERS.COM

PROJECT #: 23-7964
DRAWING: 23-7964 TOPO
CLIENT: AUDREY COVNER
DATE: 9/12/2024
DRAWN BY: TTB

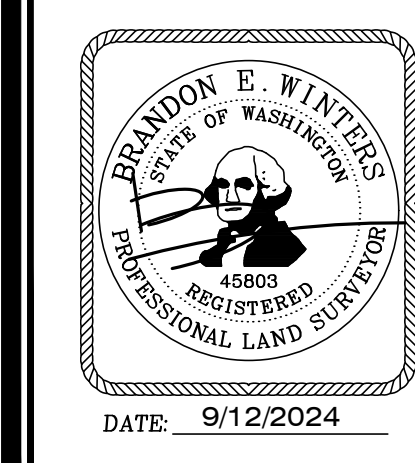


**SITE TOPO
(WEST)**



LEGEND:

	ASPHALT SURFACE		CONCRETE PIPE		GAS METER (GM)		TELEPHONE LINE (UNDERGROUND)
	ASPHALT CURBS		CONCRETE RETAINING WALL		GAS VALVE (GV)		TELEPHONE SENTRY
	AREA DRAIN (AD)		CONCRETE STAIRS		GRADE BREAK		TOE OF SLOPE
	CATCH BASIN (TYPE 1) CATCH BASIN (TYPE 2)		DUCTILE IRON PIPE		OVERHEAD GUY WIRE		TOP OF SLOPE
	BRICK SURFACE		DOOR		GUY ANCHOR		UN-SHIELDED WIRE (CHP)
	BRICK STAIRS		DECIDUOUS TREE		GUY POLE		WATER LINE
	BLOW OFF VALVE (WATER)		EVERGREEN TREE		INVERT ELEVATION		WATER DOWN MARKER
	CONCRETE CURBS		ELECTRICAL JUNCTION BOX (EJB)		IRRIGATION BOX		WATER METER
	CLOSED CIRCUIT TV CAMERA		ELECTRIC METER (EM)		LIGHT POLE (METAL)		WATER GATE VALVE (W/M)
	CONDUIT DROP		ELECTRIC TRANSFORMER		LIGHT POLE (WOOD)		WATER RETAINING WALL
	CHAIN LINK FENCE (CLF)		ELECTRIC VAULT		MAIL BOX (PRIVATE)		WOOD STAIRS
	CONCRETE SURFACE		FIRE DEPT CONNECTION		OVERHEAD TRANSFORMER		WOOD RETAINING WALL
	COLUMN		FIRE HYDRANT		OVERHEAD COMMUNICATION		EXTRUDED CURBS
			GAS DOWN MARKER		OVERHEAD POWER		YARD LIGHT (YL)
			GAS LINE		ORDINARY HIGH WATER LEVEL		

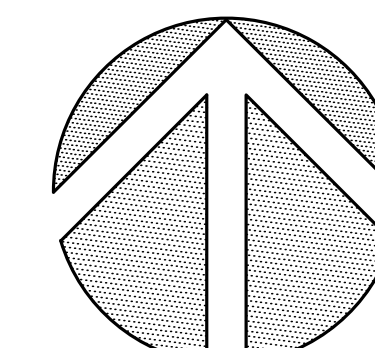


**TOPOGRAPHIC SURVEY
3700 EAST MERCER WAY
MERCER ISLAND, WASHINGTON**

CHADWICK WINTERS
LAND SURVEYING AND MAPPING
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996
FAX: 206.297.0997
WEB: WWW.CHADWICKWINTERS.COM

SHEET 3 OF 7

PROJECT #:	23-7964
DRAWING:	23-7964 TOPO
CLIENT:	AUDREY COVNER
DATE:	9/12/2024
DRAWN BY:	TTB

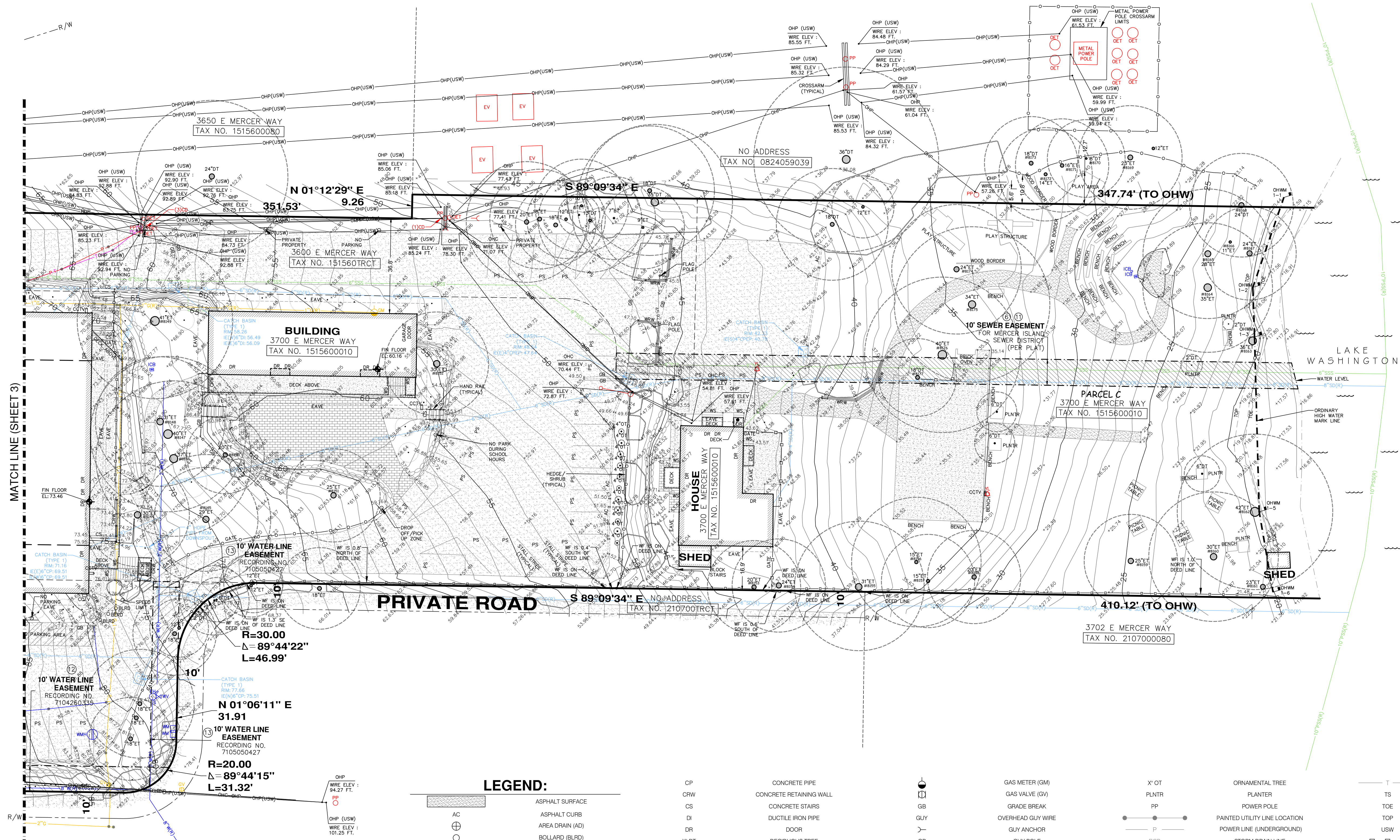


NORTH

SCALE: 1" = 20'



SITE TOPO
(EAST)



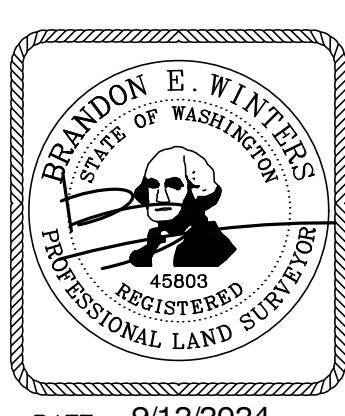
MATCH LINE (SHEET 3)

R/W

LEGEND:

	ASPHALT SURFACE		CONCRETE PIPE		ORDINARY HIGH WATER LEVEL
	ASPHALT CURB		CONCRETE RETAINING WALL		OVERHEAD TRANSFORMER
	AREA DRAIN (AD)		CONCRETE STAIRS		OVERHEAD COMMUNICATION
	DUCTILE IRON PIPE		DOOR		OVERHEAD POWER
	BOLLARD (BLRD)		DECIDUOUS TREE		PP
	EVERGREEN TREE		ELECTRICAL JUNCTION BOX (EJB)		PP
	ELECTRIC METER (EM)		ELECTRIC TRANSFORMER		PP
	ELECTRIC VAULT		ELECTRIC TRANSFORMER		PP
	FIRE DEPT CONNECTION		ELECTRIC VAULT		PP
	FIRE HYDRANT		ELECTRIC VAULT		PP
	GAS DOWN MARKER		ELECTRIC VAULT		PP
	GAS LINE		ELECTRIC VAULT		PP
	GRADE BREAK		ELECTRIC VAULT		PP
	OVERHEAD GUY WIRE		ELECTRIC VAULT		PP
	GUY ANCHOR		ELECTRIC VAULT		PP
	GUY POLE		ELECTRIC VAULT		PP
	INVERT ELEVATION		ELECTRIC VAULT		PP
	IRRIGATION BOX		ELECTRIC VAULT		PP
	LIGHT POLE (METAL)		ELECTRIC VAULT		PP
	LIGHT POLE (WOOD)		ELECTRIC VAULT		PP
	MAIL BOX (MB) (PRIVATE)		ELECTRIC VAULT		PP
	OVERHEAD TRANSFORMER		ELECTRIC VAULT		PP
	OVERHEAD COMMUNICATION		ELECTRIC VAULT		PP
	OVERHEAD POWER		ELECTRIC VAULT		PP
	ORDINARY HIGH WATER LEVEL		ELECTRIC VAULT		PP
	ORNAMENTAL TREE		ELECTRIC VAULT		PP
	PLANTER		ELECTRIC VAULT		PP
	POWER POLE		ELECTRIC VAULT		PP
	PAINTED UTILITY LINE LOCATION		ELECTRIC VAULT		PP
	POWER LINE (UNDERGROUND)		ELECTRIC VAULT		PP
	STORM DRAIN LINE		ELECTRIC VAULT		PP
	SERVICE DRAIN LINE (STORM)		ELECTRIC VAULT		PP
	SANITARY SEWER		ELECTRIC VAULT		PP
	PARKING SPACE		ELECTRIC VAULT		PP
	RIGHT OF WAY		ELECTRIC VAULT		PP
	RECORD INFORMATION		ELECTRIC VAULT		PP
	ROCKERY		ELECTRIC VAULT		PP
	SDMH/SSMH (STORM/SEWER MANHOLE)		ELECTRIC VAULT		PP
	SANITARY SIDE SEWER (RECORD)		ELECTRIC VAULT		PP
	SIGN (AS NOTED)		ELECTRIC VAULT		PP
	TELEPHONE LINE (UNDERGROUND)		ELECTRIC VAULT		PP
	TELEPHONE SENTRY		ELECTRIC VAULT		PP
	TOE OF SLOPE		ELECTRIC VAULT		PP
	TOP OF SLOPE		ELECTRIC VAULT		PP
	UN-SHELD WIRE (OHP)		ELECTRIC VAULT		PP
	WOOD FENCE (WF)		ELECTRIC VAULT		PP
	WATER LINE		ELECTRIC VAULT		PP
	WATER DOWN MARKER		ELECTRIC VAULT		PP
	WATER METER		ELECTRIC VAULT		PP
	WATER GATE VALVE (WMH)		ELECTRIC VAULT		PP
	WATER VALVE		ELECTRIC VAULT		PP
	WOOD RETAINING WALL		ELECTRIC VAULT		PP
	WOOD STAIRS		ELECTRIC VAULT		PP
	EXTRUDED CURB		ELECTRIC VAULT		PP
	YARD LIGHT (YL)		ELECTRIC VAULT		PP

TOPOGRAPHIC SURVEY
3700 EAST MERCER WAY
MERCER ISLAND, WASHINGTON

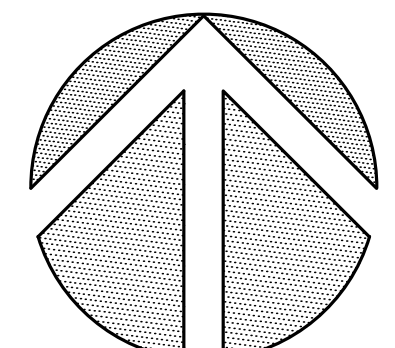


DATE: 9/12/2024

CHADWICK WINTERS
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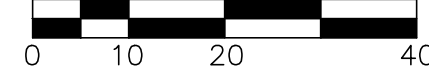
SHEET 4 OF 7

PROJECT #: 23-7964
DRAWING: 23-7964 TOPO
CLIENT: AUDREY COVNER
DATE: 9/12/2024
DRAWN BY: TTB



NORTH

SCALE: 1" = 20'



ARBOR EXHIBIT (WEST)

DECIDUOUS TREE DRIP LINE
CONIFEROUS TREE DRIP LINE

ACCESS ROAD

3650 E MERCER WAY
TAX NO. 1515600080

NO ADDRESS
TAX NO. 0824059310

S 89°09'34" E

149.18'

N 78°09'41" E

196.59'

3600 E MERCER WAY
TAX NO. 151560TRCT

PARCEL A
NO ADDRESS
TAX NO. 0824059045

PARCEL C
BUILDING
3700 E MERCER WAY
TAX NO. 1515600010

PARCEL B
NO ADDRESS
TAX NO. 2107000010

10' WATER LINE
EASEMENT
RECORDING NO.
7104260335

E MERCER WAY

N 01°06'11" E 85.06'

N 89°09'34" W 70.61'

N 01°12'29" E 843.34'

NO ADDRESS
TAX NO. 210700TRCT

S 89°09'34" E

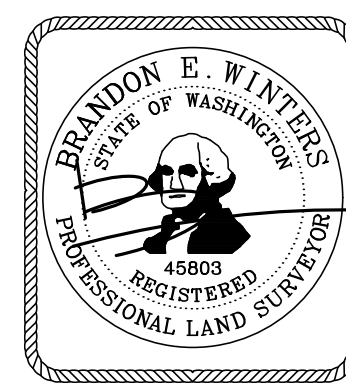
PRIVATE ROAD

548.88'

R=20.00
Δ=90°15'45"
L=31.51'

MATCH LINE (SHEET 6)

SHEET 5 OF 7



DATE: 9/12/2024

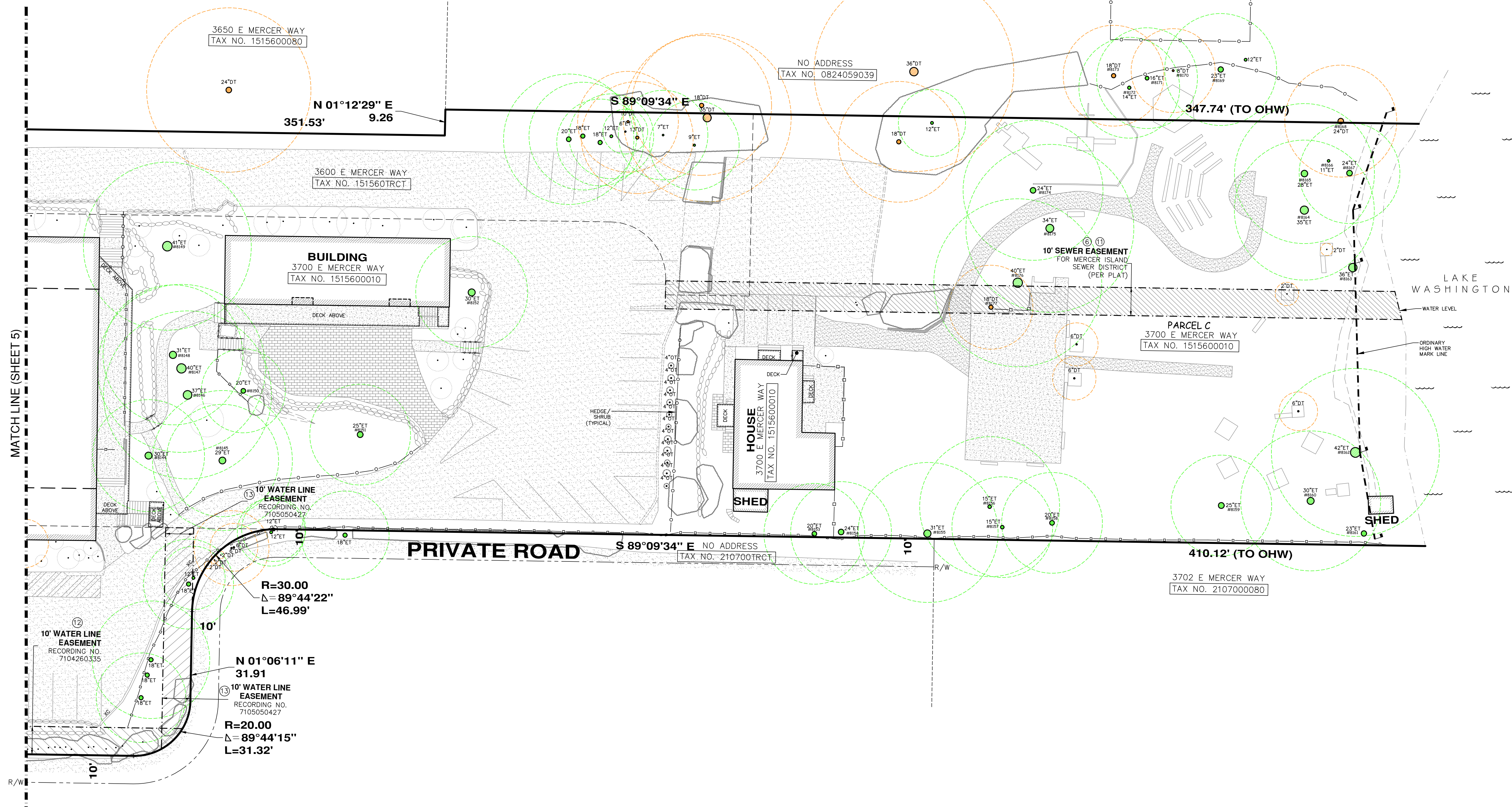
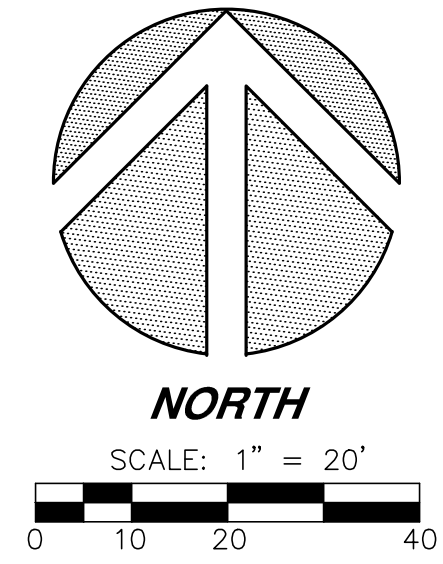
TOPOGRAPHIC SURVEY 3700 EAST MERCER WAY MERCER ISLAND, WASHINGTON

CHADWICK
WINTERS
LAND SURVEYING AND MAPPING
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PHONE: 206.297.0996
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PROJECT #: 23-7964
DRAWING: 23-7964 TOPO
CLIENT: AUDREY COVNER
DATE: 9/12/2024
DRAWN BY: TTB

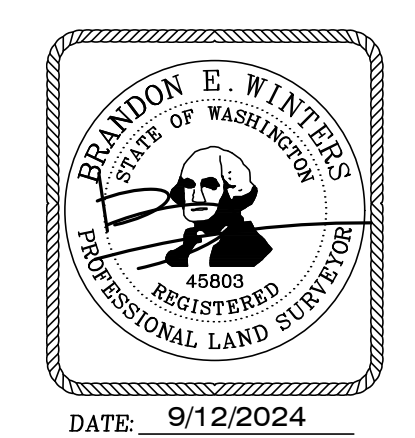
ARBOR EXHIBIT (EAST)

DECIDUOUS TREE DRIP LINE
CONIFEROUS TREE DRIP LINE



MATCH LINE (SHEET 5)

SHEET 6 OF 6



TOPOGRAPHIC SURVEY
3700 EAST MERCER WAY
MERCER ISLAND, WASHINGTON

CHADWICK WINTERS
LAND SURVEYING AND MAPPING
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996
FAX: 206.297.0997
WEB: WWW.CHADWICKWINTERS.COM

PROJECT #: 23-7964
DRAWING: 23-7964 TOPO
CLIENT: AUDREY COVNER
DATE: 9/12/2024
DRAWN BY: TTB

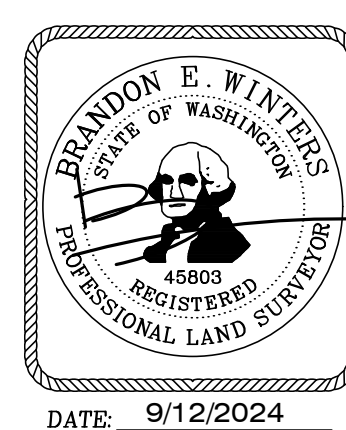
ARBOR TABLE PROVIDED BY DAVEY RESOURCE GROUP							
Tree ID	DSH (in)	Avg. Drip line (ft)	Height (ft)	Species	Condition	Exceptional Tree Status	Preserve Priority
8051	14	12	27	Purple leaf plum (Prunus cerasifera)	Fair	Grove	3
8052	13	18	27	Norway maple (Acer platanoides)	Good	Grove	2
8053	12.2	10	33	Ash spp (Fraxius spp)	Fair	Grove	3
8054	14	12	30	Western red cedar (Thuja plicata)	Fair	Grove	2
8055	12	10	27	Norway maple (Acer platanoides)	Good	Grove	2
8056	17	18	24	Norway maple (Acer platanoides)	Fair	Grove	2
8057	22	15	72	Douglas fir (Pseudotsuga menziesii)	Fair	Grove	2
8058	16	15	66	Douglas fir (Pseudotsuga menziesii)	Fair	Grove	2
8059	17	8	18	Willow spp (Salix spp)	Very Poor	Exceptional (Grove)	3
8060	15	8	51	Black cottonwood (Populus trichocarpa)	Good	Grove	3
8061	15	12	27	Norway maple (Acer platanoides)	Good	Grove	2
8062	17	12	20	Norway maple (Acer platanoides)	Fair	Grove	2
8063	32	20	70	Willow spp (Salix spp)	Fair	Exceptional (Grove)	2
8064	36	20	77	Western red cedar (Thuja plicata)	Poor	Exceptional (Grove)	2
8065	38	20	77	Western red cedar (Thuja plicata)	Critical	Exceptional (Grove)	3
8066	32	20	70	Western red cedar (Thuja plicata)	Very Poor	Exceptional (Grove)	3
8067	13	5	17	Big leaf maple (Acer macrophyllum)	Critical	Grove	3
8068	25.8	15	55	Big leaf maple (Acer macrophyllum)	Very Poor	Grove	3
8069	28	15	60	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8070	22	15	60	Western red cedar (Thuja plicata)	Poor	Grove	2
8071	24	15	50	Western red cedar (Thuja plicata)	Poor	Grove	3
8072	12	12	60	Western red cedar (Thuja plicata)	Poor	Grove	3
8073	10	12	55	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8074	17	25	75	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8075	11	10	60	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8076	33.4	25	80	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8077	16	0	65	Western red cedar (Thuja plicata)	Dead	Grove	4
8078	11	8	40	Western red cedar (Thuja plicata)	Fair	Grove	2
8079	13	10	27	Western red cedar (Thuja plicata)	Poor	Grove	3
8080	17	10	51	Western red cedar (Thuja plicata)	Fair	Grove	2
8081	32.3	15	69	Big leaf maple (Acer macrophyllum)	Fair	Grove	2

8082	11	25	50	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8083	24	20	60	Douglas fir (Pseudotsuga menziesii)	Fair	Grove	2
8084	25	35	60	Big leaf maple (Acer macrophyllum)	Good	Grove	2
8085	28.2	35	60	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8086	36	20	60	Western red cedar (Thuja plicata)	Fair	Exceptional (Grove)	2
8087	14.7	15	60	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8088	13	15	50	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8089	17	25	60	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8090	13	12	60	Western red cedar (Thuja plicata)	Fair	Grove	2
8091	12	12	60	Western red cedar (Thuja plicata)	Fair	Grove	2
8092	24	20	60	Western red cedar (Thuja plicata)	Critical	Grove	3
8094	12	20	65	Big leaf maple (Acer macrophyllum)	Good	Grove	2
8093	24	25	65	Big leaf maple (Acer macrophyllum)	Good	Grove	2
8095	13	15	63	Douglas fir (Pseudotsuga menziesii)	Good	Grove	2
8096	26	15	42	Western red cedar (Thuja plicata)	Fair	Grove	2
8097	24	15	60	Western red cedar (Thuja plicata)	Good	Grove	2
8098	25	25	60	Big leaf maple (Acer macrophyllum)	Poor	Grove	3
8099	23	20	60	Big leaf maple (Acer macrophyllum)	Poor	Grove	3
8100	14.2	15	60	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8101	27	25	50	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8102	28	25	81	Western red cedar (Thuja plicata)	Fair	Grove	2
8103	19	25	74	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8104	23	25	80	Big leaf maple (Acer macrophyllum)	Good	Grove	2
8105	21	25	80	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8106	14.9	15	60	Big leaf maple (Acer macrophyllum)	Very Poor	Grove	3
8107	20	25	65	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8108	13.5	10	51	Big leaf maple (Acer macrophyllum)	Very Poor	Grove	3
8109	10	20	50	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8110	10	0	50	Big leaf maple (Acer macrophyllum)	Dead	Grove	4
8111	17	15	66	Big leaf maple (Acer macrophyllum)	Good	Grove	2
8112	11	15	50	Big leaf maple (Acer macrophyllum)	Fair	Grove	2

8113	13	15	50	Big leaf maple (Acer macrophyllum)	Poor	Grove	3
8114	32	25	80	Western red cedar (Thuja plicata)	Critical	Exceptional (Grove)	3
8115	12	18	42	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8116	14	18	40	Black locust (Robinia pseudoacacia)	Very Poor	Grove	3
8117	17	20	45	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8118	12	15	45	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8120	16	20	46	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8119	38	20	80	Western red cedar (Thuja plicata)	Fair	Exceptional (Grove)	2
8121	18	15	66	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8122	9	7	66	Ash spp (Fraxius spp)	Fair	Grove	3
8123	14.8	20	60	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8124	11	12	60	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8125	18.4	15	66	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8126	13	18	66	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8127	9	14	60	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8128	38	20	84	Western red cedar (Thuja plicata)	Fair	Exceptional (Grove)	2
8129	10	0	55	Red alder (Alnus rubra)	Critical	Grove	3
8130	13	10	45	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8131	25	15	54	Western red cedar (Thuja plicata)	Fair	Grove	2
8132	29	25	54	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8133	14	20	54	Western red cedar (Thuja plicata)	Fair	Grove	2
8134	13.6	15	50	Western red cedar (Thuja plicata)	Fair	Grove	2
8135	10	15	45	Douglas fir (Pseudotsuga menziesii)	Fair	Grove	2
8136	25	20	80	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8137	10	18	65	Big leaf maple (Acer macrophyllum)	Very Poor	Grove	3
8138	25	20	70	Big leaf maple (Acer macrophyllum)	Very Poor	Grove	3
8139	10.8	15	33	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8140	24	25	54	Big leaf maple (Acer macrophyllum)	Fair	Grove	2
8141	29.7	20	54	Big leaf maple (Acer macrophyllum)	Very Poor	Grove	3
8142	11	8	39	Yellow cedar (Callitropsis nootkatensis)	Fair	Not Specific	2
8143	7.7	8	39	Vine maple (Acer circinatum)	Fair	Not Specific	2
8144	30	20	81	Western red cedar (Thuja plicata)	Good	Exceptional	2

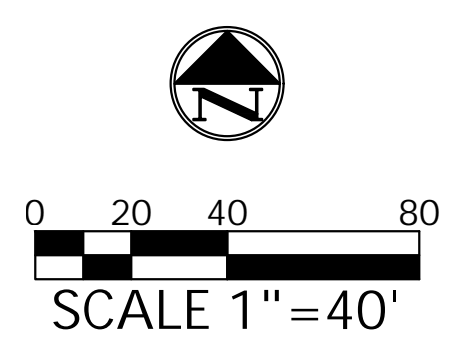
8145	29	25	84	Western red cedar (Thuja plicata)	Good	Not Specific	2
8146	37	30	93	Western red cedar (Thuja plicata)	Fair	Exceptional	2
8147	40	30	93	Western red cedar (Thuja plicata)	Fair	Exceptional	2
8148	31	25	90	Western red cedar (Thuja plicata)	Good	Exceptional	2
8149	41	30	95	Lawsons cypress (Chamaecyparis lawsoniana)	Fair	Exceptional	2
8150	20	15	78	Western red cedar (Thuja plicata)	Fair	Not Specific	2
8151	25	18	84	Douglas fir (Pseudotsuga menziesii)	Good	Not Specific	2
8152	30.1	20	60	Western red cedar (Thuja plicata)	Fair	Not Specific	2
8153	20	18	80	Douglas fir (Pseudotsuga menziesii)	Good	Not Specific	2
8154	24	18	81	Douglas fir (Pseudotsuga menziesii)	Good	Not Specific	2
8155	31	25	85	Western red cedar (Thuja plicata)	Fair	Exceptional	2
8156	15	25	80	Douglas fir (Pseudotsuga menziesii)	Good	Not Specific	2
8157	15	18	80	Douglas fir (Pseudotsuga menziesii)	Fair	Not Specific	2
8158	20	18	78	Douglas fir (Pseudotsuga menziesii)	Fair	Not Specific	2
8159	25	18	42	Ash spp (Fraxius spp)	Fair	Exceptional	2
8160	30	25	93	Douglas fir (Pseudotsuga menziesii)	Critical	Exceptional	3
8161	22.9	0	45	Ash spp (Fraxius spp)	Critical	Not Specific	3
8162	42	30	78	Douglas fir (Pseudotsuga menziesii)	Good	Exceptional	2
8163	36	0	99	Douglas fir (Pseudotsuga menziesii)	Critical	Exceptional	4
8164	35	25	94	Douglas fir (Pseudotsuga menziesii)	Fair	Exceptional	2
8165	28	25	114	Douglas fir (Pseudotsuga menziesii)	Fair	Not Specific	2
8166	11	0	68	Douglas fir (Pseudotsuga menziesii)	Dead	Not Specific	4
8167	24	18	129	Douglas fir (Pseudotsuga menziesii)	Very Poor	Not Specific	3
8168	24	20	75	Ash spp (Fraxius spp)	Very Poor	Not Specific	3
8169	23	20	78	Deodar cedar (Cedrus deodara)	Good	Not Specific	2
8170	9	15	24	Sugar maple (Acer saccharum)	Good	Not Specific	2
8171	16	18	78	Deodar cedar (Cedrus deodara)	Good	Not Specific	2
8172	14	18	42	Deodar cedar (Cedrus deodara)	Good	Not Specific	2
8173	18	18	42	Big leaf maple (Acer macrophyllum)	Poor	Not Specific	3
8174	24	25	57	Douglas fir (Pseudotsuga menziesii)	Fair	Not Specific	2
8175	34	30	83	Douglas fir (Pseudotsuga menziesii)	Fair	Exceptional	2
8176	41	30	90	Douglas fir (Pseudotsuga menziesii)	Fair	Exceptional	2
8177	18.2	15	24	Cherry (Prunus spp)	Fair	Not Specific	2

8178	12	8	18	Cherry (Prunus spp)	Fair	Not Specific	2
8179	20	8	20	Cherry (Prunus spp)	Fair	Not Specific	2
8180	14.8	12	49	Yellow cedar (Callitropsis nootkatensis)	Fair	Not Specific	2
8181	19.2	15	48	Yellow cedar (Callitropsis nootkatensis)	Fair	Not Specific	2
8182	9.1	8	21	English Hawthorn (Crataegus monogyna)	Fair	Not Specific	3
8183	12.7	8	18	Cherry (Prunus spp)	Fair	Not Specific	2
8184	17.5	10	20	Cherry (Prunus spp)	Fair	Not Specific	2



TOPOGRAPHIC SURVEY
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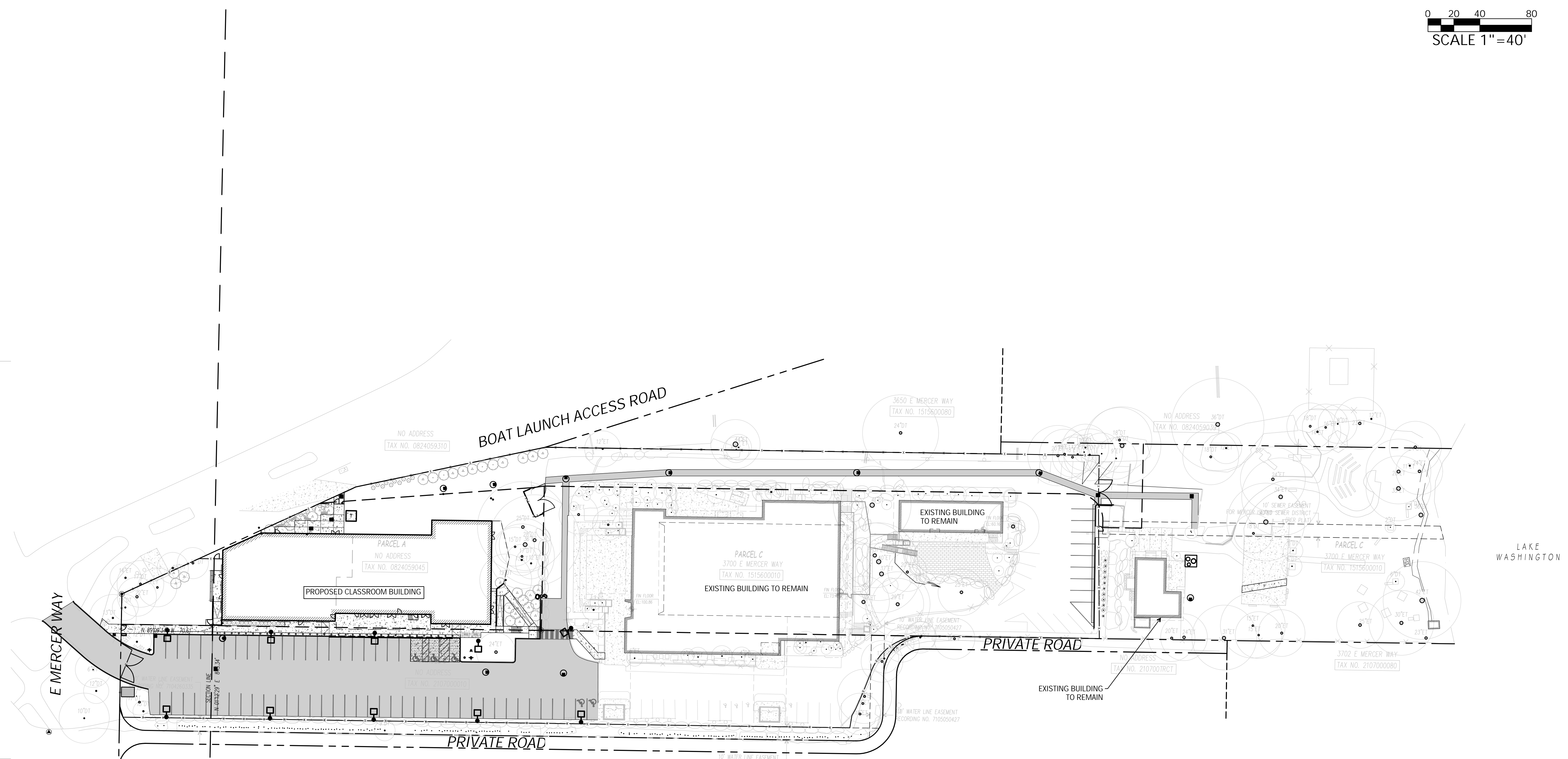
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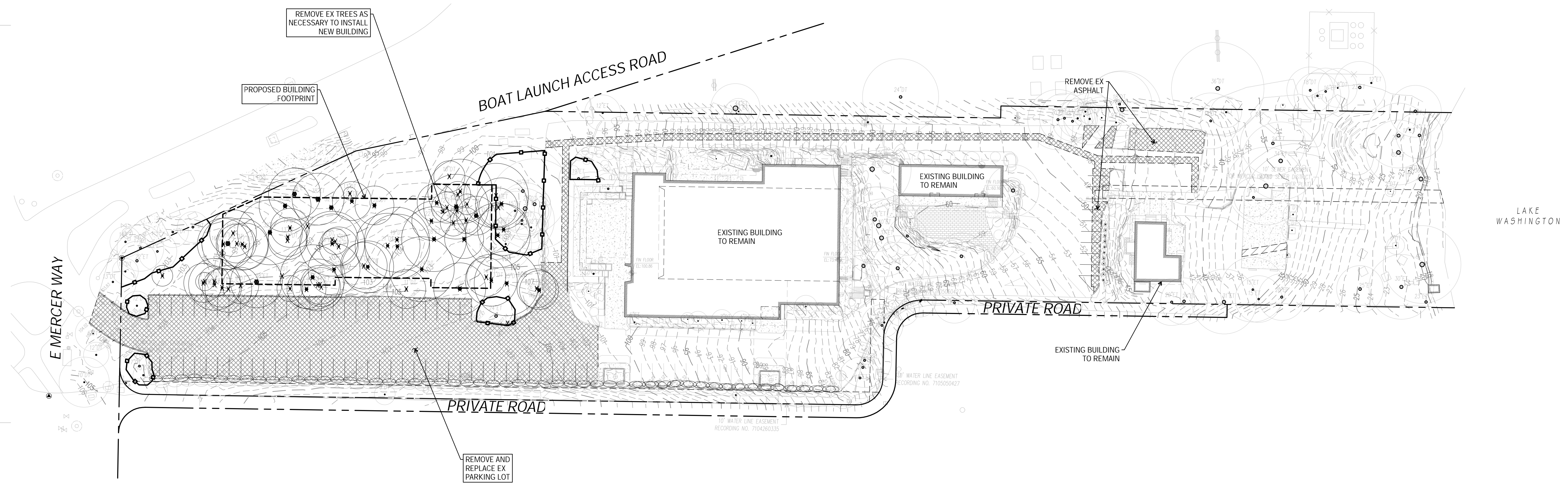
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BARNABIE POINT K-8

NO.	DATE	DESCRIPTION
	22 SEPTEMBER 2024	CONDITIONAL USE PERMIT

PROJECT: OVERALL SITE PLAN

C0.10

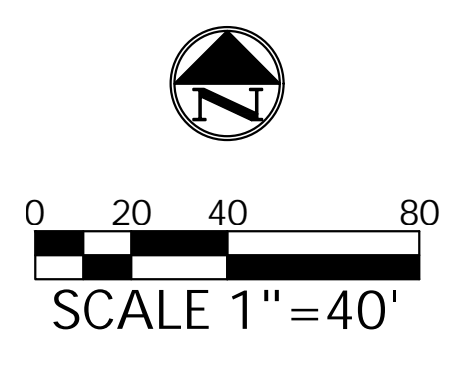
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3700 EAST MERCER WAY
BARNABIE POINT K-8

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	22 SEPTEMBER 2024	CONDITIONAL USE PERMIT
PROJECT:		OVERALL DEMO PLAN

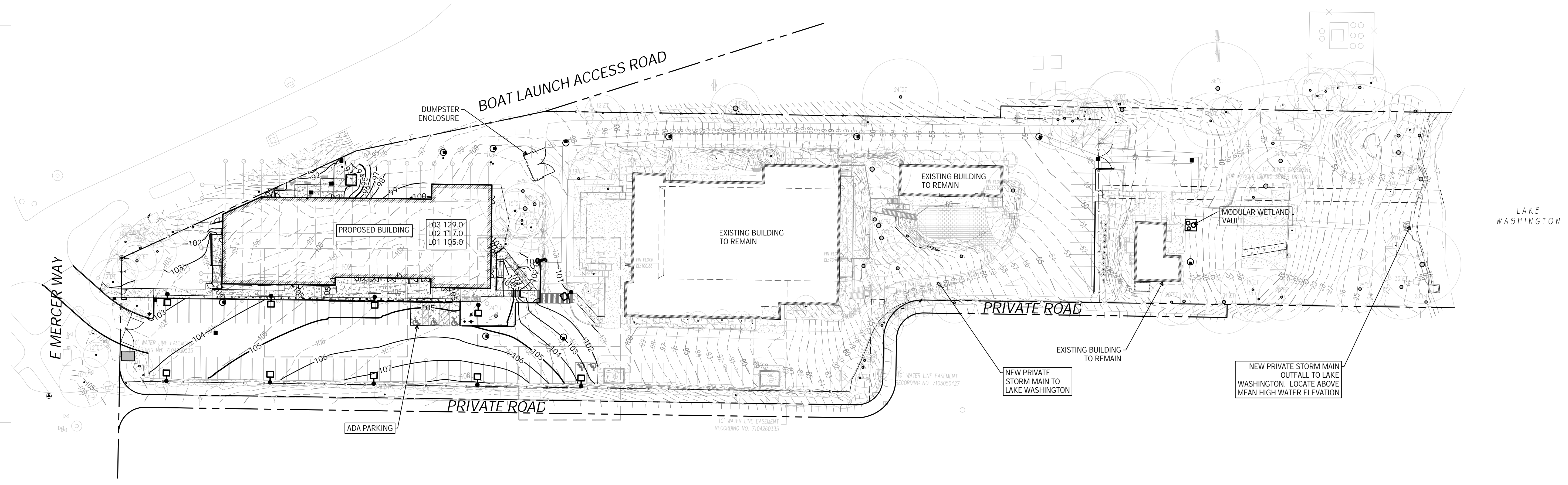
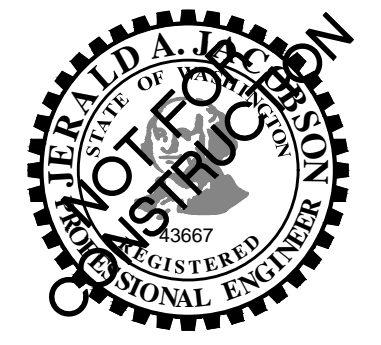
C1.00



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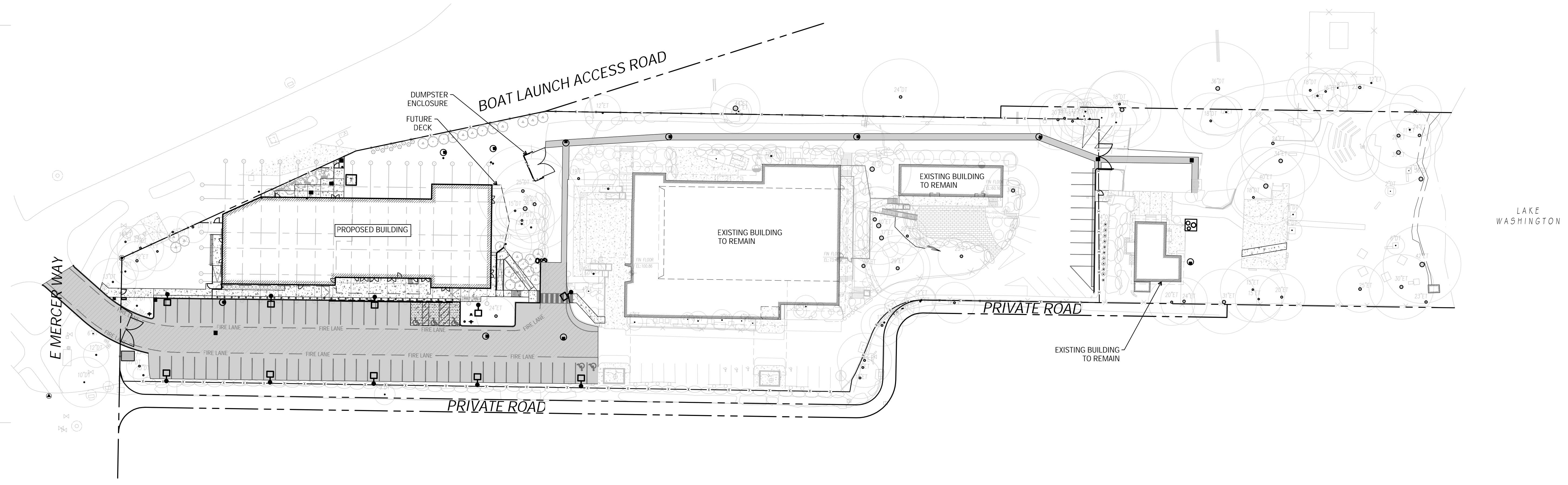
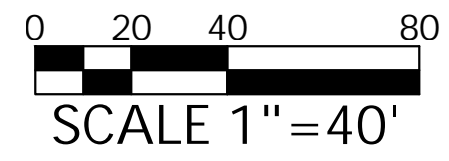
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	22 SEPTEMBER 2024	CONDITIONAL USE PERMIT

PROJECT: OVERALL GRADING PLAN

C3.00

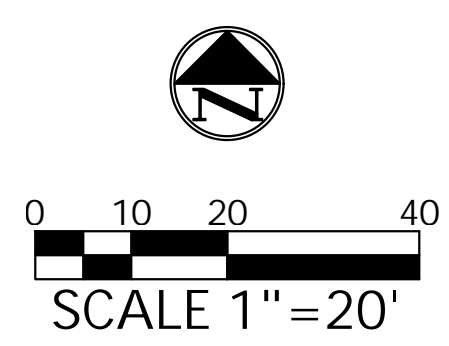
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BARNABIE POINT K-8



3700 EAST MERCER WAY
BARNABIE POINT K-8

NO.	DATE	DESCRIPTION
	22 SEPTEMBER 2024	CONDITIONAL USE PERMIT
PROJECT:		OVERALL PAVING AND STRIPING PLAN

C6.00



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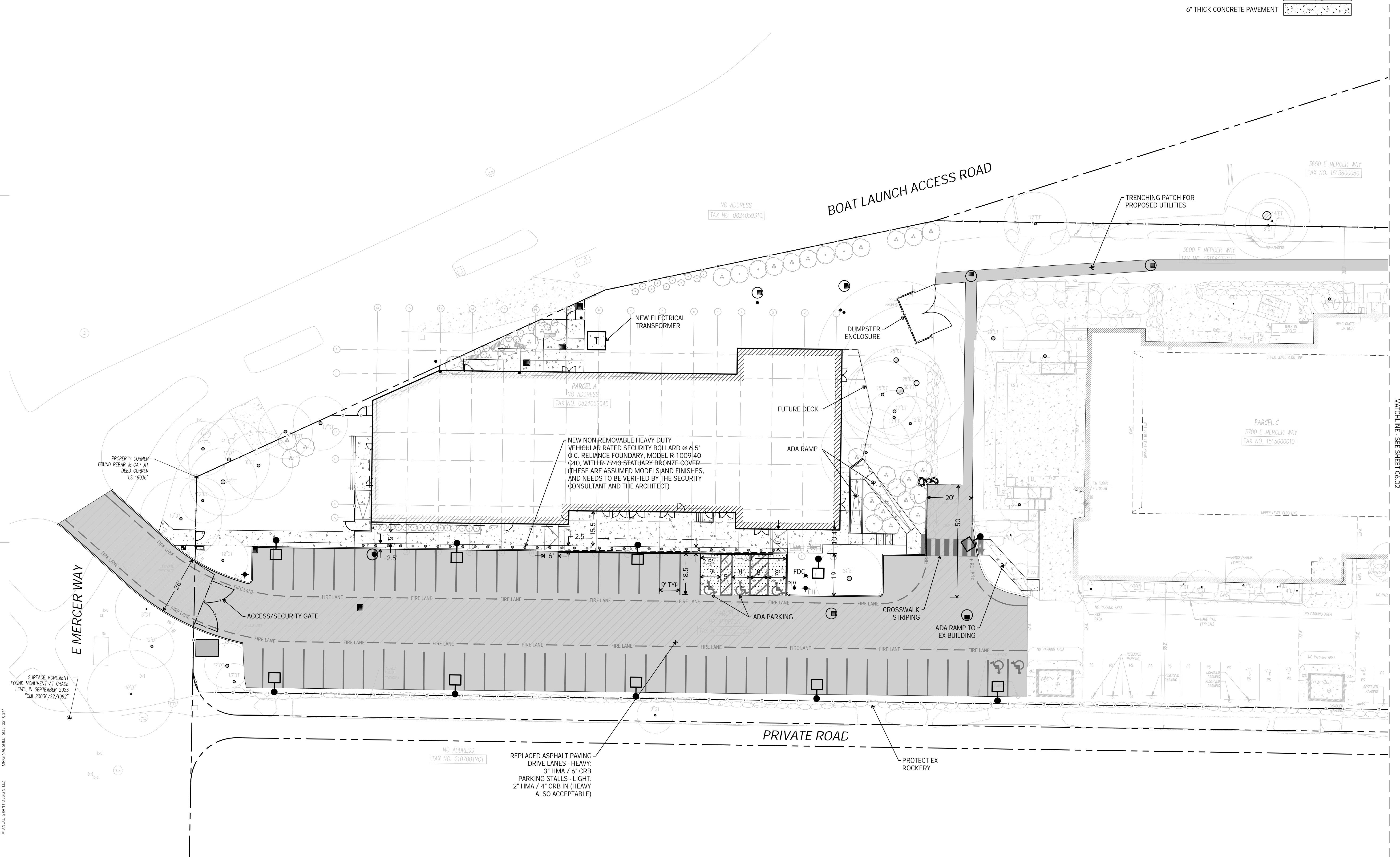
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LEGEND

- PROPERTY LINE N 29°33'06" E - 46.81'
- ASPHALT PAVEMENT
- 4" THICK CONCRETE SIDEWALK
- 6" THICK CONCRETE PAVEMENT



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MATCHLINE - SEE SHEET C6.02

NO.	DATE	DESCRIPTION
	22 SEPTEMBER 2024	CONDITIONAL USE PERMIT

PROJECT: PAVING AND STRIPING PLAN

3700 EAST MERCER WAY
BARNABIE POINT K-8

C6.01



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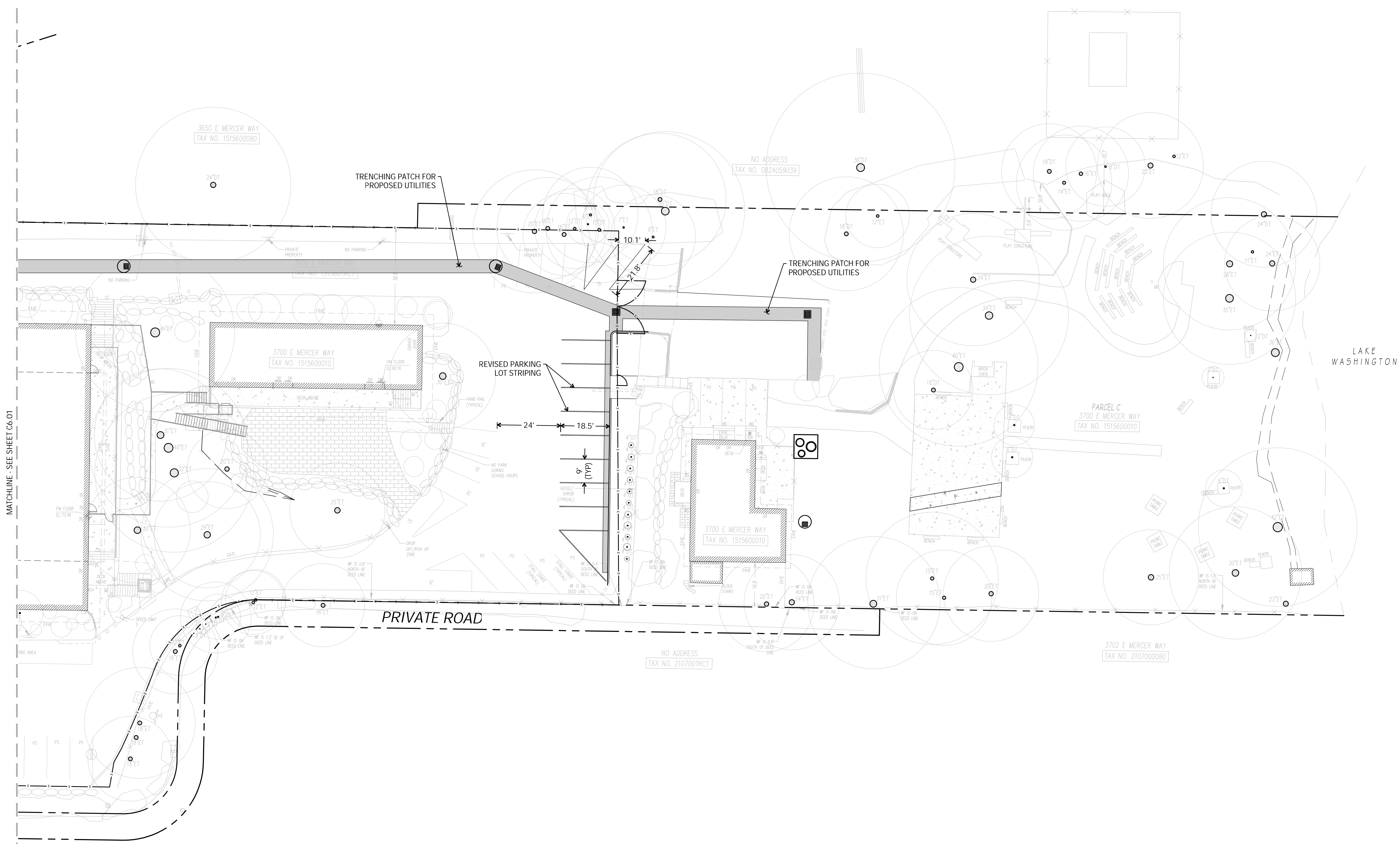
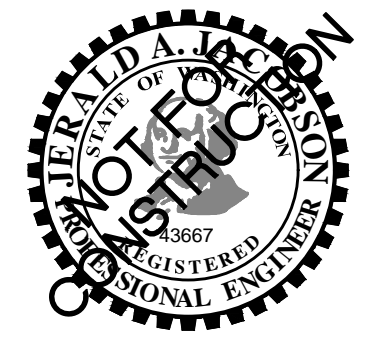


LEGEND

- PROPERTY LINE $N 29^{\circ}33'06'' E - 46.81'$
- ASPHALT PAVEMENT
- 4" THICK CONCRETE SIDEWALK
- 6" THICK CONCRETE PAVEMENT

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MATCHLINE - SEE SHEET C6.01

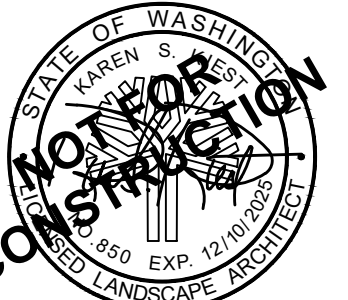
3700 EAST MERCER WAY
BARNABIE POINT K-8

NO.	DATE	DESCRIPTION
	22 SEPTEMBER 2024	CONDITIONAL USE PERMIT

PROJECT:
 PAVING AND STRIPING PLAN

C6.02

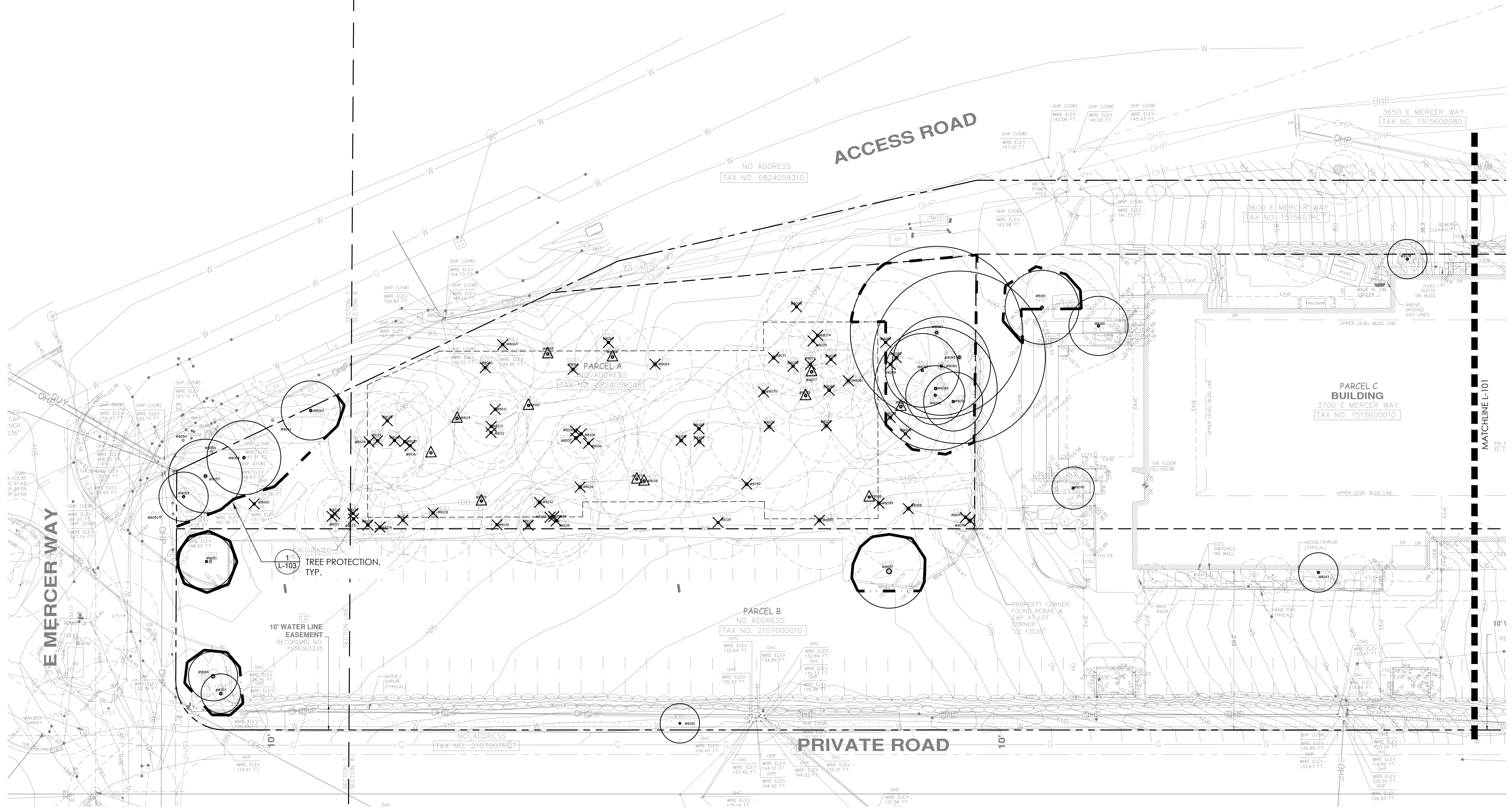
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NO.	DATE	DESCRIPTION
22	SEPTEMBER 2024	CONDITIONAL USE PERMIT
PROJECT:		HNTS

TREE PROTECTION PLAN - WEST

L-101



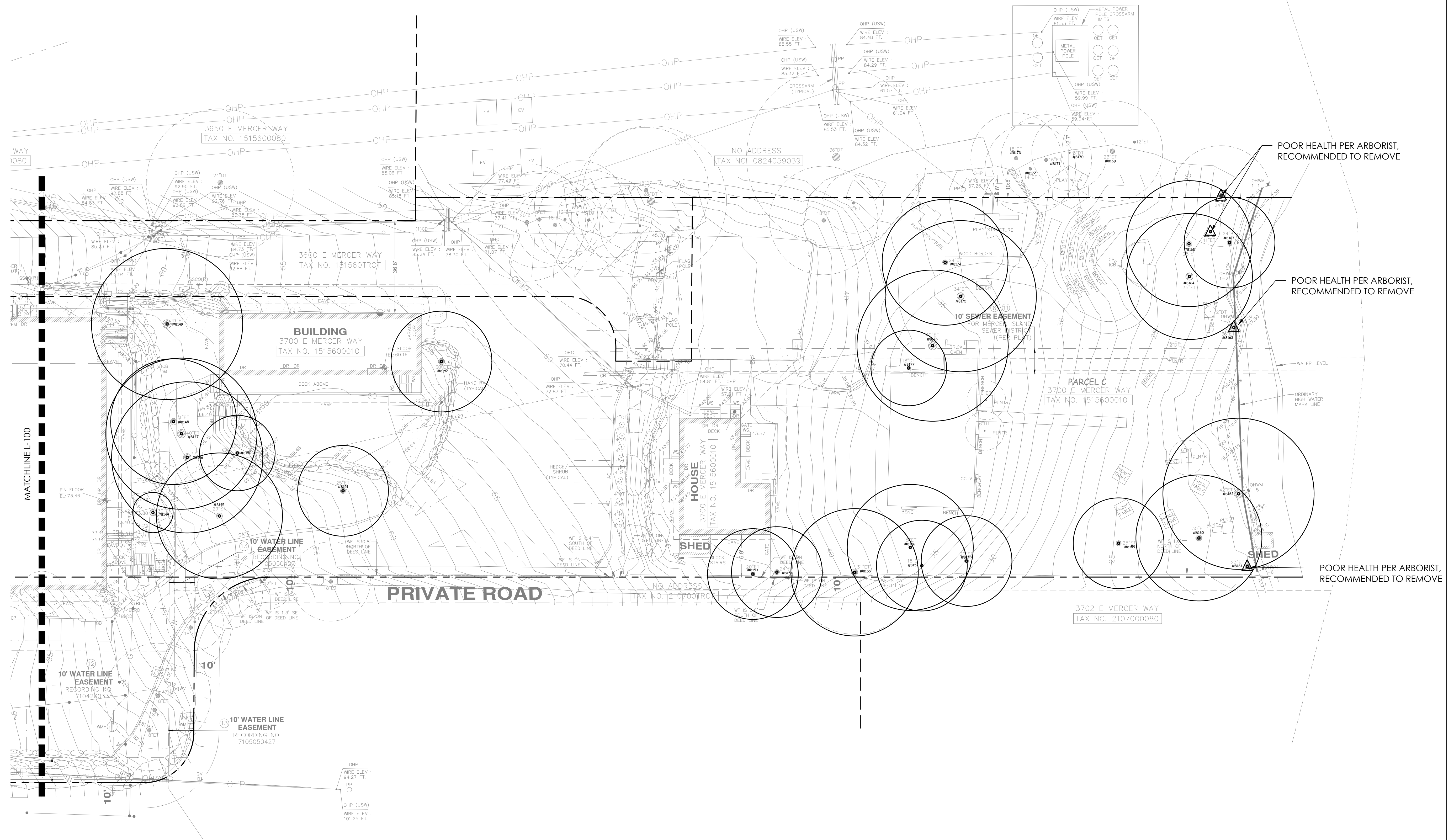
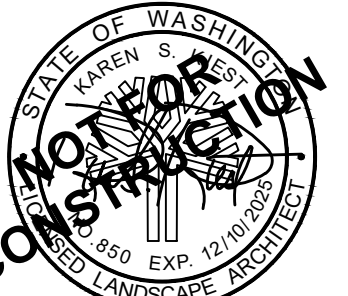
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scale 1" = 20' - 0"



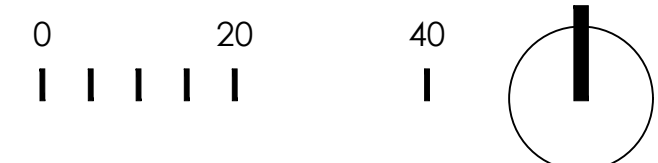
TREE PROTECTION
 - - - - - TREE PROTECTION PER CITY OF MERCER ISLAND
 REFER TO DET. 1, SHEET L-103

SIGNIFICANT TREES	
	SIGNIFICANT TREE TO REMAIN & BE PROTECTED: REFER TO TREE TABLE, SHEET L-103 FOR IDENTIFICATION & SIZE.
	TREE TO BE REMOVED: REFER TO TREE TABLE, SHEET L-103 FOR IDENTIFICATION & SIZE.
	TREE TO BE REMOVED: TREE IN POOR CONDITION PER ARBORIST TREE REPORT. REFER TO TREE TABLE, SHEET L-103 FOR IDENTIFICATION & SIZE.

NOTE: Tree identification, canopy dripline, and diameter at standard height (dsh) based on tree report by Davey Resource Group, Inc., Contact: Ian Scott, dated September 29, 2023



1 Tree Protection Plan - East
scale 1" = 20' - 0"



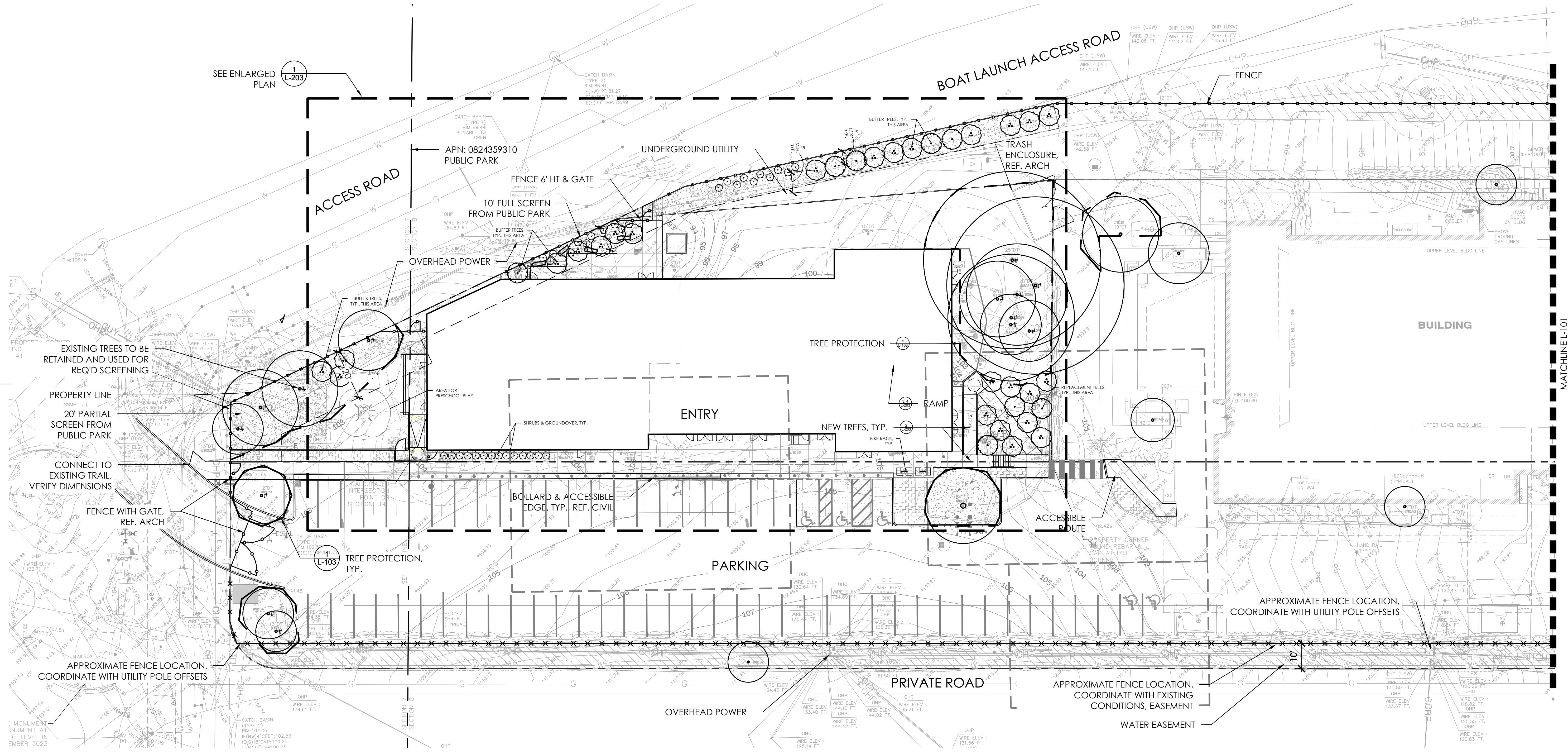
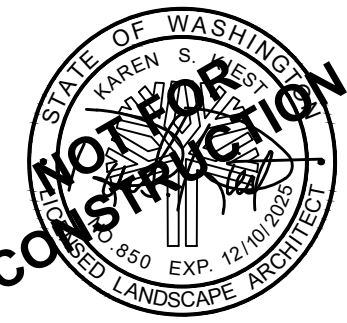
SIGNIFICANT TREES	
	SIGNIFICANT TREE TO REMAIN & BE PROTECTED: REFER TO TREE TABLE, SHEET L-103 FOR IDENTIFICATION & SIZE.
	TREE TO BE REMOVED: REFER TO TREE TABLE, SHEET L-103 FOR IDENTIFICATION & SIZE.
	TREE TO BE REMOVED: TREE IN POOR CONDITION PER ARBORIST TREE REPORT. REFER TO TREE TABLE, SHEET L-103 FOR IDENTIFICATION & SIZE.

NOTE: Tree identification, canopy dripline, and diameter at standard height (dsh) based on tree report by Davey Resource Group, Inc., Contact: Ian Scott, dated September 29, 2023

NO.	DATE	DESCRIPTION
	22 SEPTEMBER 2024	CONDITIONAL USE PERMIT
PROJECT:		HNTS

TREE PROTECTION PLAN - EAST

L-102



1 Landscape Plan - West
scale 1" = 20' - 0"

MATERIALS LIST

- CONCRETE PAVING
PEDESTRIAN C.I.P. CONC. PAVING
BROOM FINISH, SAND-COATED EXP. JOINTS, SAWCUT JOINTS,
SCORING TO BE INDICATED ON CONSTRUCTION PLANS, REF
ALSO CIVIL
- TREE PROTECTION
EXISTING TREE TO REMAIN WITH TREE PROTECTION
FENCING, SEE ALSO ARBORIST'S NOTES
- MULCH
ARBORIST WOOD CHIP MULCH, 4" DEPTH
- LOGS
8'-12' MIN. LOGS, SET PARTIALLY INTO GROUND
- BIKE RACK
TOFINO NO SCRATCH SURFACE MOUNT
RACK, BY SPORTWORKS, INSTALL PER
MFG. RECOMMENDATIONS
- PARKING LOT LIGHTING
REF. ELECTRICAL

- FENCING**
REF. ARCH FOR ADDL. INFORMATION
- PERIMETER FENCE - NORTH & EAST
6' HT., SECURITY
- WEST AUTO ENTRY FENCE & GATE
AUTO ENTRY SECURITY
- WEST STUDENT AREA FENCE
4' HT. MIN.
- SOUTH SIDE
CONFIRM PLACEMENT AT ROCKERY,
TREES, UTILITY POLES

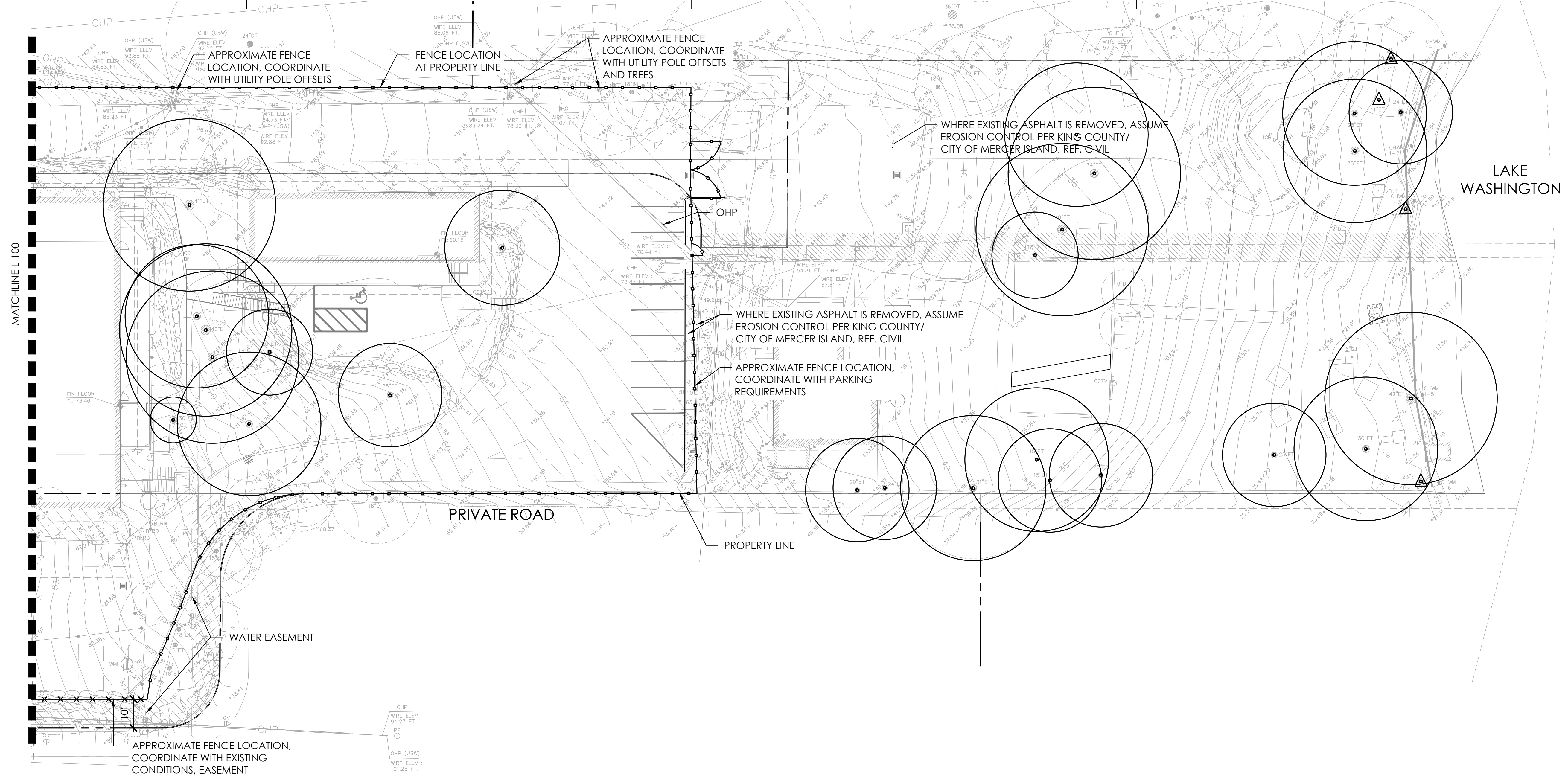
PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COND	DROUGHT	SPACING
DECIDUOUS TREES						
	ACER CIRCINATUM MULTI-STEM, MIN. 3 STEMS, 8-10' HT (1-1/2" DBH OR EQUIVALENT)	VINE MAPLE	8' HT.	B&B	NATIVE	
	RHAMNUS PURSHIANA	CASCARA	1.5" CAL.	B&B	NATIVE	
SHRUBS						
	MAHONIA AQUIFOLIUM	OREGON GRAPE	5 GAL.	CONT.	NATIVE	36" o.c.
	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	5 GAL.	CONT.	NATIVE	36" o.c.
GROUND COVERS						
	NATIVE GROUNDCOVER 1 GAL., CONTAINER, 24" O.C.	KINNIKINICK	1 GAL.	CONT.	NATIVE	60% @ 24" o.c.
	ARCTOSTAPHYLOS UVA-URSI POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL.	CONT.	NATIVE	40% @ 24" o.c.

NO.	DATE	DESCRIPTION
22	SEPTEMBER 2024	CONDITIONAL USE PERMIT

PROJECT: LANDSCAPE PLAN - WEST
HNTS

L-201



1 Landscape Plan - East
scale 1" = 20' - 0"



LANDSCAPE CODE NOTES

PER MICC 19.12.040 - LANDSCAPE DESIGN AND OUTDOOR SPACES, THE FOLLOWING INFORMATION:

- PERIMETER LANDSCAPE SCREENS: WHERE EXISTING UNDERGROWTH WILL BE RETAINED, THE SHRUB AND GROUND COVER REQUIREMENTS FOR ALL SCREEN TYPES MAY BE ADJUSTED, PROVIDED THE OBJECTIVES OF THIS SECTION ARE MET.
- FULL SCREEN:** PROVIDE A DENSE VEGETATED SEPARATION BETWEEN DISSIMILAR USES ON ADJACENT PROPERTIES. A FULL SCREEN SHOULD BLOCK VIEWS FROM ADJACENT PROPERTIES AS SEEN AT THE PEDESTRIAN EYE LEVEL IN ALL SEASONS WITHIN THREE YEARS OF INSTALLATION. THE NUMBER OF TREES PROVIDED SHALL BE PROPORTIONAL TO **ONE TREE FOR EVERY TEN FEET OF LANDSCAPE PERIMETER LENGTH.**
- PARTIAL SCREEN:** PROVIDE A MODERATE VEGETATED SEPARATION BETWEEN USES ON ADJACENT PROPERTIES AND INTERMITTENT VIEWS TO ADJACENT PROPERTIES. A PARTIAL SCREEN SHALL PROVIDE THE DESIRED SCREENING FUNCTION AS SEEN AT THE PEDESTRIAN EYE LEVEL IN ALL SEASONS WITHIN THREE YEARS OF INSTALLATION. THE NUMBER OF TREES PROVIDED SHALL BE PROPORTIONATE TO **ONE TREE FOR EVERY 20 FEET OF LANDSCAPE PERIMETER LENGTH.**
- THE FOLLOWING PLANTING TYPES SHOULD BE USED: NATIVE OR NORTHWEST-ADAPTED PLANTS SHOULD BE USED FOR ALL OPEN SPACE AND BUFFER LOCATIONS AND DROUGHT TOLERANT PLANTINGS SHOULD BE USED IN A MAJORITY OF PLANTINGS.
- GROUND COVER SHOULD BE USED TO ENSURE PLANTING AREAS ARE ATTRACTIVE, MINIMIZE MAINTENANCE AND THE POTENTIAL FOR ENCROACHMENT OF INVASIVE PLANT MATERIAL. GROUND COVER SHOULD BE PLANTED AND SPACED TO ACHIEVE TOTAL COVERAGE WITHIN THREE YEARS AFTER INSTALLATION.

TREE NOTES

- PROVIDE TREE PROTECTION FOR TREES SHOWN TO REMAIN. SEE DETAIL L-103, SEE ALSO ARBORIST'S REPORT.
- FOR REPLACEMENT TREE REQUIREMENTS, SEE SHEET L-103 TREE INVENTORY AND REPLACEMENT. REFER TO TREE REPLACEMENT CALCULATIONS FOR REQUIRED QUANTITIES.
- ASSUME MIN. ONE WATER BAG PER TREE.

PLANTING NOTES

- PROVIDE 1-YEAR MAINTENANCE AND WATER FOR HEALTHY ESTABLISHMENT OF ALL PLANTINGS.
- ALL AREAS WITHIN LIMIT OF DISTURBANCE SHALL BE RESTORED.
- PROVIDE GROUND COVERS IN ALL SHRUB PLANTING AREAS. GROUND COVERS SHALL BE SPACED USING TRIANGULAR PATTERN, TO PROVIDE TOTAL COVERAGE OF LANDSCAPE AREA IN THREE YEARS.
- ADJUST TREE LOCATIONS AS NECESSARY TO BE 8 FEET CLEAR FROM CENTER LINES OF UNDERGROUND UTILITIES.
- ADJUST TREE LOCATIONS AS NECESSARY TO BE 5 FEET CLEAR MINIMUM FROM FENCING.

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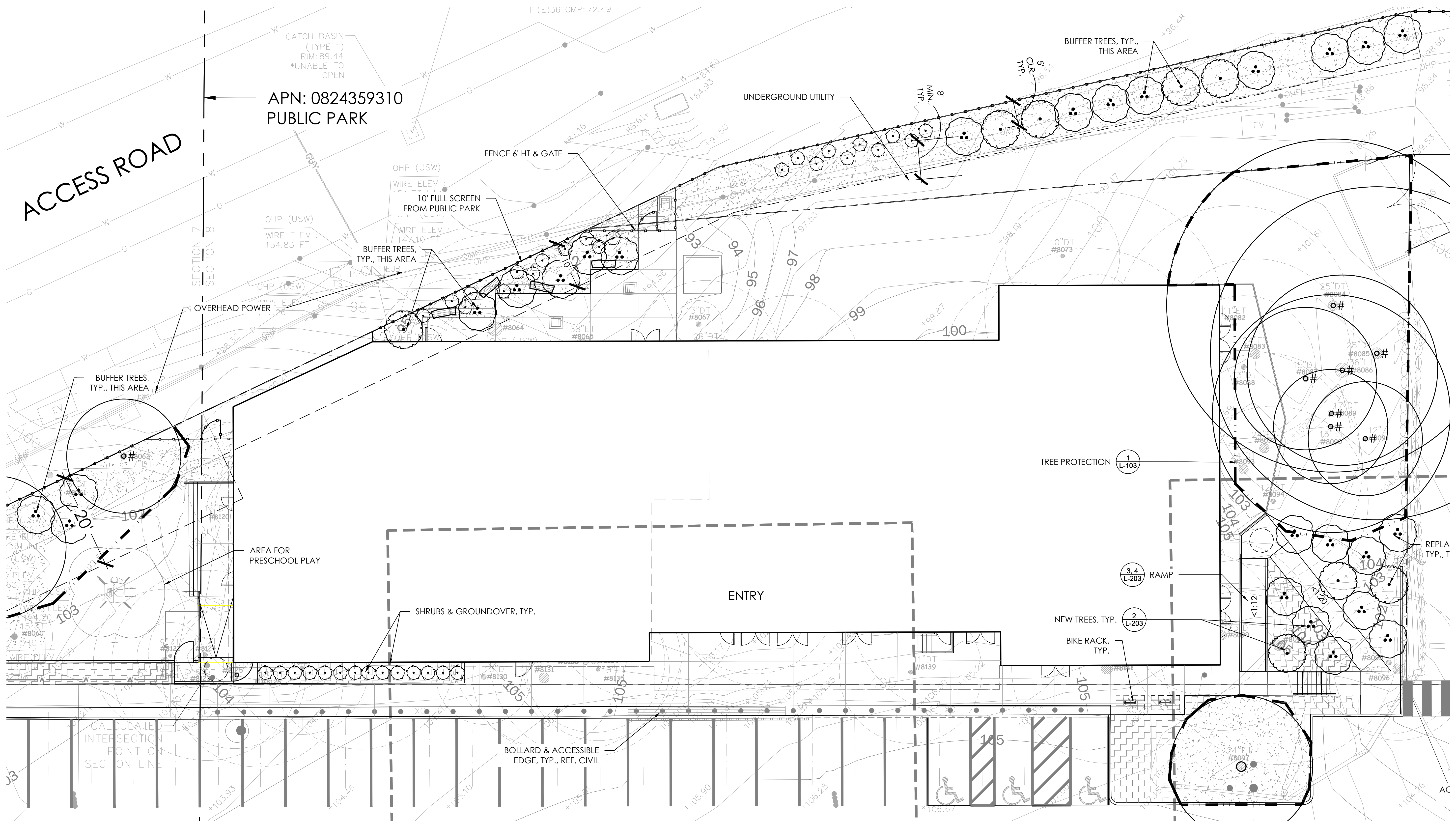


3700 EAST MERCER WAY
PRESCHOOL AT HERZL NER TAMID

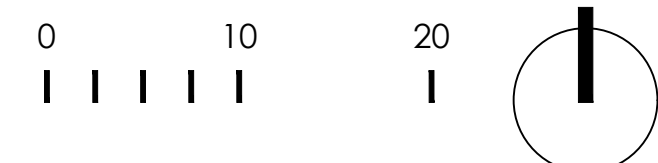
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LANDSCAPE PLAN - EAST

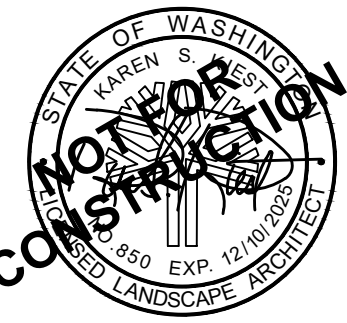
L-202



1 Landscape Plan - Enlargement
 scale 1" = 10' - 0"



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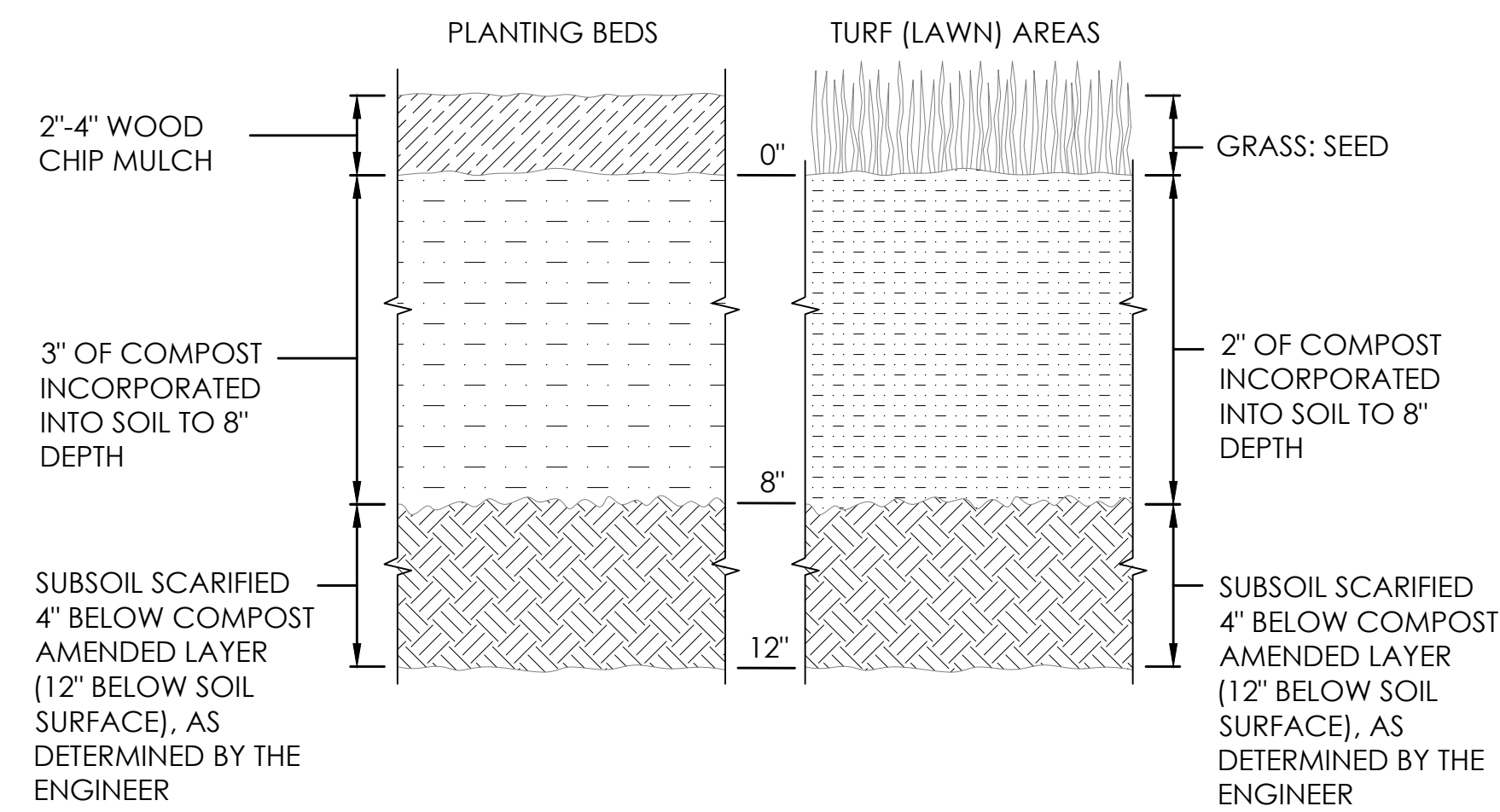


3700 EAST MERCER WAY
 PRESCHOOL AT HERZL NER TAMID

NO.	DATE	DESCRIPTION
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PROJECT:		HNTS

LANDSCAPE PLAN - ENLARGEMENT

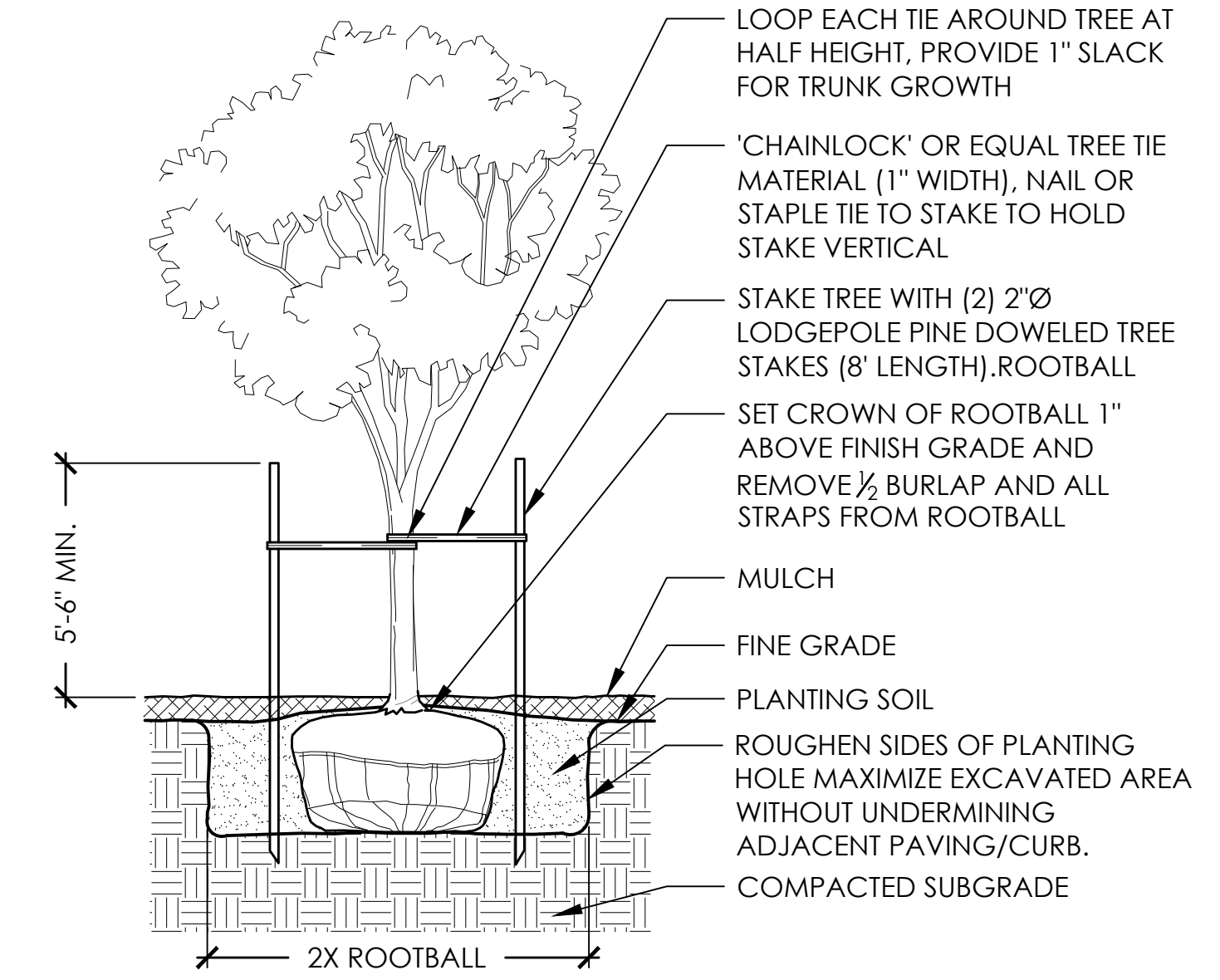
L-203



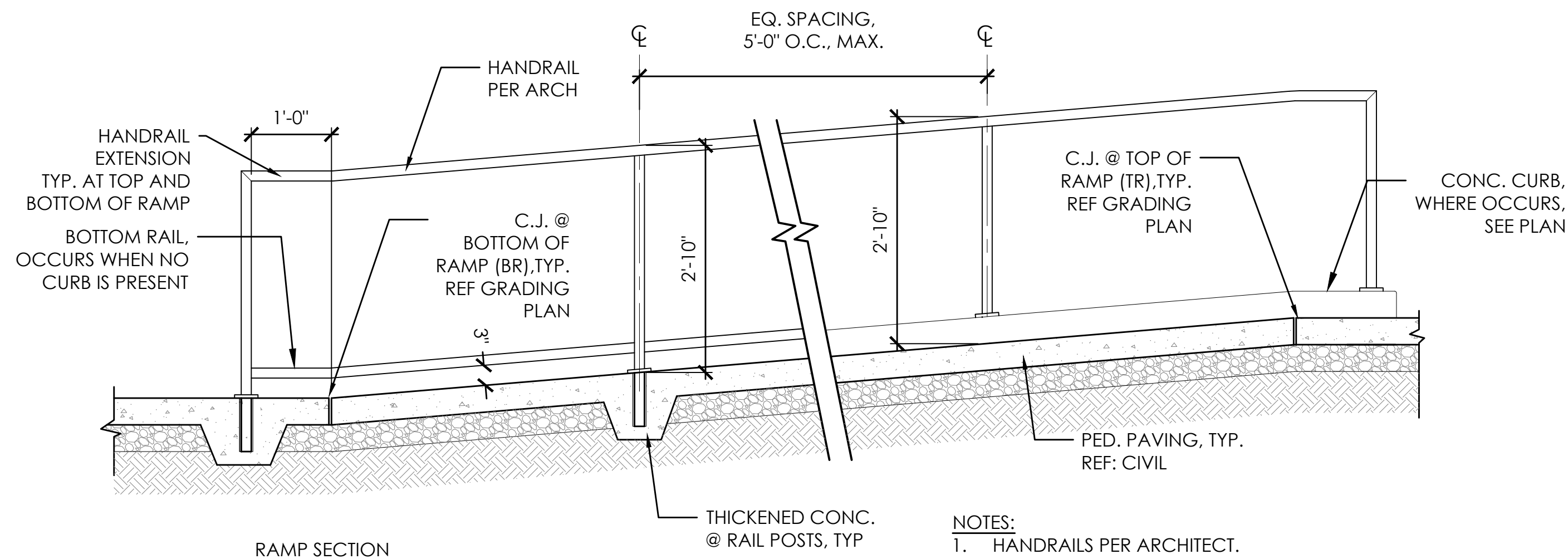
1 SOIL AMENDMENT AND DEPTH
SCALE: NTS

NOTES:

1. ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION, AND NOT COVERED BY BUILDINGS OR PAVEMENT, SHALL BE AMENDED WITH COMPOST AS DESCRIBED BELOW.
2. SUBSOIL SHOULD BE SCARIFIED (LOOSENED) 4 INCHES BELOW AMENDED LAYER, TO PRODUCE 12-INCH DEPTH OF UN-COMPACTED SOIL, EXCEPT WHERE SCARIFICATION WOULD DAMAGE TREE ROOTS OR AS DETERMINED BY THE ENGINEER.
3. COMPOST SHALL BE TILLED IN TO 8 INCH DEPTH INTO EXISTING SOIL, OR PLACE 8 INCHES OF COMPOST-AMENDED SOIL, PER SOIL SPECIFICATION.
4. TURF AREAS SHALL RECEIVE 1.75 INCHES OF COMPOST TILLED IN TO 8-INCH DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 35-40% COMPOST BY VOLUME. MULCH AFTER PLANTING, WITH 2-4 INCHES OF ARBORIST WOOD CHIP MULCH OR APPROVED EQUAL.
5. PLANTING BEDS SHALL RECEIVE 3 INCHES OF COMPOST TILLED IN TO 8-INCH DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 35-40% COMPOST BY VOLUME. MULCH AFTER PLANTING, WITH 2-4 INCHES OF ARBORIST WOOD CHIP MULCH OR APPROVED EQUAL.
6. SETBACKS: TO PREVENT UNEVEN SETTLING, DO NOT COMPOST-AMEND SOILS WITHIN 3 FEET OF UTILITY INFRASTRUCTURES (POLES, VAULTS, METERS ETC.). WITHIN ONE FOOT OF PAVEMENT EDGE, CURBS AND SIDEWALKS SOIL SHOULD BE COMPACTED TO APPROXIMATELY 90% PROCTOR TO ENSURE A FIRM SURFACE.

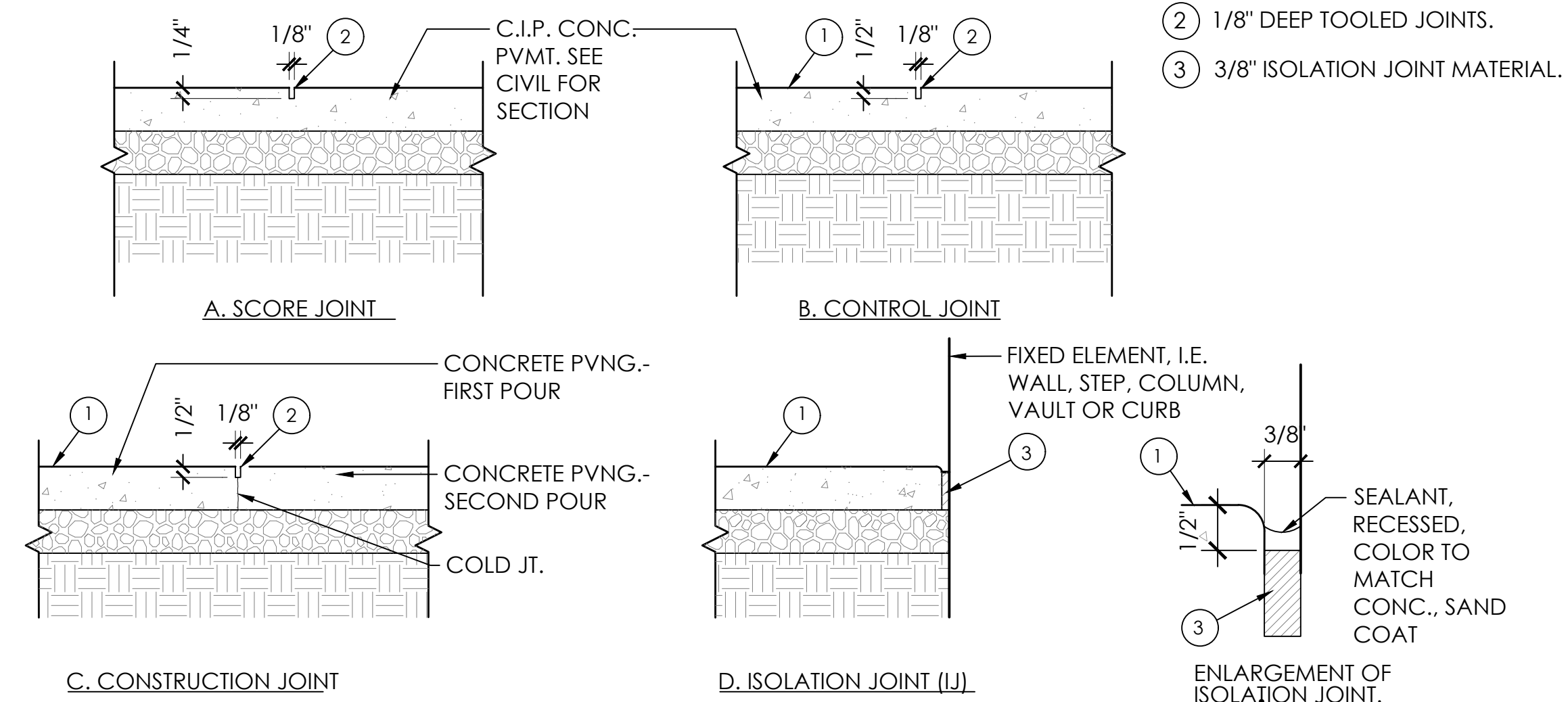


2 DECIDUOUS TREE PLANTING
SCALE: 1" = 1'-0"



3 C.I.P. CONC. RAMP
SCALE: 3/4" = 1'-0"

- NOTES:**
1. HANDRAILS PER ARCHITECT.
 2. SHOP DRAWINGS REQUIRED FOR ALL HANDRAILS FOR REVIEW BY ARCHITECT PRIOR TO FABRICATION
 3. FIELD MEASURE FOR ALL HANDRAILS.



4 CONCRETE PAVEMENT FINISHES - ON SITE/ON GRADE
SCALE: 1" = 1'-0"



NO.	DATE	DESCRIPTION
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LANDSCAPE DETAILS		