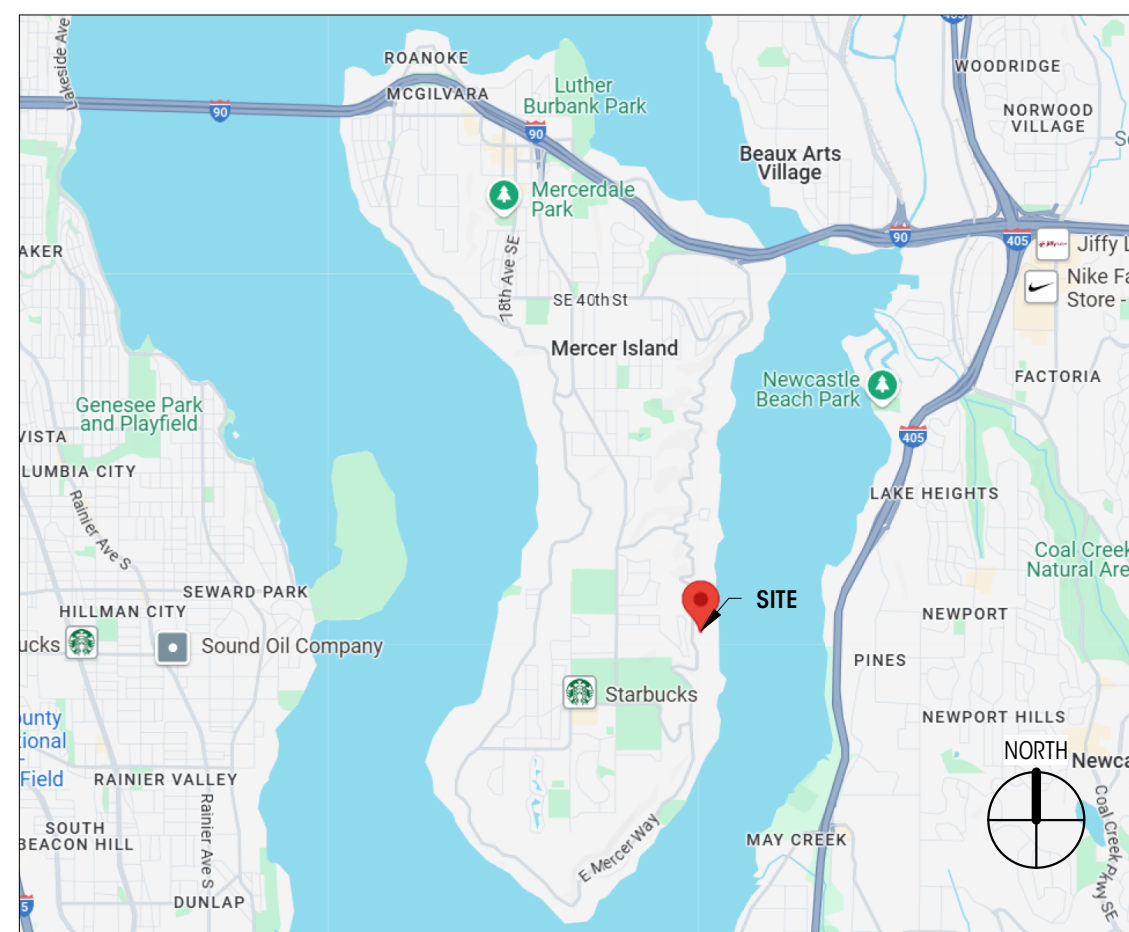
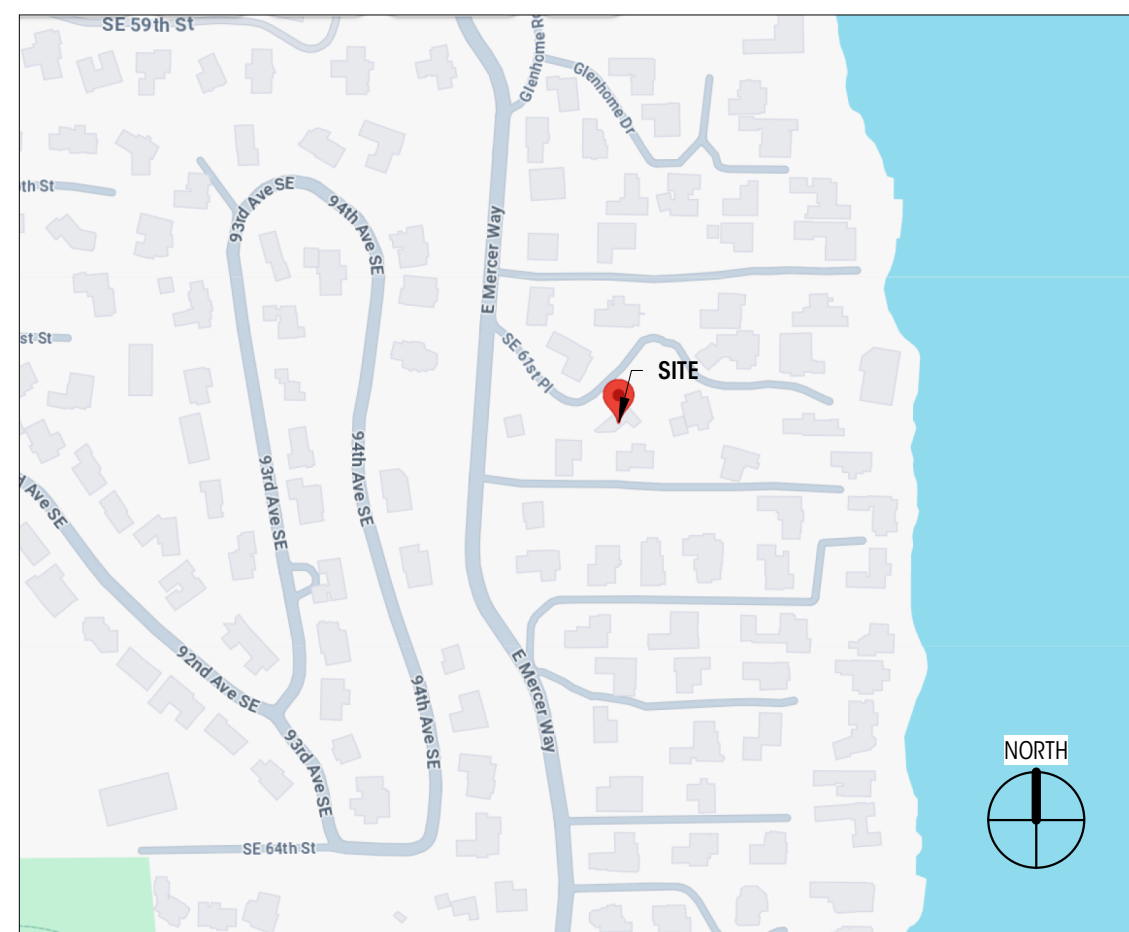


VICINITY PLAN



LOCATION PLAN



GENERAL NOTES

ALL WORK SHALL BE IN COMPLIANCE WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED AND MODIFIED BY THE LOCAL JURISDICTIONAL LAND USE CODE, AND ALL OTHER LAWS, CODES, ORDINANCES AND REGULATIONS OF THE COUNTY, STATE, AND FEDERAL JURISDICTIONS. (LATEST EDITION AND AMENDMENTS)

ALL UNDERGROUND UTILITIES MUST BE VERIFIED AS TO EXACT LOCATIONS SO AS NO INTERFERENCE BY DISRUPTION WILL BE CAUSED. GENERAL CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITIES BY THE METHODS RECOMMENDED AT THE PRE-CONSTRUCTION SITE MEETING. DAMAGE THAT MAY BE CAUSED BY GENERAL CONTRACTOR OR SUBCONTRACTOR TO ANY OF THE ABOVE MENTIONED SHALL BE REPAIRED BY HIM AND LEFT IN AS GOOD A CONDITION AS EXISTED PRIOR TO DAMAGING.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE IDENTIFICATION AND REMOVAL OF ALL HAZARDOUS MATERIALS IN COMPLIANCE WITH ALL APPLICABLE CODES AND LAWS PRIOR TO ANY WORK COMMENCING. IN THE EVENT THAT THE OWNER IS ACTING AS THE GENERAL CONTRACTOR, THE OWNER IS RESPONSIBLE FOR THE IDENTIFICATION AND REMOVAL OF ALL HAZARDOUS MATERIALS IN COMPLIANCE WITH ALL APPLICABLE CODES AND LAWS PRIOR TO ANY WORK COMMENCING.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND JOB CONDITIONS RELATED TO THIS WORK. ALL DIMENSIONS SHALL BE CONSIDERED "NOMINAL" UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS; USE WRITTEN DIMENSIONS ONLY. DIMENSIONS ON LARGE SCALE DRAWINGS OR DETAILS WILL PREVAIL OVER SMALLER SCALED DRAWINGS. WRITTEN DIMENSIONS ARE DRAWN TO THE FACE OF STUD. U.N.O. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT, PROVIDE ALL BUCKOUTS, BLOCKING, AND JACKS AS REQUIRED BY THE DRAWINGS AND OTHER TRADES. ANY DISCREPANCY IN DIMENSIONS SHALL BE REPORTED IN WRITING TO THE PROJECT MANAGER/ DESIGNER FOR CLARIFICATION, OR APPROVAL OF MODIFICATION BEFORE COMMENCING WORK. THE RESPONSIBILITY TO THE PROJECT MANAGER/DESIGNER, SHALL REST WITH THE CONTRACTOR OR ANY OTHER PERSON APPROVING SUCH A CHANGE.

ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF CERTIFICATE OF OCCUPANCY UNLESS SPECIFIED FOR A LONGER PERIOD OF TIME ON SPECIFIED ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING OR REPAIRING HIS OWN DEFECTIVE WORK AS WELL AS PAY ALL COSTS INCIDENTAL THERETO INCLUDING DAMAGE TO OTHER WORK, FURNISHINGS OR EQUIPMENT.

ALL WARRANTIES OR GUARANTEES AS TO MATERIALS OR WORKMANSHIP ON OR WITH RESPECT TO THE OWNER'S WORK SHALL BE CONTAINED IN THE CONTRACT OR SUBCONTRACT WHICH SHALL BE SO WRITTEN THAT SUCH GUARANTEE OR WARRANTIES SHALL INSURE TO THE BENEFIT OF OWNER.

INSURANCE: PRIOR TO THE COMMENCEMENT OF WORK THE GENERAL CONTRACTOR SHALL DELIVER TO THE OWNER CERTIFICATES OF INSURANCE FOR BOTH COMPREHENSIVE GENERAL LIABILITY AND WORKMAN'S COMPENSATION INCLUDING THE TOTAL AMOUNT OF COVERAGE AND CONDITIONS STIPULATED AND AGREED BY BOTH PARTIES.

THE OWNER SHALL BE RESPONSIBLE FOR PAYING FOR THE BUILDING PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED OR NECESSARY FOR THE COMPLETION OF THE WORK FROM THE RESPECTIVE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE GOVERNING AGENCIES AS REQUIRED FOR SITE INSPECTIONS.

ALL TRADES SHALL REFER TO THE ARCHITECTURAL DRAWINGS REGARDING LOCATIONS OF WORK TO BE INSTALLED.

UNLESS OTHERWISE NOTED, PROVIDE ALL MISCELLANEOUS FASTENERS, HARDWARE AND ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION. EVEN THOUGH SUCH ITEMS MAY NOT HAVE BEEN SPECIFICALLY MENTIONED IN THE DRAWINGS AND SPECIFICATIONS, NOTIFY THE ARCHITECT OF ANY REVISIONS OR ADDITIONAL INFORMATION OBTAINED FROM THE MANUFACTURER OF SPECIFIED MATERIALS OR EQUIPMENT WHICH MAY AFFECT THE CONTRACT TIME, COST OR QUALITY OF WORK.

GENERAL CONDITIONS: THE GENERAL CONTRACTOR, ALL SUB-CONTRACTORS AND ALL MAJOR SUPPLIERS SHALL SUBMIT TO THE OWNER WITHIN 30 DAYS AFTER COMPLETION ALL "RELEASE OF LIENS" FOR ALL WORK PERFORMED PRIOR TO FINAL PAYMENT.

PARTIAL LIEN WAIVERS TO BE SUBMITTED WITH MONTHLY REQUESTION. ALL MANUFACTURERS AND/OR SUPPLIERS SHALL SUBMIT SHOP DRAWINGS AND/OR MATERIAL SAMPLES TO THE DESIGNER/OWNER FOR APPROVAL PRIOR TO FABRICATION.

ALL OF THE GENERAL CONTRACTOR'S EQUIPMENT, SCAFFOLDING HOISTS, ETC., SHALL BE AVAILABLE TO THE OWNER'S DESIGNER AND THEIR STAFF FOR INSPECTION OF ANY AND ALL WORK DURING NORMAL WORKING HOURS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DELIVERY POINTS, HOISTS LOCATIONS, ACCESS TO AND FROM THE SITE OF THE BUILDING AND UTILITY SERVICES. BID TO INCLUDE ALL NECESSARY AND REQUIRED PERMITS, LICENSES, FEES, BONDS AND INSURANCE - EVIDENCE OF WHICH MUST BE SUBMITTED TO OWNER/ DESIGNER PRIOR TO ANY CONSTRUCTION.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBCONTRACTORS WORKING AT JOB SITE AND FOR ALL COORDINATION OF WORK.

THE MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTOR SHALL FULLY COORDINATE ALL EQUIPMENT WITH THE OTHER TRADES. THESE CONTRACTORS SHALL BE RESPONSIBLE FOR FINAL HOOK-UP OF ALL EQUIPMENT NOT FURNISHED BY THEM BUT REQUIRING THE SAME FOR FINAL COMPLETION.

GENERAL CONTRACTOR TO BE RESPONSIBLE FOR SECURITY OF ALL MATERIALS AT JOB SITE UNTIL FINAL ACCEPTANCE OF WORK BY OWNER.

ANY SUBCONTRACTOR CUTTING INTO WORK ALREADY COMPLETED, CUTTING CHASES AND TRENCHES FOR THE INTRODUCTION OF HIS WORK AND EQUIPMENT IN THE BUILDING SHALL DO OR PAY FOR ALL BACK FILLING, REPAIRATION OF WALLS, FLOOR, ETC., DAMAGE BY SUCH A COMPANY. ALL REPAIRS SHALL MATCH EXISTING SURFACES.

CONSTRUCTION SPECIFICATIONS: NO SUBSTITUTIONS ARE ALLOWED FOR MATERIALS WHERE SPECIFIC MANUFACTURERS ARE INDICATED, UNLESS APPROVED BY THE OWNER/ARCHITECT. REQUESTS FOR SUBSTITUTIONS SHALL BE MADE IN WRITING PRIOR TO ORDERING MATERIALS OR COMMENCING WORK. SUCH REQUESTS SHALL INCLUDE THE DATE, SCOPE OF WORK, ANY ADDITIONAL COSTS TO THE OWNER, AND ANY ANTICIPATED DELAYS CAUSED BY SUCH CHANGES.

NO EXTRA WORK OR CHANGE SHALL BE MADE UNLESS A WRITTEN CHANGE ORDER IS SUBMITTED AND SIGNED BY THE OWNER AND ARCHITECT. THE ORDER SHALL STATE THAT THE OWNER HAS AUTHORIZED THE EXTRA WORK OR CHANGE, AND NO CLAIM FOR AN ADDITIONAL SUM SHALL BE VALID UNLESS SO OFFERED AS DESCRIBED ABOVE.

ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED. WOOD SPECIFICATIONS TO CONFORM TO OUTLINE SPECIFICATIONS, STRUCTURAL PLANS, NOTES, AND GENERAL CONDITIONS.

CAULKING AND SEALANTS: INSTALLED SHALL BE GUARANTEED WATERTIGHT. EXTERIOR METAL WORK, INCLUDING WINDOWS AND DOOR FRAMES AND ALL JUNCTIONS BETWEEN MASONRY, CONCRETE AND METAL SHALL BE SEALED WITH NEOPRENE OR POLYURETHANE FILLER AND APPROVED SEALANT COMPOUNDS.

PROVIDE GALVANIC INSULATION BETWEEN ALL DISSIMILAR METALS.

PROVIDE WATERPROOFING MEMBRANE OVER PROTECTIVE BOARD AT ALL WALLS EXPOSED TO EARTH.

ALL PIPING AND CONDUIT UNDER SLAB SHALL BE A MINIMUM OF 2'-0" CLEAR OF UNDERSIDE OF FOOTING.

ALL FINAL SURFACE GRADING SHALL BE COMPLETED TO FACILITATE POSITIVE DRAINAGE AWAY FROM THE BUILDING UNLESS NOTED OTHERWISE.

PROVIDE AND INSTALL INSULATION AT EXTERIOR WALLS, ROOF, FLOOR LOCATIONS AS SHOWN, SPECIFIED AND IN ACCORDANCE WITH THE WASHINGTON STATE ENERGY CODE.

WATER PIPES TO BE INSULATED IN ALL UNHEATED AREAS.

INSULATE ALL ROUGH-IN PLUMBING IN WALLS, FLOORS, AND CEILINGS FOR SOUND TRANSMISSION.

PROJECT DATA

EXISTING LOT AREA SUMMARY
 GROSS LOT AREA 19100 SF
 ACCESS EASEMENTS 0 SF
 NET LOT AREA 19100 SF
 LOT SLOPE (SEE SHEET A101) (137.92' - 106.00') / 174.5' = 18.29%

TREE REMOVAL
 (E) TREES TO BE REMOVED 0
 (N) TREES TO BE PLANTED AS REPLACEMENT 0

EXISTING LOT COVERAGE
 (E) RESIDENCE, GARAGE, AND OVERHANGS 1988.55 SF
 (E) DRIVING SURFACES 2053.38 SF
(E) TOTAL LOT COVERAGE 4012.13 SF = 21.01% OF LOT AREA

PROPOSED LOT COVERAGE
 (E) RESIDENCE, GARAGE, AND OVERHANGS 1910.13 SF
 (N) RESIDENCE ADDITION 127.14 SF
 (E) DRIVING SURFACES 2087.41 SF
 (N) DETACHED ACCESSORY SHED AND OVERHANGS 280.00 SF
(N) TOTAL LOT COVERAGE 4404.7 SF = 23.06% OF LOT AREA

ALLOWABLE LOT COVERAGE
 35% OF LOT AREA BASED ON LOT SLOPE, PER MICC 19.02.020.F.3.a. 19100 SF * 0.35 = 6685 SF

EXISTING HARDSCAPE
 STAIRS 173.72 SF
 PATIOS, WALKWAYS, AND DECKS 2178.69 SF
 (E) DRIVING SURFACES 1268.85 SF
TOTAL EXISTING 3621.26 SF = 18.96% OF LOT AREA

DEMOLISHED HARDSCAPE
 PATIO (IN PROPOSED RESIDENCE EXPANSION FOOTPRINT AREA) 124.44 SF
 PATIO (IN PROPOSED SHED ROOF AND FOOTPRINT AREA) 45.61 SF
 (E) DRIVING SURFACES (93.28)
TOTAL DEMOLISHED 170.05 SF

PROPOSED HARDSCAPE
 (E) STAIRS 173.72 SF
 (E) PATIOS, WALKWAYS, AND DECKS 1293.69 SF
 (N) TURF PATIO (FROM EXISTING PATIO) 93.78
 (E) SITE WALLS AND ROCKERIES 1268.85 SF
 (N) TOTAL HARDSCAPE 2767.04 SF

ALLOWABLE HARDSCAPE
 19% OF LOT AREA 19100 SF * 0.09 = 1719 SF
 PER MICC 19.02.020.F.3.b.ii., HARDSCAPE IMPROVEMENTS ARE PERMITTED IN THE MAXIMUM LOT COVERAGE AREA
 REMAINING LOT COVERAGE 6685 SF - 4404.7 SF = 2280.3 SF
 TOTAL ALLOWABLE HARDSCAPE 1719.0 SF + 2280.3 SF = 3999.3 SF
 (PROPOSED IS LESS THAN ALLOWABLE)

EXISTING BUILDING AREA SUMMARY (GFA)
 (E) BASEMENT LEVEL 428.33 SF
 (E) BASEMENT ATTACHED GARAGE 435.07 SF
 (E) BASEMENT LEVEL BELOW GRADE (187.61 SF)
 EXCLUDED PER MICC CHAPTER 19 APPENDIX B, REF. BASEMENT CALC ON SHEET A211)
 (E) MAIN LEVEL 1523.33 SF
 (E) UPPER LEVEL 1216.43 SF
 (E) STAIR (3 STORY) 205.97 * 200% = 411.94 SF
EXISTING GROSS FLOOR AREA 3827.49 SF

PROPOSED BUILDING AREA SUMMARY (GFA)
 (E) BASEMENT LEVEL 428.33 SF
 (E) BASEMENT ATTACHED GARAGE 435.07 SF
 (E) BASEMENT LEVEL BELOW GRADE (187.61 SF)
 EXCLUDED PER MICC CHAPTER 19 APPENDIX B, REF. BASEMENT CALC ON SHEET A211)
 MAIN LEVEL 1696.86 SF
 UPPER LEVEL 1708.92 SF
 (E) STAIR (3 STORY) 205.97 * 200% = 411.94 SF
TOTAL RESIDENCE BUILDING AREA (GSF) 4493.51 SF
 DETACHED SHED 128.00 SF
TOTAL PROJECT BUILDING AREA (GSF) 4691.51 SF

PROPOSED GROSS FLOOR AREA: 4691.51 / 19100 = 24.56% OF LOT AREA
 40% ALLOWABLE GROSS FLOOR AREA: 19100 SF * 0.40 = 7640 SF

*NOTE: PER MICC 19.02.040.C.1.a., THE COMBINED TOTAL GROSS FLOOR AREA FOR ONE OR MORE ACCESSORY BUILDINGS(S) SHALL NOT EXCEED 25 PERCENT OF THE TOTAL GROSS FLOOR AREA ALLOWED ON A LOT WITHIN APPLICABLE ZONING DESIGNATIONS PURSUANT TO MICC 19.02.020.
 TOTAL ALLOWABLE GROSS FLOOR AREA = 7640 SF * 0.25 = 1910 SF
 PROPOSED SHED = 198 SF < 1910 SF = **COMPLIES**

SETBACKS
 SIDE YARD (PER MICC 19.02.020.C.1.c.)
 LOT WIDTH CIRCLE DIAMETER PER DEFINITION FOR 'LOT, IRREGULAR' AND 'LOT WIDTH' = 116' - 3"
 TOTAL: 17% OF LOT WIDTH 116.25' * 0.17 = 19.76'
 MINIMUM: 33% OF SIDE YARD TOTAL 19.76' * 0.33 = 6.52'
 FRONT YARD 20'
 REAR YARD 25'

OCCUPANCY SUMMARY
 EXISTING TYPE R-3
 OCCUPANT LOAD SINGLE FAMILY
AVERAGE BUILDING ELEVATION (ABE)
 RESIDENCE (SEE CALCULATION ON SHEET A101)
 AVERAGE GRADE (ABE) 27,150.76 / 211.93' = 128.11'
 MAX ALLOWABLE HEIGHT 30' ABOVE AVERAGE GRADE
 MAX HT. EL. / MAX BLDG. HT. 158.11'
PROPOSED BUILDING HT. 158.30' (EXISTING RIDGE, NO CHANGE)

DETACHED ACCESSORY SHED (SEE CALCULATION ON SHEET A101)
 AVERAGE GRADE (ABE) 6973 / 58' = 120.22'
 MAX ALLOWABLE HT. 17' ABOVE AVERAGE GRADE
 MAX HT. EL. / MAX SHED HT. 137.22'
PROPOSED SHED HT. 132.22'

ENERGY CODE SUMMARY (WASHINGTON STATE ENERGY CODE-RESIDENTIAL, 2021 (WSEC-RD))
 CLIMATE ZONE 4C (MARINE) PER TABLE R301.1, PRESCRIPTIVE THERMAL ENVELOPE PER TABLE R402.1.3 AND R402.1.2
 FENESTRATION U-FACTOR (VERTICAL): .30
 SKYLIGHT U-FACTOR (OVERHEAD): .50
 CEILING: PER R402.2.1 R-49 OVER 100% OF CEILING AREA AND EXTENDING OVER TOP PLATE SHALL COMPLY
 VAULTED CEILING: R-38
 WALL ABOVE GRADE: R-20 CAVITY + 5 CI OR 13 CAVITY +10 CI
 OR U-FACTOR EQUIVALENT PER WSEC R402.1.2
 WALL BELOW GRADE (INT.): R-21 (INT.) OR R-10 (EXT.) + 5 TB
 FLOOR ABOVE GRADE: R-30
 SLAB ON GRADE @ BASEMENT: R-10, 4" AT PERIMETER
 OR CONTINUOUS UNDER HEATED SLABS
 • PRIMARY HEATING SOURCE SYSTEM TYPE 4 SEE SHEET G001
 • HIGH EFFICIENCY HVAC OPTION 3.6 SEE SHEET G001
 • EFFICIENT WATER HEATING OPTION 5.4 SEE SHEET G001

INSULATION UPGRADES
 BUILDING ENVELOPE ASSEMBLIES THAT ARE PART OF THE ALTERATION SHALL COMPLY WITH VALUES ABOVE. EXISTING CEILING, WALL, OR FLOOR CAVITIES EXPOSED DURING THE CONSTRUCTION AND THAT DO NOT INCREASE THE ENERGY USE OF THE BUILDING NEED NOT COMPLY, PROVIDED THAT THESE CAVITIES ARE FILLED WITH INSULATION. EXISTING 2x4 FRAMED WALLS SHALL BE INSULATED TO A MINIMUM OF R-15 AND 2x6 FRAMED WALLS SHALL BE INSULATED TO A MINIMUM OF R-21.

LIFE SAFETY UPGRADES
 CONTRACTOR TO VERIFY SMOKE ALARMS INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS, AND ON EACH FLOOR LEVEL PER IRC 2021 SECTION 314.3
 CONTRACTOR TO VERIFY CARBON MONOXIDE ALARMS INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS AND ON EACH FLOOR LEVEL PER IRC 2021 SECTION 315.3.

VENTILATION
 INSTALLED PER INTERNATIONAL MECHANICAL CODE. WORK TO BE COMPLETED UNDER A SEPARATE PERMIT.

FANS ON TIMERS, PER PLANS. VOLUME OF REQUIRED OUTDOOR VENTILATION AIR TO BE PROVIDED BASED ON TABLE 403.4.2 OF THE INTERNATIONAL MECHANICAL CODE (IMC 2021).
 • PLUMBING, MECHANICAL, ELECTRICAL WORK TO BE PERMITTED SEPARATELY.
 SEE SHEET G001 FOR VENTILATION & ENERGY CALCULATIONS.

FIRE DEPARTMENT NOTES
 NFPA 72 (CHAPTER 29) - MONITORED HOUSEHOLD FIRE ALARM SYSTEM IN COMPLIANCE WITH NFPA 72 AND CITY OF MERCER ISLAND STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE PERMIT IS REQUIRED AND WILL BE COORDINATED BY THE CONTRACTOR.

GENERAL INFORMATION

PROJECT ADDRESS 9603 SE 61ST PL
 MERCER ISLAND, WA 98040
PROJECT NUMBER TBD
ASSESSOR'S PARCEL # 426000020
LEGAL DESCRIPTION LOT 2 OF LELAND ADDITION, AS PER PLAT RECORDED IN VOLUME 82 OF PLATS, PAGE 19, RECORDS OF KING COUNTY AUDITOR, SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.
PROJECT DESCRIPTION SCOPE INCLUDES A MAIN FLOOR ADDITION (173.53 SF) AND UPPER LEVEL ADDITIONS (493.71 SF) TO EXISTING SINGLE-FAMILY HOME, INCLUDING INTERIOR ALTERATIONS PER PLAN. IN ADDITION, NEW 198 SF DETACHED MODULAR SHED TO BE ADDED PER PLAN.
ZONE R-15
BUILDING TYPE SINGLE FAMILY RESIDENCE

PROJECT DIRECTORY

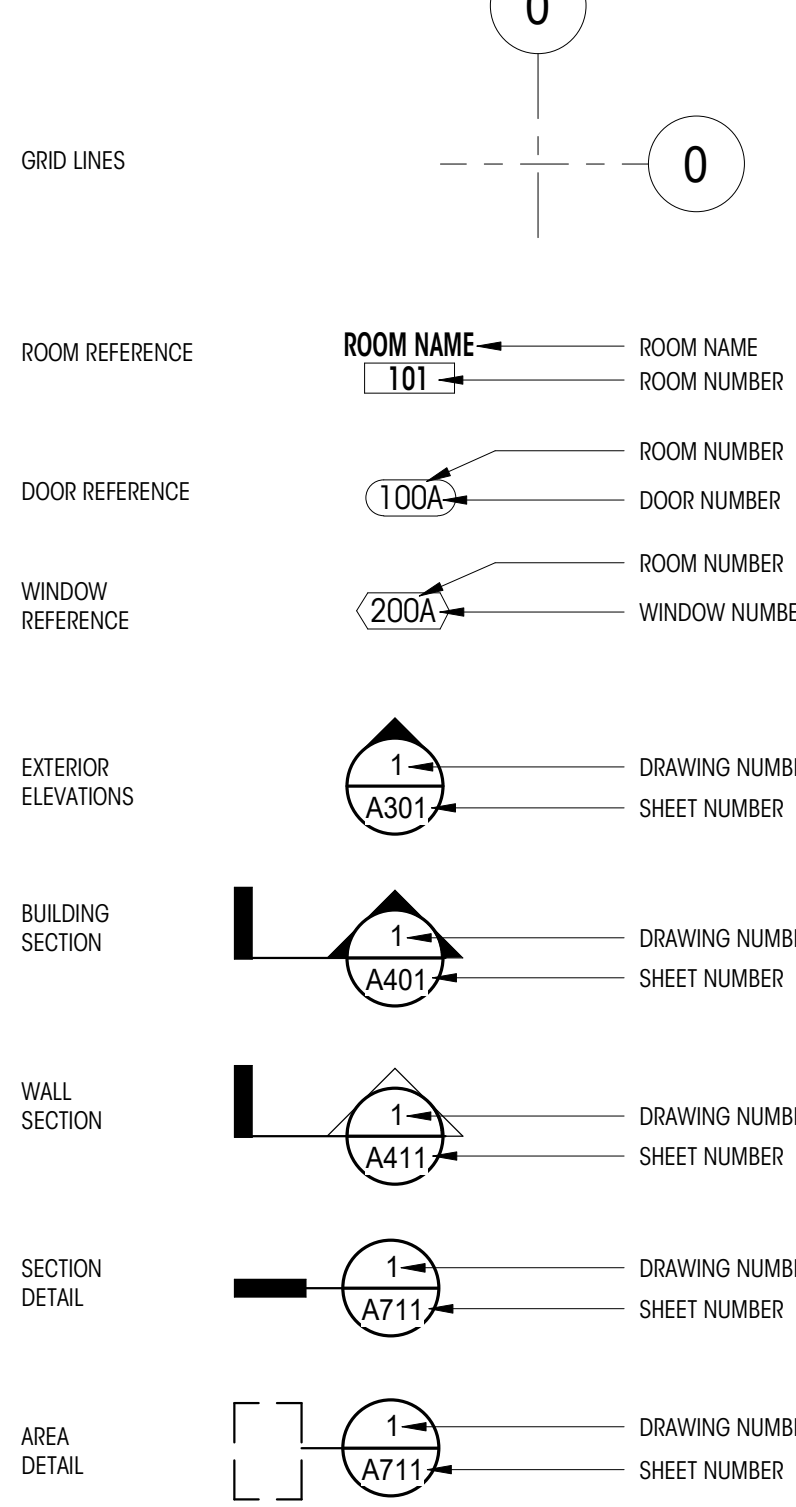
OWNER ANDREW AND COURTNEY ACKLEY
 9603 SE 61ST PL
 MERCER ISLAND, WA 98040
ARCHITECT COLIN BRANDT
 BRANDT DESIGN GROUP
 66 BELL ST., UNIT 1
 SEATTLE, WA 98121
 206.239.0850 ext. 0011
 colin@brandtdesigninc.com
OWNER'S AGENT/CONTACT KATE MILLER
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 206.239.0850 ext. 0013
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SURVEYOR JEREMY NOLTING
 TERRANE
 11235 SE 6TH ST., SUITE 130
 BELLEVUE, WA 98004
 425.458.4488
 jeremyn@terrane.net
STRUCTURAL ENGINEER BRETT MOZDEN
 SWENSON SAY FAGET
 2124 THIRD AVENUE, SUITE 100
 SEATTLE, WA 98121
 206.443.6212
 bmozden@ssfenjngineers.com

REGISTERED ARCHITECT
 8843
 STATE OF WASHINGTON

ABBREVIATIONS

ABV	ABOVE	INT	INTERIOR
AFF	ABOVE FINISH FLOOR	LOC	LOCATE, LOCATION
ADDL	ADDITIONAL	MAX	MAXIMUM
ADJ	ADJUSTABLE	MFR	MANUFACTURER
ALT	ALTERNATE	MECH	MECHANICAL
APPROX	APPROXIMATELY	MTL	METAL
ARCH	ARCHITECT, ARCHITECTURAL	MIN	MINIMUM
B.O.	BOTTOM OF	(N)	NEW
BLW	BELOW	NTS	NOT TO SCALE
BSMT	BASEMENT	OV	OVER
BTW	BETWEEN	O.C.	ON CENTER
BLD	BUILDING	P.LY	PLYWOOD
CAB	CABINET	PRELIM	PRELIMINARY
CALC	CALCULATION	PT	PRESSURE-TREATED
CLG	CEILING	PTD	PAINTED
CL	CENTERLINE	PL	PROPERTY LINE
CLR	CLEAR	REFR	REFRIGERATOR
COL	COLUMN	REINF	REINFORCE, REINFORCING
CONC	CONCRETE	REQD	REQUIRED
CONST	CONSTRUCTION	RO	ROUGH OPENING
CONT	CONTINUOUS	SAF	SELF-ADHERED FLASHING
CONTR	CONTRACTOR	SCHED	SCHEDULE
DEMO	DEMOLISH	SW	SHEARWALL
DIA	DIAMETER	SIM	SIMILAR
DIM	DIMENSION	SF	SQUARE FOOT
DS	DOWNSPOUT	SOG	SLAB ON GRADE
DW	DISHWAHER	SPECS	SPECIFICATIONS
DBL	DOUBLE	SRC	SEATTLE RESIDENTIAL CODE
EA	EACH	SSTL	STAINLESS STEEL
ELEC	ELECTRIC, ELECTRICIAN	STL	STEEL
ELEV	ELEVATION	STRUCT	STRUCTURE, STRUCTURAL
ENGR	ENGINEER	TBD	TO BE DETERMINED
EQUIV	EQUIVALENT	TEMP	TEMPORARY
EXIST OR (E)	EXISTING	T.O.	TOP OF
EXT	EXTERIOR	TOW	TOP OF WALL
FF	FINISH FLOOR	TYP	TYPICAL
FLEX	FLEXIBLE	UNO	UNLESS NOTED OTHERWISE
F.O.	FACE OF	UV	ULTRAVIOLET
FOUND	FOUNDATION	VIF	VERIFY IN FIELD
GALV	GALVANIZED	VERT	VERTICAL
GC	GENERAL CONTRACTOR	WP	WEATHERPROOF, WEATHERPROOF
GWB	GYPNUM WALL BOARD	WINDW	WINDOW
HDR	HEADER	W/	WITH
HT	HEIGHT	W/O	WITHOUT
HORIZ	HORIZONTAL	WD	WOOD
INSUL	INSULATION	WRB	WEATHER RESISTIVE BARRIER
ID	INTERIOR DESIGNER	WSEC	WASHINGTON STATE ENERGY CODE
IGU	INSULATED GLAZING UNIT		

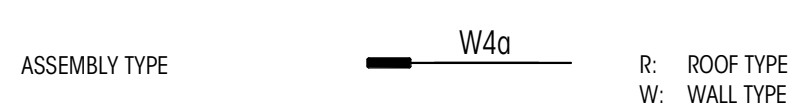
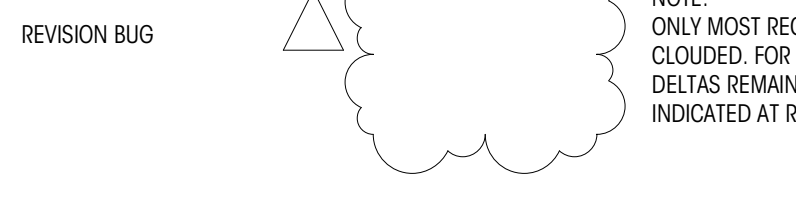
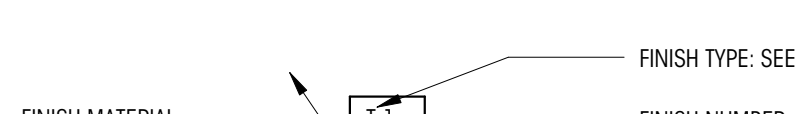
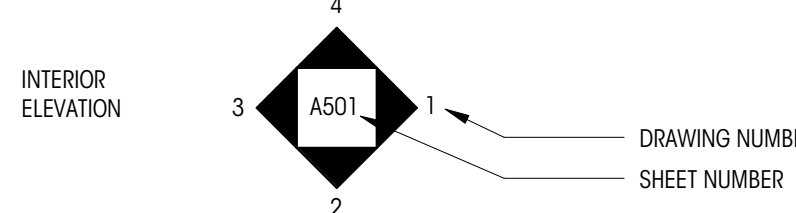
SYMBOLS KEY



GRAPHIC KEY

(NOT TO SCALE)

	GLASS		BATT INSULATION
	CONCRETE		RIGID INSULATION
	STEEL		PLYWOOD
	EARTH		FINISH WOOD
	GRAVEL		STUCCO
	WATER		SPRAY FOAM INSULATION
	BRICK		GYPNUM WALLBOARD
	ALUMINUM		



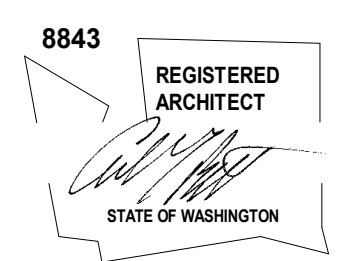
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REGISTERED ARCHITECT
 8843
 STATE OF WASHINGTON

ACKLEY RESIDENCE

9603 SE 61ST PLACE
 MERCER ISLAND, WA 98040
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PERMIT SET

SHEET NUMBER	SHEET NAME
G000	COVERSHEET
G001	ENERGY CODE / VENTILATION CALCULATIONS

DATE: 06.30.25
 SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: AJ5
 CHECKED BY: KM

COVERSHEET

SCALE: As indicated

G000

REVISION INDEX

DESCRIPTION	DATE
PLAN CHECK 1	MM DD.YY

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

LOT 2 OF LELAND ADDITION, AS PER PLAT RECORDED IN VOLUME 82 OF PLATS, PAGE 19, RECORDS OF KING COUNTY AUDITOR;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

HELD A BEARING OF N 05°43'29" E BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF E MERCER WAY, PER REFERENCE NO. 1.

REFERENCES

- R1. RECORD OF SURVEY, VOL. 189, PG. 218, RECORDS OF KING COUNTY, WASHINGTON.
- R2. LELAND ADDITION, VOL. 82 OF PLATS, PG. 19, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD 88 PER CITY OF MERCER ISLAND BENCHMARK NO. 2416 DESCRIPTION: 4"x4" CONG W/ 3/8" COPPER PIN LOCATION: 100 E OF E MERCER WAY, EAST BAY, OPP HSE #6202 ELEVATION: 138.867'

SURVEYOR'S NOTES

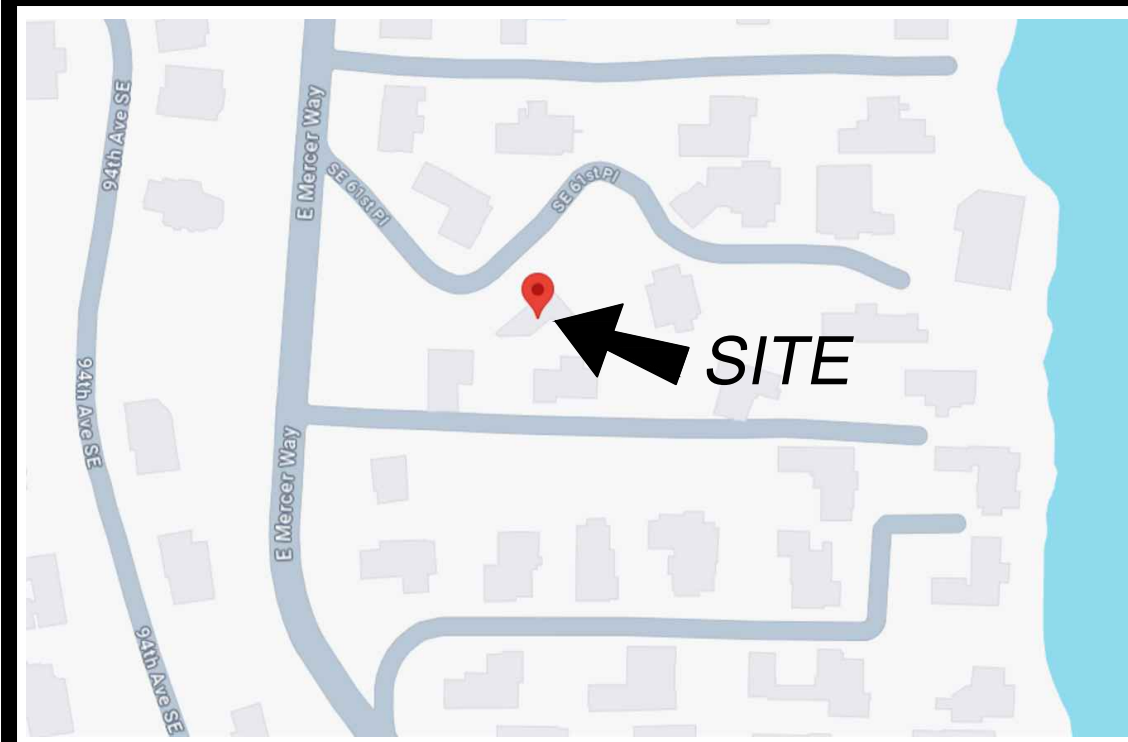
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN SEPTEMBER OF 2024. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 4260000020
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 19,100 S.F. (0.44 ACRES)
6. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM FIRST AMERICAN TITLE INSURANCE COMPANY'S "COMMITMENT FOR TITLE INSURANCE", ORDER NO. 4243-4188639, DATED JULY 22, 2024. IN PREPARING THIS MAP, TERRANE, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS TERRANE, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED "COMMITMENT FOR TITLE INSURANCE". TERRANE, INC. HAS RELIED WHOLLY ON FIRST AMERICAN TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND TERRANE, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 3-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

SCHEDULE B ITEMS

12. ANY AND ALL OFFERS OF DEDICATION, CONDITIONS, RESTRICTIONS, EASEMENTS, BOUNDARY DISCREPANCIES OR ENCROACHMENTS, NOTES AND/OR PROVISIONS SHOWN OR DISCLOSED BY SHORT PLAT OR PLAT OF LELAND ADDITION RECORDED IN VOLUME 82 OF PLATS, PAGE(S) 19. "PLOTTED"
13. ROAD MAINTENANCE PROVISIONS, AND THE TERMS AND CONDITIONS THEREOF, CONTAINED IN INSTRUMENT: RECORDING INFORMATION: 6397471 "NOT SURVEY RELATED"

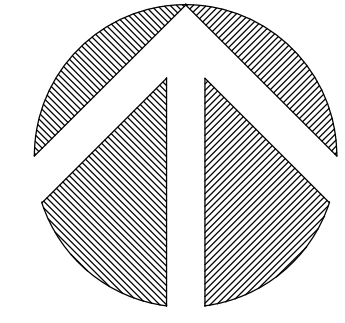
VICINITY MAP

N.T.S.



LEGEND

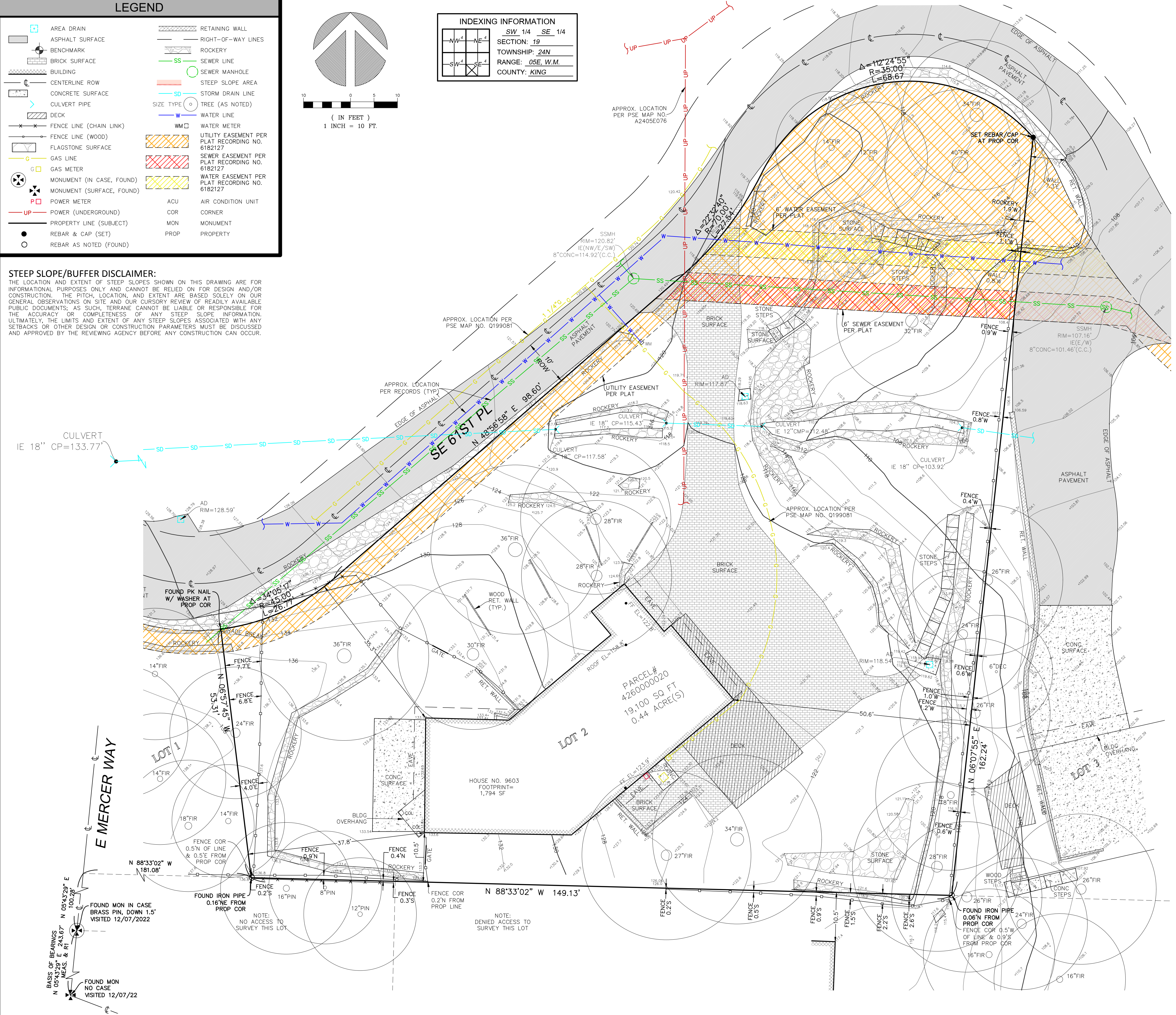
	AREA DRAIN		RETAINING WALL
	ASPHALT SURFACE		RIGHT-OF-WAY LINES
	BENCHMARK		ROCKERY
	BRICK SURFACE		SEWER LINE
	BUILDING		SEWER MANHOLE
	CENTERLINE ROW		STEEP SLOPE AREA
	CONCRETE SURFACE		STORM DRAIN LINE
	CULVERT PIPE		TREE (AS NOTED)
	DECK		WATER LINE
	FENCE LINE (CHAIN LINK)		WATER METER
	FENCE LINE (WOOD)		UTILITY EASEMENT PER PLAT RECORDING NO. 6182127
	FLAGSTONE SURFACE		SEWER EASEMENT PER PLAT RECORDING NO. 6182127
	GAS LINE		WATER EASEMENT PER PLAT RECORDING NO. 6182127
	GAS METER		AIR CONDITION UNIT
	MONUMENT (IN CASE, FOUND)		CORNER
	MONUMENT (SURFACE, FOUND)		MONUMENT
	POWER METER		PROPERTY
	POWER (UNDERGROUND)		
	PROPERTY LINE (SUBJECT)		
	REBAR & CAP (SET)		
	REBAR AS NOTED (FOUND)		



(IN FEET)
1 INCH = 10 FT.

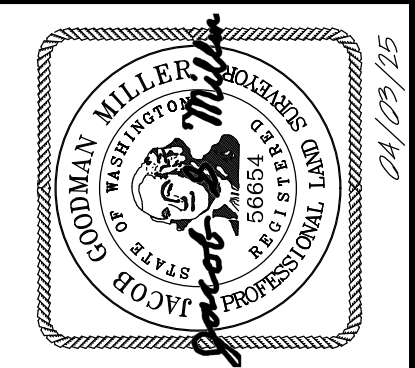
INDEXING INFORMATION			
SW 1/4	SE 1/4		
SECTION: 19			
TOWNSHIP: 24N			
RANGE: 05E, W.M.			
COUNTY: KING			

STEEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



We are the measure | terrane.net

TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 4260000020
9603 SOUTHEAST 61ST PL
9603 SOUTHEAST 61ST PLACE
MERCER ISLAND, WA 98040



TERRANE
11235 SE 6th St, Suite 130
Bellevue, WA 98004
p: 425-458-4488 | e: info@terrane.net

JOB NUMBER:	241513
DATE:	09/20/24
DRAFTED BY:	AJU
CHECKED BY:	JGM
SCALE:	1" = 10'
REVISION HISTORY	
04/03/25	PER COMMENTS
SHEET NUMBER	
1 OF 1	



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PERMIT SET

DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

NO. DESCRIPTION DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

SITE DEMOLITION PLAN

SCALE: 1" = 10'-0"

AD101

NOTES

- PROPERTY LINE METES & BOUNDS ARE SHOWN PER TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24
- TREES AND CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24
- REFERENCE PLANS ON SHEETS A211, A212, & A212. ELEVATIONS A301, A302, A303, & A304 AND WALL ASSEMBLIES ON SHEET A701 AND STRUCTURAL FOR MORE SPECIFIC DEMOLITION RELATED INFORMATION
- CONTRACTOR TO ENSURE ADEQUATE STRUCTURAL SUPPORTS ARE IN PLACE WHEN REMOVING EXISTING STRUCTURAL ELEMENTS. QUESTIONS REGARDING THE MEANS AND METHODS OF THOSE SUPPORTS SHOULD BE DIRECTED TOWARD THE STRUCTURAL ENGINEER

STRUCTURAL ALTERATION CALCULATION

40% STRUCTURAL ALTERATION LIMIT

LOWER FLOOR - NO CHANGE
TOTAL PERIMETER: 79.64' (ABOVE-GRADE)

MAIN FLOOR		
WALL	(E) LENGTH (FT.)	ALTERED LENGTH (FT.)
A	17.74	0'
B	28.95	0'
E	6.72	0'
G	10.43	0'
H	20.10	0'
J	44.94	0'
K	31.52	0'
N	24.35	24.35'
TOTAL:	PERIMETER: 184.77'	ALTERED: 24.35'

UPPER FLOOR		
WALL	(E) LENGTH (FT.)	ALTERED LENGTH (FT.)
B	59.88	25.01'
E	6.72	0'
G	3.28	0'
H	20.10	20.10'
J	37.78	0'
K	31.37	0'
L	1.70	1.70'
M	6.85	6.85'
TOTAL:	PERIMETER: 167.68'	ALTERED: 53.66'

CALCULATION:
TOTAL (E) OVERALL WALL LENGTH: 432.09'
TOTAL (E) DISTURBED WALL LENGTH: 78.01'
(E) OVERALL / (E) DISTURBED = (78.01' / 432.09') * 100 = **18.05%**

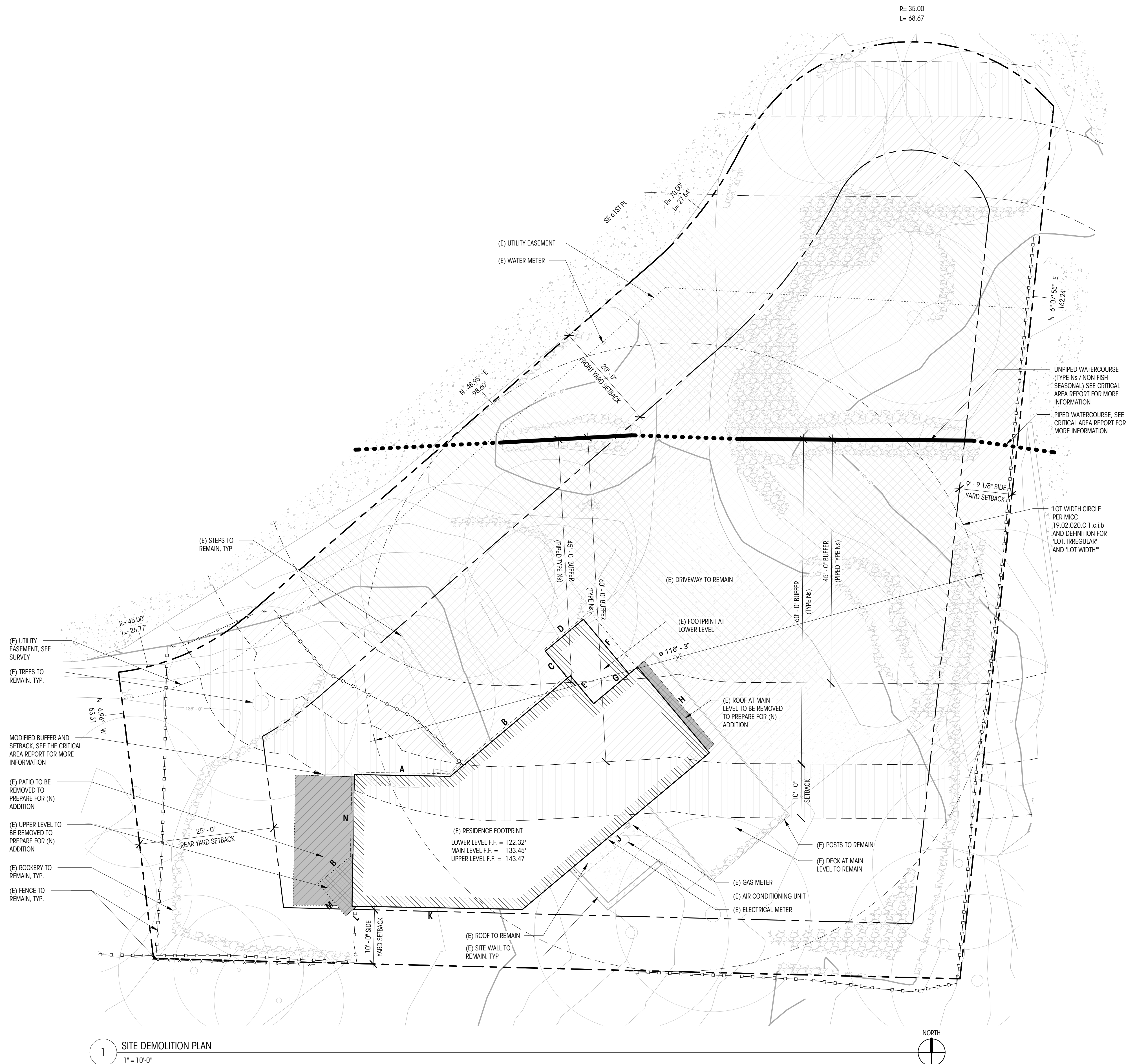
PER MICC 19.01.050.D.1.b.i

iii. Structural alteration calculation.
For the purposes of determining the percentage of exterior walls of a nonconforming structure that is being structurally altered, the following calculation applies:
Formula: Percentage of exterior walls altered = (sum of the length of existing exterior walls to be structurally altered) ÷ (sum of the length of existing exterior walls)

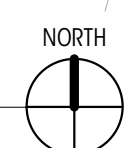
- Where:
- The "sum of the length of existing exterior walls to be structurally altered" is the sum of each wall segment that is completely demolished.
 - The "sum of the length of exterior walls" is the sum of the lengths of each exterior wall segment of a structure or building.
 - For the purposes of this subsection, a wall segment is "completely demolished" when any portion of the wall is completely removed, such that no structural elements remain.
 - For the purposes of this subsection, the "wall segment" is the horizontal length of each continuous exterior wall plane or facade; provided, that each building modulation (e.g., a bay window bump-out) shall be accounted for as a separate exterior wall plane.

LEGEND

	ELEVATION DATUM		PIPED WATER COURSE
	PROPERTY LINE		UNPIPED WATER COURSE
	SETBACK LINE		(E) PIPED WATER COURSE BUFFER
	ROOF OVERHANG		(E) UNPIPED WATER COURSE BUFFER
	(E) SITE WALL		BUFFER SETBACK
	CONTOUR MAJOR		(E) CHAIN LINK FENCE
	CONTOUR MINOR		(E) WOOD FENCE
	(E) HOUSE FOOTPRINT		PIPED WATER COURSE
	(E) PATIO / WALKWAYS / CONCRETE DRIVE / PAVING		UNPIPED WATER COURSE
	(E) ROCKERY / HARDSCAPE		(E) PIPED WATER COURSE BUFFER
	(E) TREE TO REMAIN		(E) UNPIPED WATER COURSE BUFFER
	(E) PATIO TO BE DEMOLISHED		BUFFER SETBACK
	(E) HOUSE FOOTPRINT TO BE DEMOLISHED		(E) CHAIN LINK FENCE



1 SITE DEMOLITION PLAN
1" = 10'-0"



ZONING CALCULATIONS

EXISTING LOT COVERAGE (NOTE LOT COVERAGE IS IMPERVIOUS SURFACE FOR STORMWATER CALCULATIONS)
ROOF, GARAGE, AND OVERHANGS 1,958.55 SF
DRIVING SURFACES 2,053.58 SF
TOTAL: 4,012.13 SF

LOT COVERAGE TO BE DEMOLISHED
ROOF, GARAGE, AND OVERHANGS
(D) HOUSE 3.34 SF (CONVERTED TO HARDSCAPE)
(D) ROOF-1 8.95 SF (CONVERTED TO HARDSCAPE)
(D) ROOF-2 33.83 SF (OVERHANG REMOVED OVER EXISTING DRIVEWAY, AREA REMAINS LOT COVERAGE)
DRIVING SURFACES 0
TOTAL DEMOLISHED LOT COVERAGE: 12.29 SF

LOT COVERAGE TO REMAIN:
4,012.13 SF - 12.29 SF = 3,999.84 SF

EXISTING HARDSCAPE (NOTE HARDSCAPE IS IMPERVIOUS SURFACE FOR STORMWATER CALCULATIONS)

BASEMENT	428.33 SF	P-2	30.33 SF	R-16	146.82 SF
GARAGE	435.07 SF	P-3	124.04 SF	R-17	2.99 SF
	863.40 SF	P-5	427.78 SF	R-18	0.39 SF
			1,040.47 SF		1,230.69 SF
DECKS		ROCKERIES		SITE WALLS	
D-1	24.34 SF	R-1	18.60 SF	SW-1	0.75 SF
	24.34 SF	R-2	12.70 SF	SW-2	21.30 SF
PATIOS		R-3	120.14 SF	SW-3	1.93 SF
(D)P-3	46.25 SF	R-4	34.48 SF	SW-4	1.76 SF
(D)P-6	124.44 SF	R-5	448.16 SF	SW-5	1.83 SF
(D)P-7	93.78 SF	R-6	81.46 SF	SW-6	2.04 SF
P-1	193.85 SF	R-7	43.93 SF	SW-7	8.55 SF
		R-8	154.34 SF		38.16 SF
		R-9	23.38 SF	STAIRS	
		R-10	34.26 SF	S-1	41.57 SF
		R-11	31.44 SF	S-2	33.86 SF
		R-12	30.67 SF	S-3	98.29 SF
		R-13	8.73 SF		173.72 SF
		R-14	32.04 SF	TURF PATIOS	
		R-15	6.16 SF	T-1	1,113.88 SF
					1,113.88 SF
TOTAL:	3621.26 SF				

HARDSCAPE TO BE DEMOLISHED
PATIOS (D)P-3 46.25 SF
(D)P-6 124.44 SF
(D)P-7 93.78 SF
TOTAL: 264.47 SF

HARDSCAPE TO REMAIN
3621.26 SF - 264.47 SF = 3356.79 SF

STORMWATER CALCULATIONS
EXISTING IMPERVIOUS SURFACE (LOT COVERAGE + HARDSCAPE) 7633.39 SF
PROPOSED IMPERVIOUS SURFACE (LOT COVERAGE + HARDSCAPE) 4404.70 + 3458.51 = 7863.21 SF

NET INCREASE = 229.82 SF
NET INCREASE IS LESS THAN 500 SF THEREFORE DRAINAGE DESIGN IS NOT REQUIRED

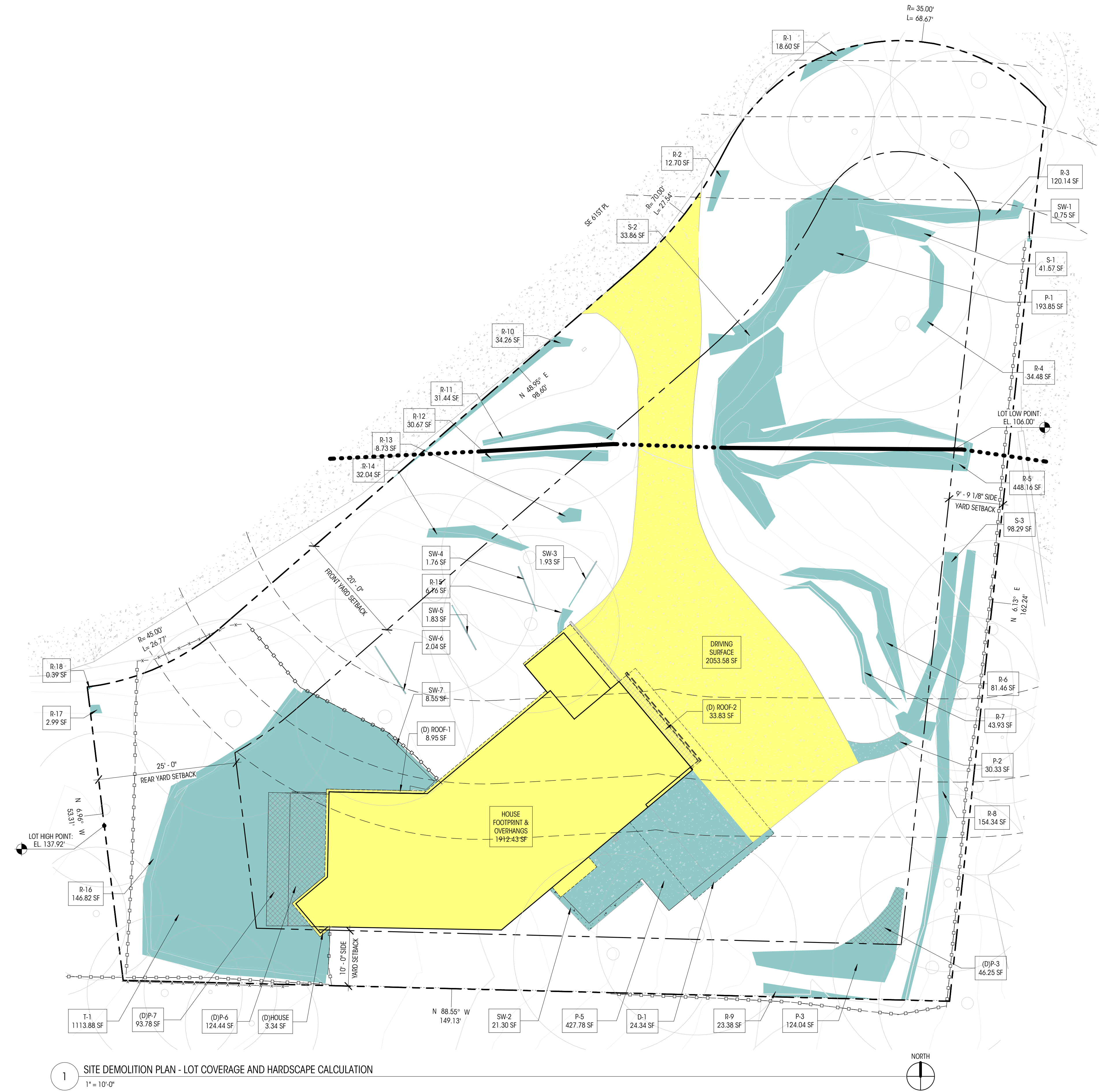
NEW HARD SURFACE AREA:
(N) HOUSE FOOTPRINT AND OVERHANGS 127.16 SF
(N) SHED AND OVERHANGS 280.00 SF
REPLACED HARD SURFACE AREA (N) T-2 (TURF REPLACING PATIO) 93.78 SF
TOTAL NEW + REPLACED HARD SURFACE AREA = 500.94 SF
TOTAL IS LESS THAN 2000 SF THEREFORE DRAINAGE DESIGN IS NOT REQUIRED

NOTES

- PROPERTY LINE METES & BOUNDS ARE SHOWN PER TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24
- TREES AND CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24

LEGEND

EL= 148.5' (+0'-0")	ELEVATION DATUM		LOT COVERAGE TO REMAIN		PIPED WATER COURSE
	MAIN LEVEL FIN. FLR.		DEMOLISHED LOT COVERAGE		UNPIPED WATER COURSE
	PROPERTY LINE		HARDSCAPE TO REMAIN		(E) CHAIN LINK FENCE
	SETBACK LINE		DEMOLISHED HARDSCAPE		(E) WOOD FENCE
	ROOF OVERHANG		(E) TREE TO REMAIN		
	(E) DECK, ABOVE				
	(E) SITE WALL				
	CONTOUR MAJOR				
	CONTOUR MINOR				



1 SITE DEMOLITION PLAN - LOT COVERAGE AND HARDSCAPE CALCULATION
1" = 10'-0"

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PERMIT SET

DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

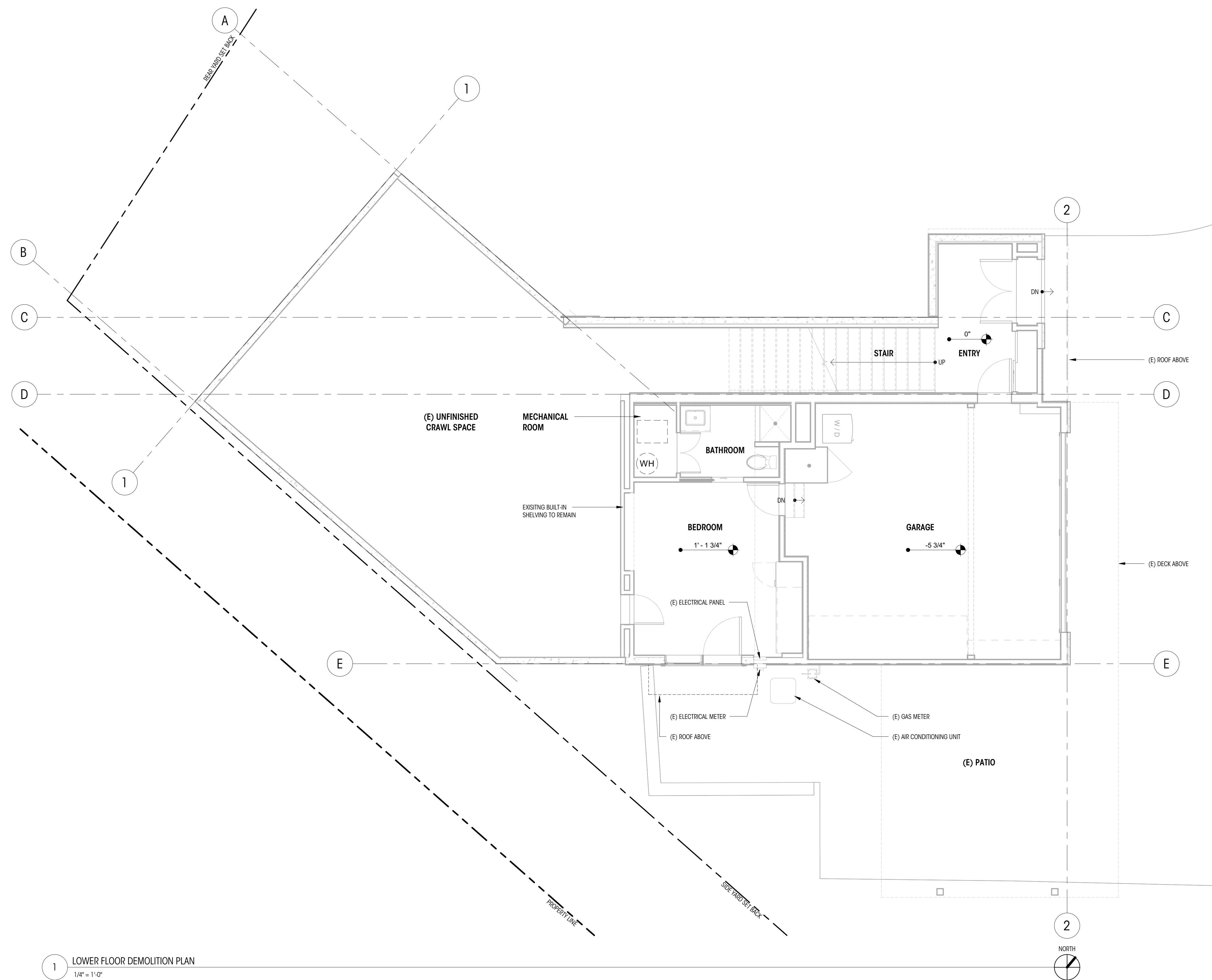
NO.	DESCRIPTION	DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

LOWER FLOOR
DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

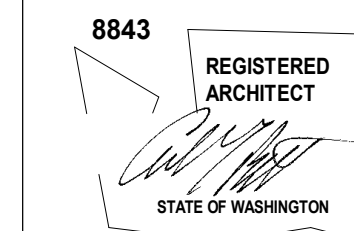
AD211



1 LOWER FLOOR DEMOLITION PLAN
1/4" = 1'-0"

LEGEND	
	MAIN FLOOR F.F. 48' - 5" ELEVATION DATUM
	GRIDLINE
	TO BE REMOVED
	WALL TO REMAIN
	PROPERTY LINE
	SETBACK LINE
	OVERHEAD ELEMENTS TO REMAIN
	OVERHEAD ELEMENTS TO BE REMOVED
	FLOOR AREA TO BE DEMOLISHED

NOTES	
1.	ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
2.	ALL DIMENSIONS AT KITCHEN TO EDGE OF COUNTERTOPS, U.N.O.
3.	ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
4.	CONTRACTOR TO ENSURE ADEQUATE STRUCTURAL SUPPORTS ARE IN PLACE WHEN REMOVING EXISTING STRUCTURAL ELEMENTS. QUESTIONS REGARDING THE MEANS AND METHODS OF THOSE SUPPORTS SHOULD BE DIRECTED TOWARD THE STRUCTURAL ENGINEER.



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REVISIONS

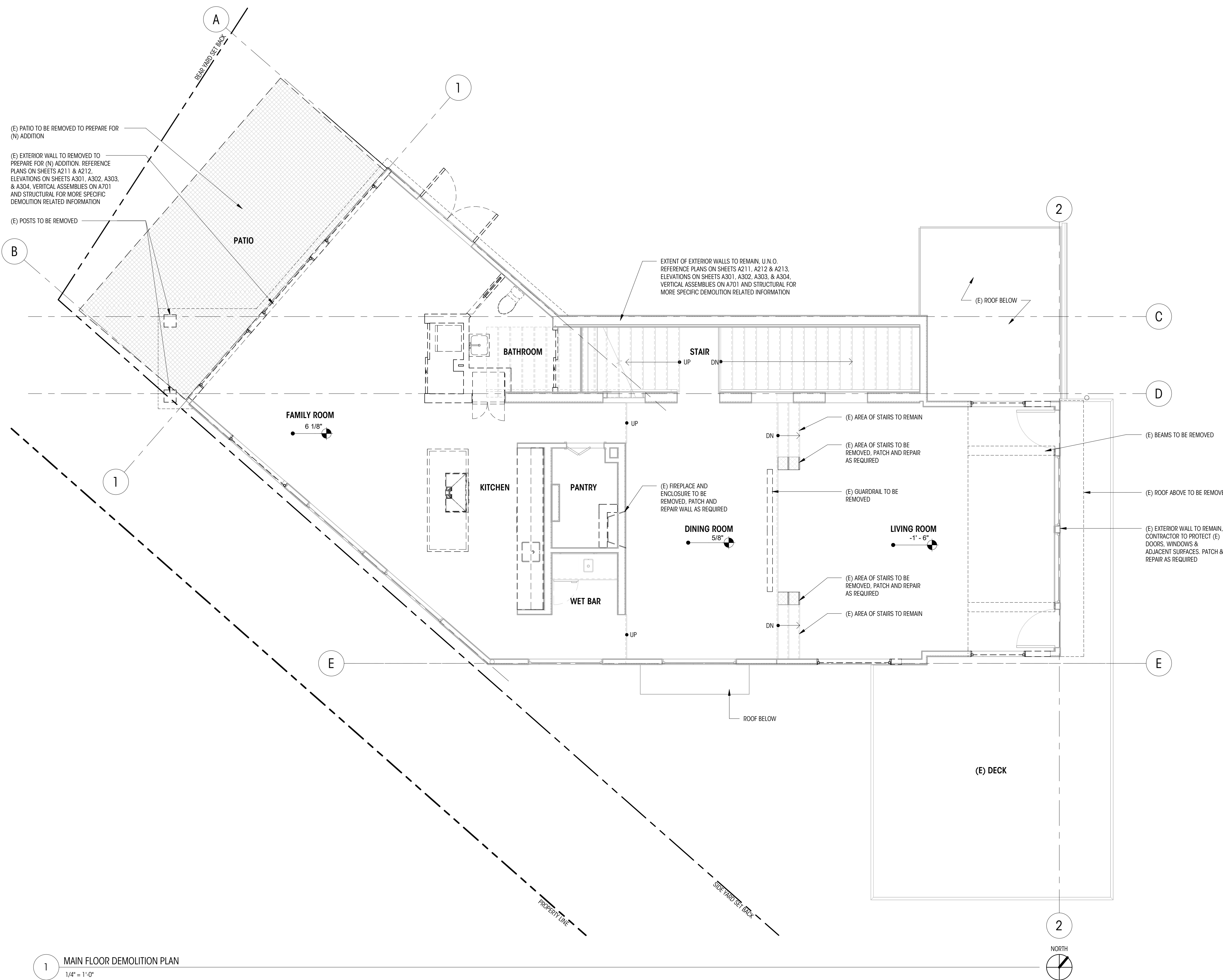
NO.	DESCRIPTION	DATE

DRAWN BY: AJS
CHECKED BY: KM

**MAIN FLOOR
DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"

AD212



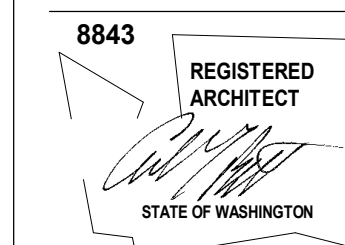
(E) PATIO TO BE REMOVED TO PREPARE FOR (N) ADDITION
(E) EXTERIOR WALL TO BE REMOVED TO PREPARE FOR (N) ADDITION. REFERENCE PLANS ON SHEETS A211 & A212. ELEVATIONS ON SHEETS A301, A302, A303, & A304. VERTICAL ASSEMBLIES ON A701 AND STRUCTURAL FOR MORE SPECIFIC DEMOLITION RELATED INFORMATION
(E) POSTS TO BE REMOVED

EXTENT OF EXTERIOR WALLS TO REMAIN, U.N.O. REFERENCE PLANS ON SHEETS A211, A212 & A213. ELEVATIONS ON SHEETS A301, A302, A303, & A304. VERTICAL ASSEMBLIES ON A701 AND STRUCTURAL FOR MORE SPECIFIC DEMOLITION RELATED INFORMATION

1 MAIN FLOOR DEMOLITION PLAN
1/4" = 1'-0"

LEGEND	
	MAIN FLOOR F.F. 48'-5" ELEVATION DATUM
	GRIDLINE
	TO BE REMOVED
	WALL TO REMAIN
	PROPERTY LINE
	SETBACK LINE
	OVERHEAD ELEMENTS TO REMAIN
	OVERHEAD ELEMENTS TO BE REMOVED
	FLOOR AREA TO BE DEMOLISHED

- NOTES**
- ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
 - ALL DIMENSIONS AT KITCHEN TO EDGE OF COUNTERTOPS, U.N.O.
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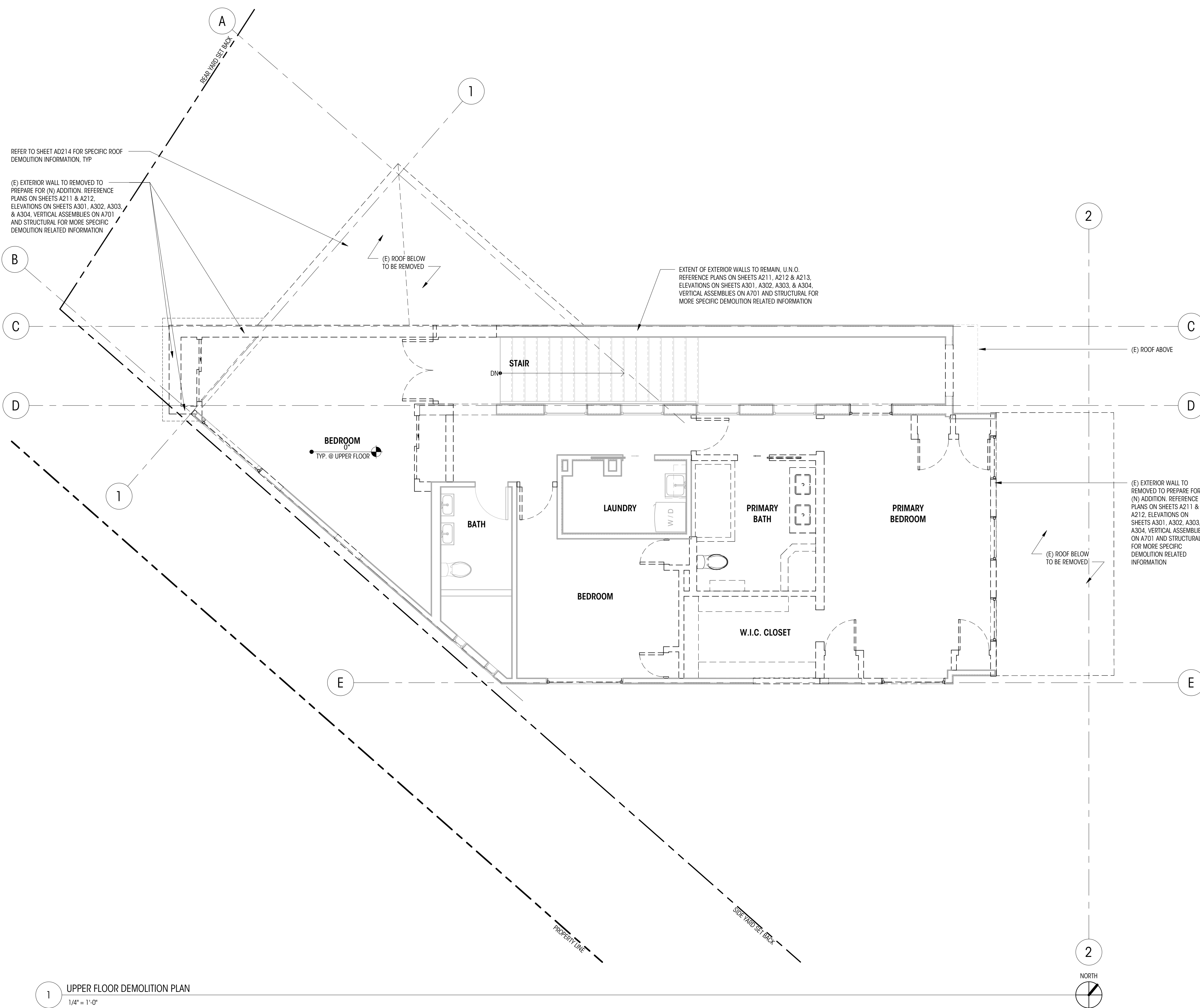
NO.	DESCRIPTION	DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

UPPER FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

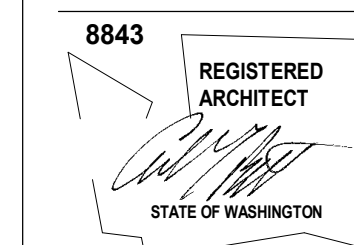
AD213



1 UPPER FLOOR DEMOLITION PLAN
1/4" = 1'-0"

LEGEND		NOTES	
	MAIN FLOOR F.F. 48'-5" ELEVATION DATUM		PROPERTY LINE
	GRIDLINE		SETBACK LINE
	TO BE REMOVED		OVERHEAD ELEMENTS TO REMAIN
	WALL TO REMAIN		OVERHEAD ELEMENTS TO BE REMOVED
	FLOOR AREA TO BE DEMOLISHED		

- ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
- ALL DIMENSIONS AT KITCHEN TO EDGE OF COUNTERTOPS, U.N.O.
- ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
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DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

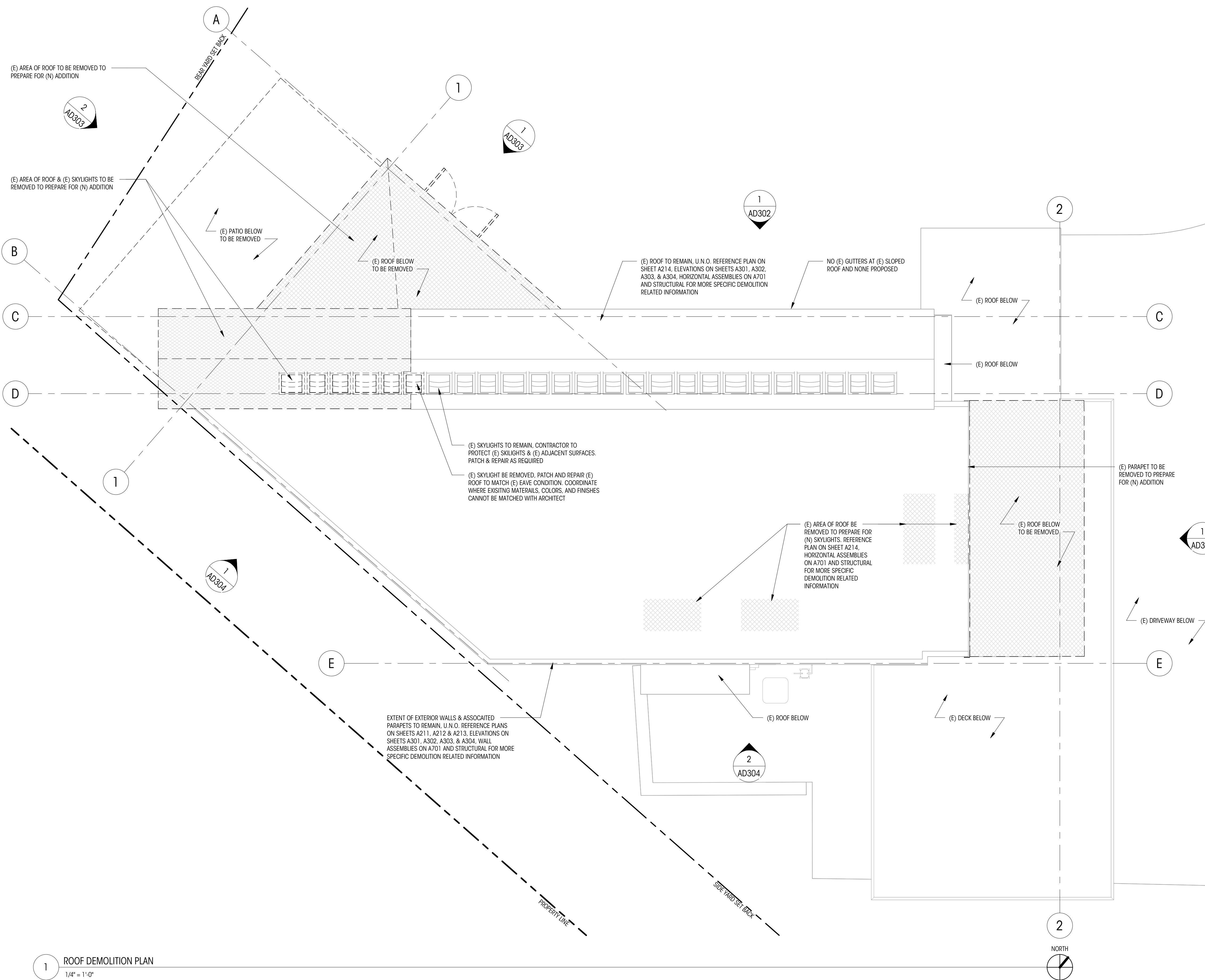
NO. DESCRIPTION DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

ROOF DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

AD214



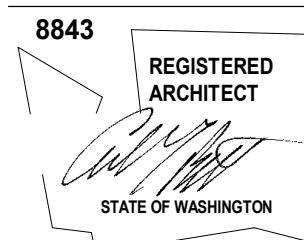
1 ROOF DEMOLITION PLAN
1/4" = 1'-0"

LEGEND

- MAIN FLOOR F.F. 48' - 5" ELEVATION DATUM
- GRIDLINE
- ROOF TO BE REMOVED
- EXISTING ROOF TO REMAIN
- EXISTING WALL TO REMAIN

NOTES

- ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
- ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
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PERMIT SET

DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

DEMOLITION ELEVATIONS (NORTHEAST)

SCALE: 1/4" = 1'-0"

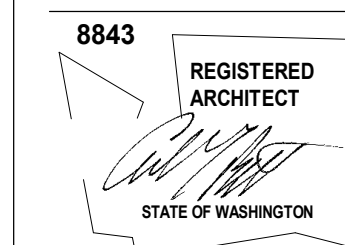
AD301



1 EXTERIOR DEMOLITION ELEVATION - NORTHEAST
1/4" = 1'-0"

LEGEND		NOTES	
	MAIN FLOOR F.F. 48' - 5"		ELEVATION DATUM
	GRIDLINE		EXISTING ELEMENT TO BE DEMOLISHED
	EXISTING FINISH TO BE DEMOLISHED		EXISTING ELEMENT TO BE DEMOLISHED

- ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
- ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
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DATE: 06.30.25

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REVISIONS

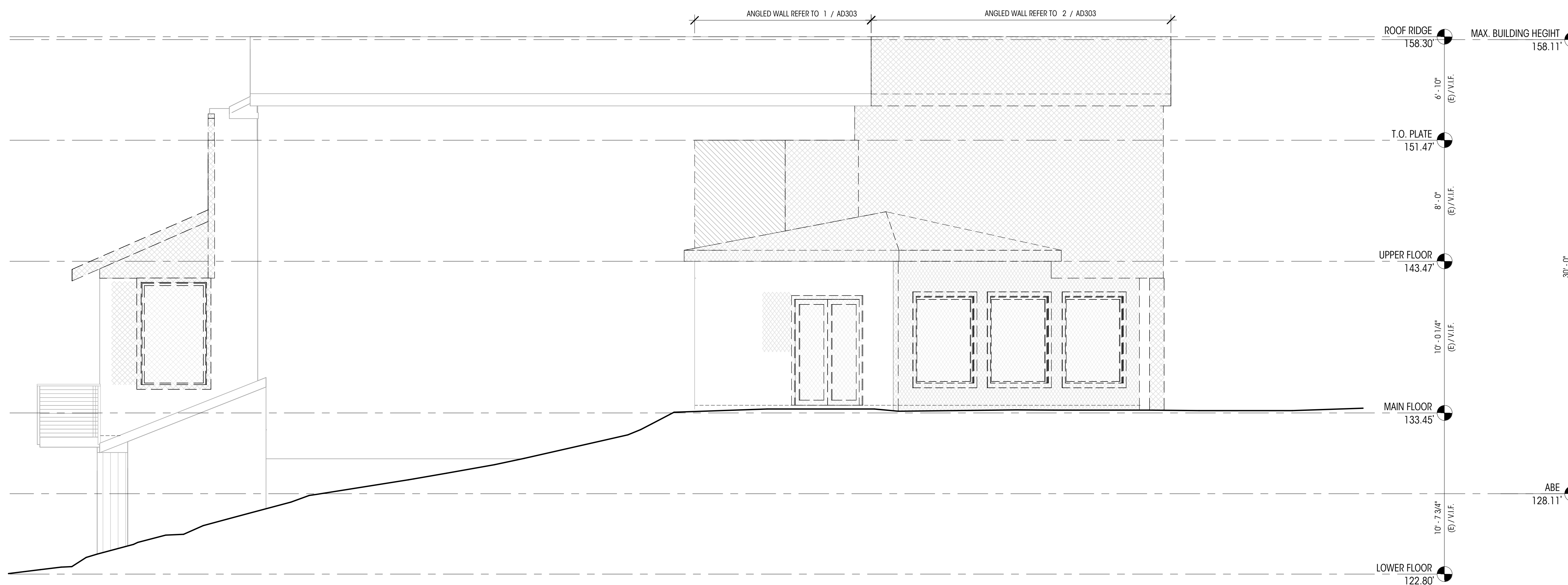
NO.	DESCRIPTION	DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

DEMOLITION ELEVATIONS (NORTH)

SCALE: 1/4" = 1'-0"

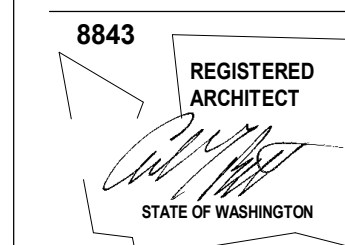
AD302



1 EXTERIOR DEMOLITION ELEVATION - NORTH
1/4" = 1'-0"

LEGEND		NOTES	
	MAIN FLOOR F.F. 48' - 5"		ELEVATION DATUM
	0		GRIDLINE
	EXISTING ELEMENT TO BE DEMOLISHED		EXISTING FINISH TO BE DEMOLISHED
	EXISTING ELEMENT TO BE DEMOLISHED		EXISTING ELEMENT TO BE DEMOLISHED

NOTES	
1.	ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
2.	ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
3.	CONTRACTOR TO ENSURE ADEQUATE STRUCTURAL SUPPORTS ARE IN PLACE WHEN REMOVING EXISTING STRUCTURAL ELEMENTS. QUESTIONS REGARDING THE MEANS AND METHODS OF THOSE SUPPORTS SHOULD BE DIRECTED TOWARD THE STRUCTURAL ENGINEER



ACKLEY RESIDENCE

9603 SE 61ST PLACE
MERCER ISLAND, WA 98040

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REVISIONS

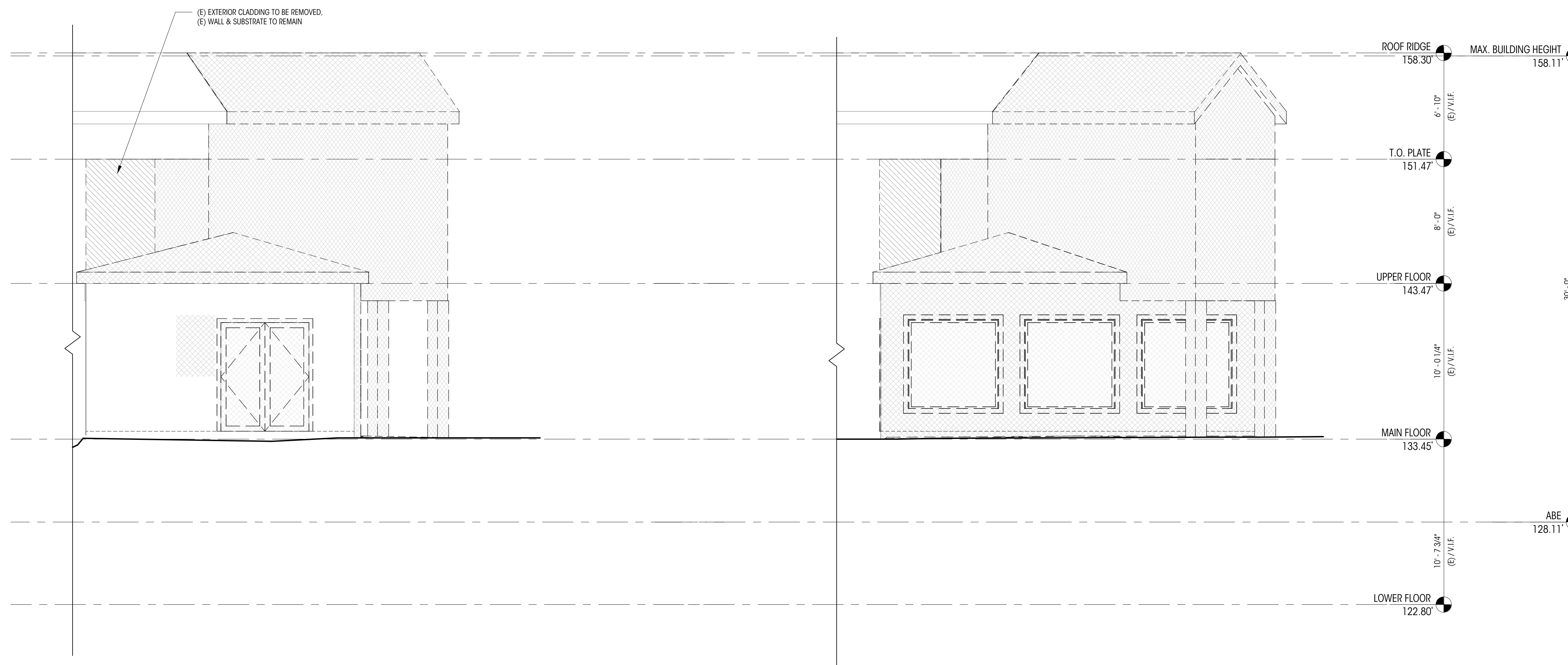
NO.	DESCRIPTION	DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

DEMOLITION
ELEVATIONS (NORTH
WEST)

SCALE: 1/4" = 1'-0"

AD303



1 EXTERIOR DEMOLITION ELEVATION - NORTHWEST
1/4" = 1'-0"

2 EXTERIOR DEMOLITION ELEVATION - WEST
1/4" = 1'-0"

LEGEND

	MAIN FLOOR F.F. 48' - 5"	ELEVATION DATUM		EXISTING ELEMENT TO BE DEMOLISHED
	0	GRIDLINE		EXISTING FINISH TO BE DEMOLISHED
				EXISTING ELEMENT TO REMAIN

NOTES

- ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
- ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
- CONTRACTOR TO ENSURE ADEQUATE STRUCTURAL SUPPORTS ARE IN PLACE WHEN REMOVING EXISTING STRUCTURAL ELEMENTS. QUESTIONS REGARDING THE MEANS AND METHODS OF THOSE SUPPORTS SHOULD BE DIRECTED TOWARD THE STRUCTURAL ENGINEER



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SHEET SIZE: D (24X36)

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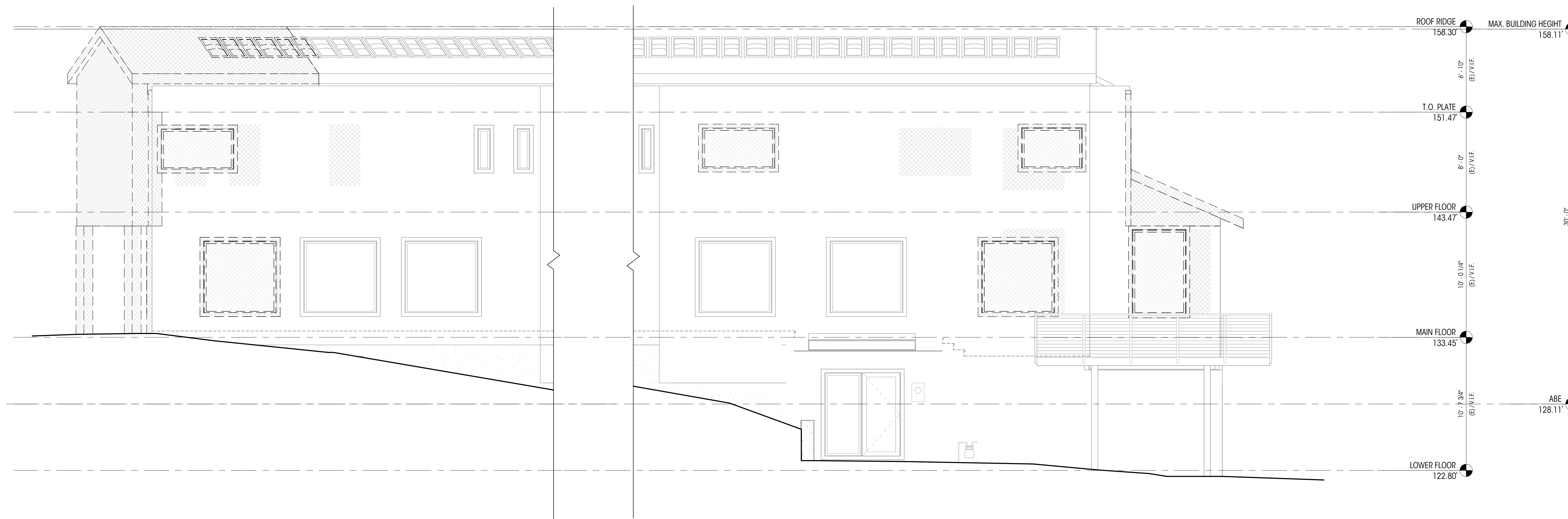
NO. DESCRIPTION DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

DEMOLITION
ELEVATIONS (SOUTH
& SOUTHEAST)

SCALE: 1/4" = 1'-0"

AD304



1 EXTERIOR DEMOLITION ELEVATION - SOUTH
1/4" = 1'-0"

2 EXTERIOR DEMOLITION ELEVATION - SOUTHEAST
1/4" = 1'-0"

LEGEND

	MAIN FLOOR F.F. 48' - 5"	ELEVATION DATUM		EXISTING ELEMENT TO BE DEMOLISHED
	0	GRIDLINE		EXISTING FINISH TO BE DEMOLISHED
				EXISTING ELEMENT TO BE DEMOLISHED

NOTES

- ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
- ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
- CONTRACTOR TO ENSURE ADEQUATE STRUCTURAL SUPPORTS ARE IN PLACE WHEN REMOVING EXISTING STRUCTURAL ELEMENTS. QUESTIONS REGARDING THE MEANS AND METHODS OF THOSE SUPPORTS SHOULD BE DIRECTED TOWARD THE STRUCTURAL ENGINEER

ZONING CALCULATIONS

LOT COVERAGE (NOTE LOT COVERAGE IS IMPERVIOUS SURFACE FOR STORMWATER CALCULATIONS)

ROOF, GARAGE, AND OVERHANGS	(E) HOUSE	1,910.13 SF	
	(N) HOUSE	127.16 SF	
	(N) SHED	280 SF	
DRIVING SURFACES	(E) DRIVE	2,053.58 SF	
	(E) DRIVE	33.83 SF	(AREA UNDER (D) ROOF OVERHANG)
TOTAL		4,404.7 SF	

ALLOWED (35% OF LOT AREA)	19,100 SF * 0.35 =	6,685 SF
PROPOSED	4,404.7 / 19,100 * 100 =	23.06%

HARDSCAPE (NOTE HARDSCAPE IS IMPERVIOUS SURFACE FOR STORMWATER CALCULATIONS)

DECKS	(E)D-1	24.34 SF	ROCKERIES	(E)R-1	18.60 SF	SITE WALLS	(E)SW-1	0.75 SF
		24.34 SF		(E)R-2	12.70 SF		(E)SW-2	21.30 SF
PATIOS	(E)P-1	193.85 SF		(E)R-3	120.14 SF		(E)SW-3	1.93 SF
	(E)P-2	30.33 SF		(E)R-4	34.48 SF		(E)SW-4	1.76 SF
	(E)P-3	124.04 SF		(E)R-5	448.16 SF		(E)SW-5	1.83 SF
	(E)P-5	427.78 SF		(E)R-6	81.46 SF		(E)SW-6	2.04 SF
		776.00 SF		(E)R-7	43.93 SF		(E)SW-7	8.55 SF
				(E)R-8	154.34 SF			
				(E)R-9	23.38 SF	STAIRS	(E)S-1	41.57 SF
				(E)R-10	34.26 SF		(E)S-2	33.86 SF
				(E)R-11	31.44 SF		(E)S-3	98.29 SF
				(E)R-12	30.67 SF			173.72 SF
				(E)R-13	8.73 SF	TURF PATIOS	(E)T-1	1,121.82 SF
				(E)R-14	32.04 SF		(N)T-2	93.78 SF
				(E)R-15	6.16 SF			1,215.60 SF
				(E)R-16	146.82 SF			
				(E)R-17	2.99 SF			
				(E)R-18	0.39 SF			
					1,230.69 SF			

(PORTIONS OF EXISTING TURF PATIO T-1 CONVERTED FROM (D) ROOF OVERHANG LOT COVERAGE)

TOTAL EXISTING AND NEW:		3,458.51 SF
-------------------------	--	-------------

ALLOWED (9% OF LOT AREA):	19,100 SF * 0.09 =	1,719 SF
---------------------------	--------------------	----------

PER 19.02.020 F.3.b.ii., HARDSCAPE IMPROVEMENTS ARE PERMITTED IN THE MAXIMUM LOT COVERAGE AREA.
REMAINING LOT COVERAGE: 6,685 SF - 4,404.7 SF = 2,280.3 SF

TOTAL ALLOWABLE HARDSCAPE:	2,280.3 SF + 1,719 SF = 3,999.3 SF
	(3,999.3 / 19,100) * 100 = 20.94%
PROPOSED HARDSCAPE:	3,458.51 SF / 19,100 = 18.11%

STORMWATER CALCULATIONS:

EXISTING IMPERVIOUS SURFACE (LOT COVERAGE + HARDSCAPE) 4012.13 + 3621.26 =	7633.39 SF
PROPOSED IMPERVIOUS SURFACE (LOT COVERAGE + HARDSCAPE) 4404.70 + 3458.51 =	7863.21 SF

NET INCREASE =	229.82 SF
NET INCREASE IS LESS THAN 500 SF THEREFORE DRAINAGE DESIGN IS NOT REQUIRED	

NEW HARD SURFACE AREA: (N) HOUSE FOOTPRINT AND OVERHANGS	127.16 SF
(N) SHED AND OVERHANGS	280.00 SF
REPLACED HARD SURFACE AREA (N) T-2 (TURF REPLACING PATIO)	93.78 SF

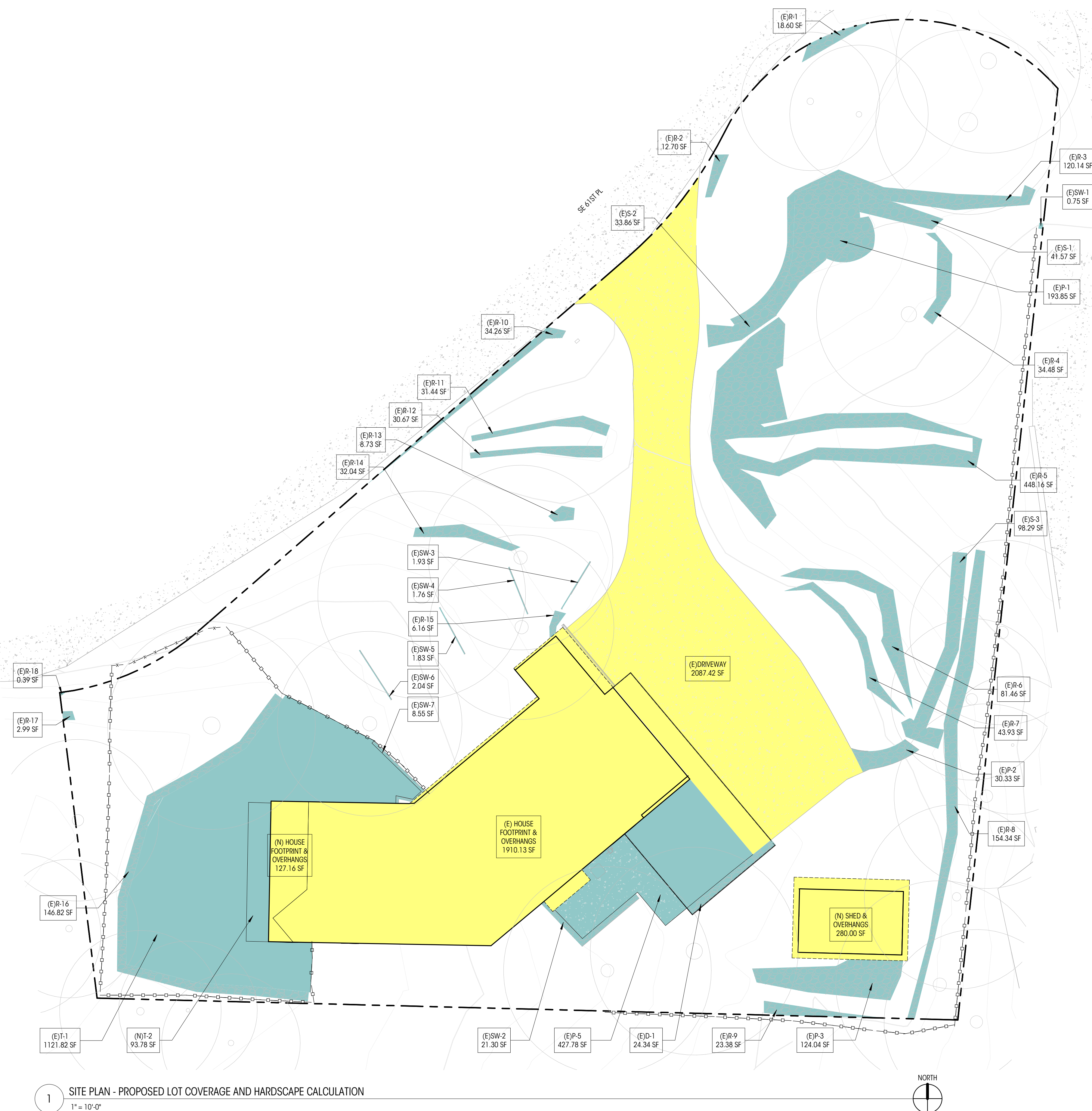
TOTAL NEW + REPLACED HARD SURFACE AREA =	500.94 SF
TOTAL IS LESS THAN 2000 SF THEREFORE DRAINAGE DESIGN IS NOT REQUIRED	

NOTES

- PROPERTY LINE METES & BOUNDS ARE SHOWN PER TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24
- TREES AND CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24
- SEE SHEET A101 FOR COMPLETE SITE PLAN

LEGEND

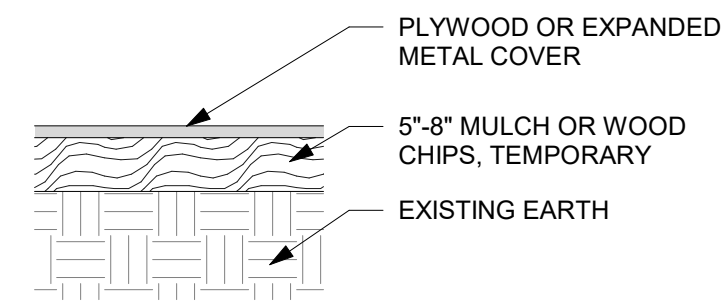
EL= 148.5' (+0'-0")	ELEVATION DATUM		PROPOSED LOT COVERAGE AREA
	MAIN LEVEL FIN. F.L.R.		PROPOSED HARDSCAPE AREA
	PROPERTY LINE		
	SETBACK LINE		
	ROOF OVERHANG		
	CONTOUR MAJOR		
	CONTOUR MINOR		



1 SITE PLAN - PROPOSED LOT COVERAGE AND HARDSCAPE CALCULATION
1" = 10'-0"

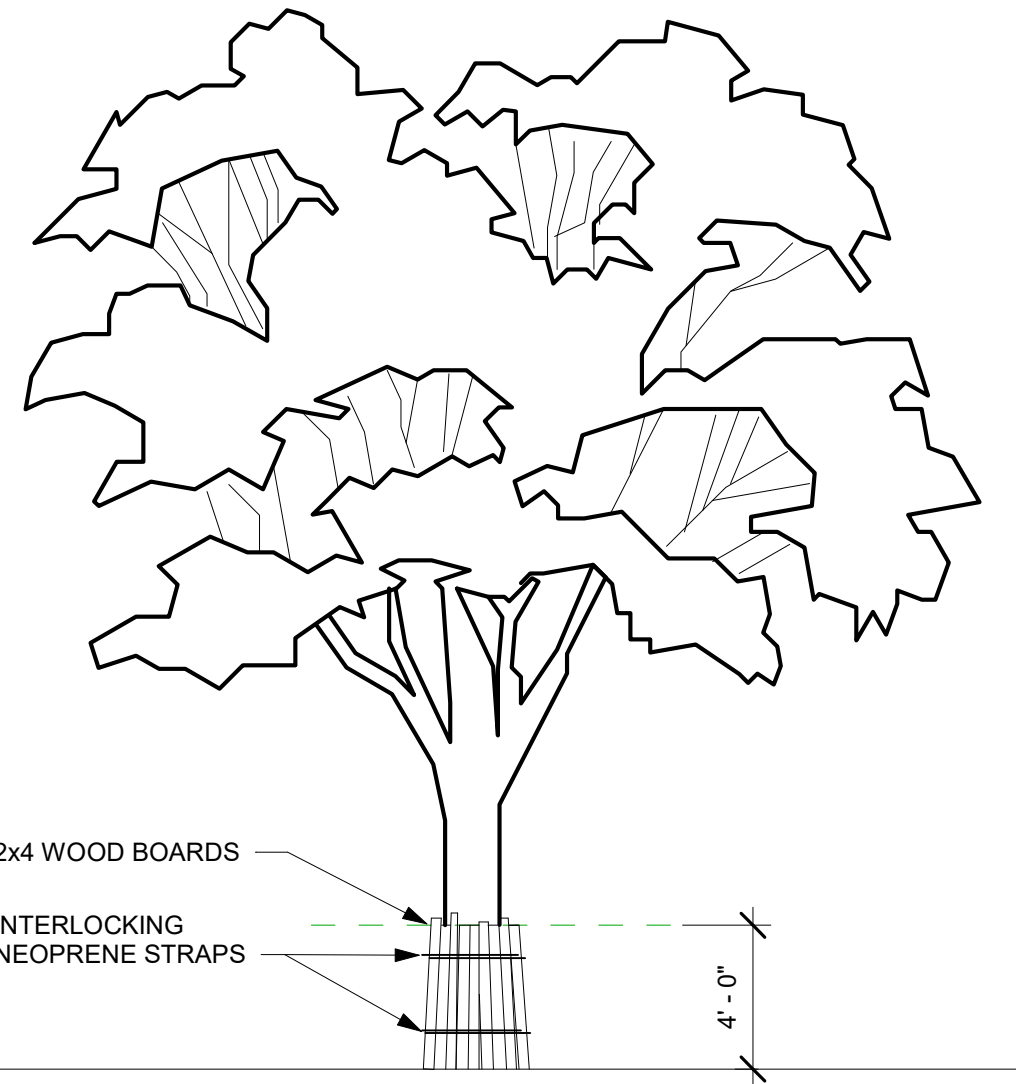


Tree Schedule									
ID	Common Name	Scientific Name	# of Trunks	DBH/DS H	Dripline	Condition	Retain	Comments	
1	DOUGLAS FIR	Pseudotsuga menziesii	1	34.0"	16' - 0"	GOOD	Yes	EXCEPTIONAL	
2	DOUGLAS FIR	Pseudotsuga menziesii	1	40.0"	16' - 0"	GOOD	Yes	EXCEPTIONAL	
3	DOUGLAS FIR	Pseudotsuga menziesii	1	12.0"	12' - 0"	GOOD	Yes		
4	DOUGLAS FIR	Pseudotsuga menziesii	1	12.0"	12' - 0"	GOOD	Yes		
5	DOUGLAS FIR	Pseudotsuga menziesii	1	32.0"	16' - 0"	GOOD	Yes	EXCEPTIONAL	
6	DOUGLAS FIR	Pseudotsuga menziesii	1	28.0"	16' - 0"	GOOD	Yes		
7	DOUGLAS FIR	Pseudotsuga menziesii	1	28.0"	16' - 0"	GOOD	Yes		
8	DOUGLAS FIR	Pseudotsuga menziesii	1	36.0"	18' - 0"	GOOD	Yes	EXCEPTIONAL	
9	DOUGLAS FIR	Pseudotsuga menziesii	0	30.0"	16' - 0"	GOOD	Yes	EXCEPTIONAL	
10	DOUGLAS FIR	Pseudotsuga menziesii	1	36.0"	18' - 0"	GOOD	Yes	EXCEPTIONAL	
11	DOUGLAS FIR	Pseudotsuga menziesii	1	24.0"	14' - 0"	GOOD	Yes		
12	DOUGLAS FIR	Pseudotsuga menziesii	1	27.0"	18' - 0"	GOOD	Yes	TRUNK PROTECTION & ROOT PROTECTION	
13	DOUGLAS FIR	Pseudotsuga menziesii	1	34.0"	18' - 0"	GOOD	Yes	EXCEPTIONAL, TRUNK PROTECTION & ROOT PROTECTION	
14	DOUGLAS FIR	Pseudotsuga menziesii	1	28.0"	18' - 0"	GOOD	Yes		
15	DOUGLAS FIR	Pseudotsuga menziesii	1	18.0"	16' - 0"	GOOD	Yes		
16	DOUGLAS FIR	Pseudotsuga menziesii	1	24.0"	14' - 0"	GOOD	Yes		
17	DOUGLAS FIR	Pseudotsuga menziesii	1	26.0"	16' - 0"	GOOD	Yes		
18			1	6.0"	12' - 0"	GOOD	Yes	OFFSITE	
19	DOUGLAS FIR	Pseudotsuga menziesii	1	26.0"	16' - 0"	GOOD	Yes	OFFSITE	
20	DOUGLAS FIR	Pseudotsuga menziesii	1	26.0"	16' - 0"	GOOD	Yes	OFFSITE	
21	PINE	Pinus	1	12.0"	12' - 0"	GOOD	Yes	OFFSITE	
22	PINE	Pinus	1	8.0"	12' - 0"	GOOD	Yes	OFFSITE	
23	PINE	Pinus	1	16.0"	14' - 0"	GOOD	Yes	OFFSITE	
24	DOUGLAS FIR	Pseudotsuga menziesii	1	14.0"	12' - 0"	GOOD	Yes	OFFSITE	
25	DOUGLAS FIR	Pseudotsuga menziesii	1	18.0"	14' - 0"	GOOD	Yes	OFFSITE	



2 Tree Planting Protection - Traffic Cover
Not To Scale

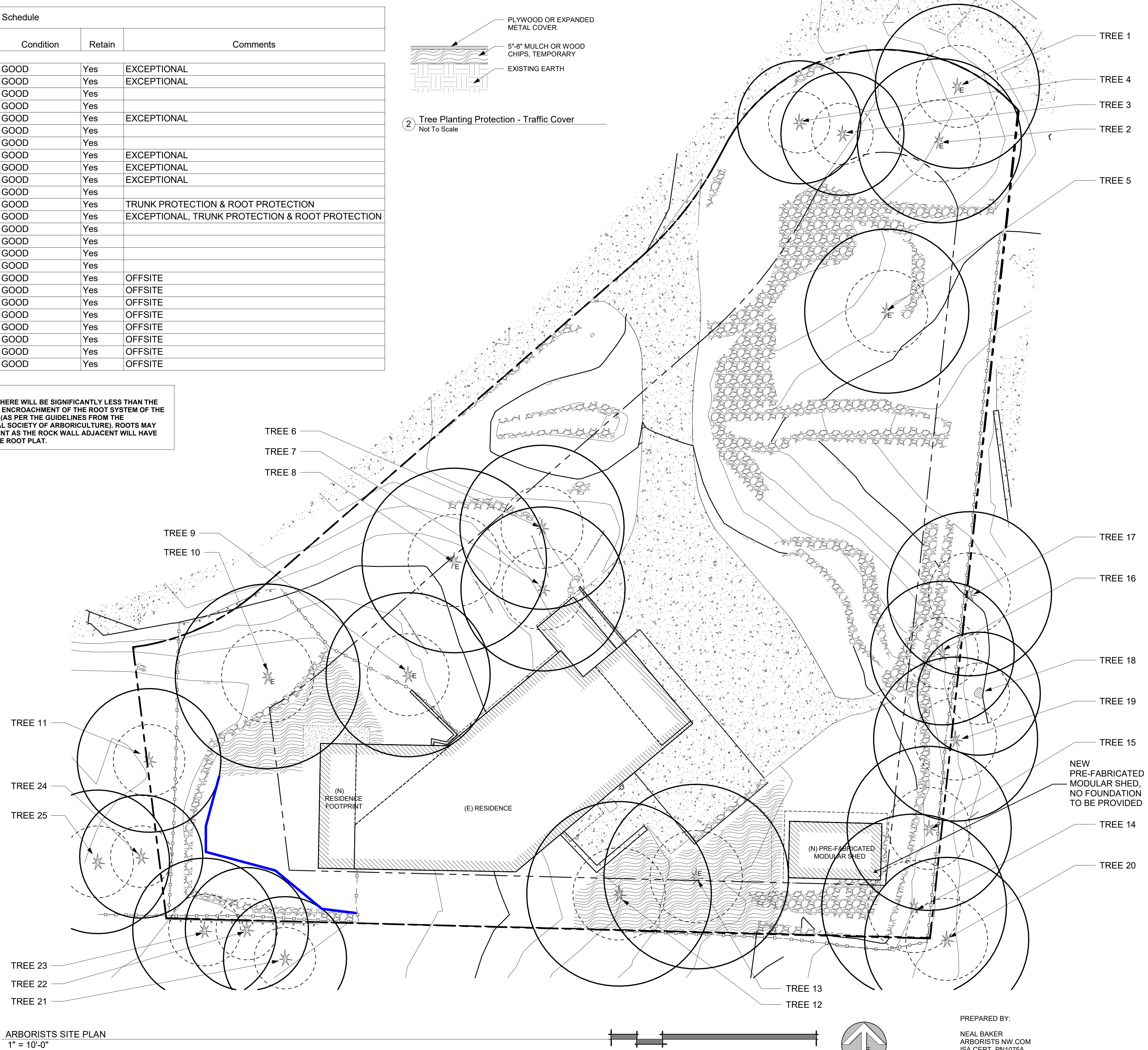
NOTE:
TREE 9 & 10: THERE WILL BE SIGNIFICANTLY LESS THAN THE ALLOWED 25% ENCROACHMENT OF THE ROOT SYSTEM OF THE NEARBY TREE (AS PER THE GUIDELINES FROM THE INTERNATIONAL SOCIETY OF ARBORICULTURE). ROOTS MAY NOT BE PRESENT AS THE ROCK WALL ADJACENT WILL HAVE DEFORMED THE ROOT PLAT.



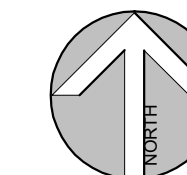
3 Trunk Protection
Not To Scale

	TREE DRIP LINE
	EVERGREEN TREE
	DECIDUOUS TREE
	TREE TO BE REMOVED (NONE PROPOSED)
	TREE PROTECTION FENCING MUST BE PLACED PRIOR TO CONSTRUCTION ACTIVITY
	"E" REPRESENTS EXCEPTIONAL TREES. IN EXCESS OF 36" DBH
	6"-8" DEEP MULCH

4 Symbols Legend
Not To Scale



ARBORISTS SITE PLAN
1" = 10'-0"



PREPARED BY:
NEAL BAKER
ARBORISTS NW.COM
ISA CERT. PN1075A
TRAQ ISA (TREE RISK ASSESSMENT QUALIFIED)
MEMBER AREA & SOCA
PH: 206 779 2579

arboristsNW

Arborists NW is a full spectrum arboricultural, consulting and landscape design and installation provider. When you think tree and landscape services, think Arborists NW.

ONLINE: <https://arboristsnw.com/>
PHONE: 206-779-2579
EMAIL: neal@arboristsnw.com

No.	Description	Date

ACKLEY RESIDENCE
 9603 SE 61ST PLACE, MERCER ISLAND, WA 98040

ACKLEY RESIDENCE

ARBORIST TREE PLAN

Project number	25006
Date	
Drawn by	CW
Checked by	NB

X100

Scale As indicated



ACKLEY RESIDENCE

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MERCER ISLAND, WA 98040

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PERMIT SET

DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: AJS

CHECKED BY: KM

TREE RETENTION PLAN

SCALE: 1" = 10'-0"

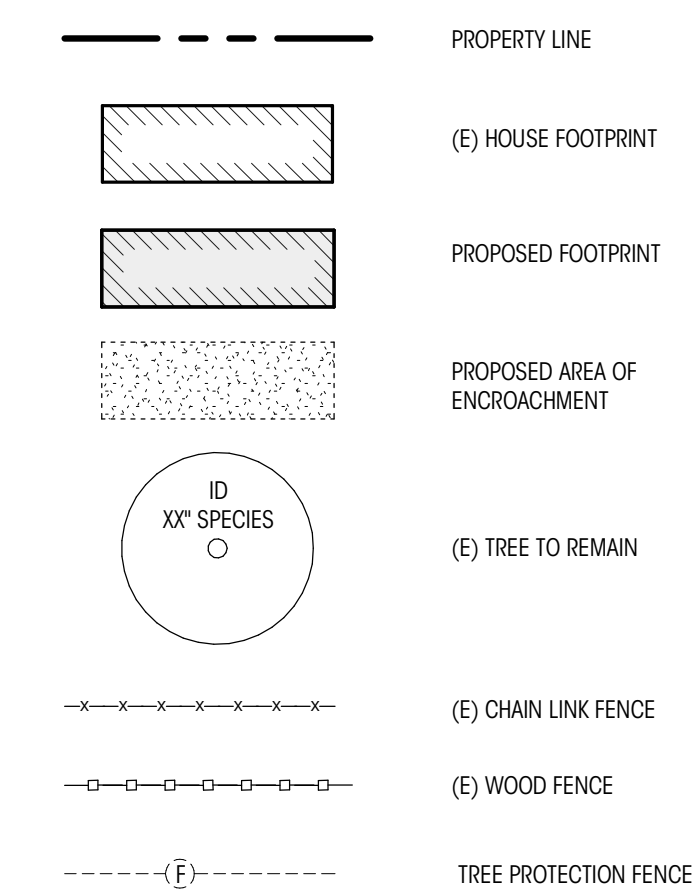
A106

NOTES

SHEET REFERENCE NOTES:

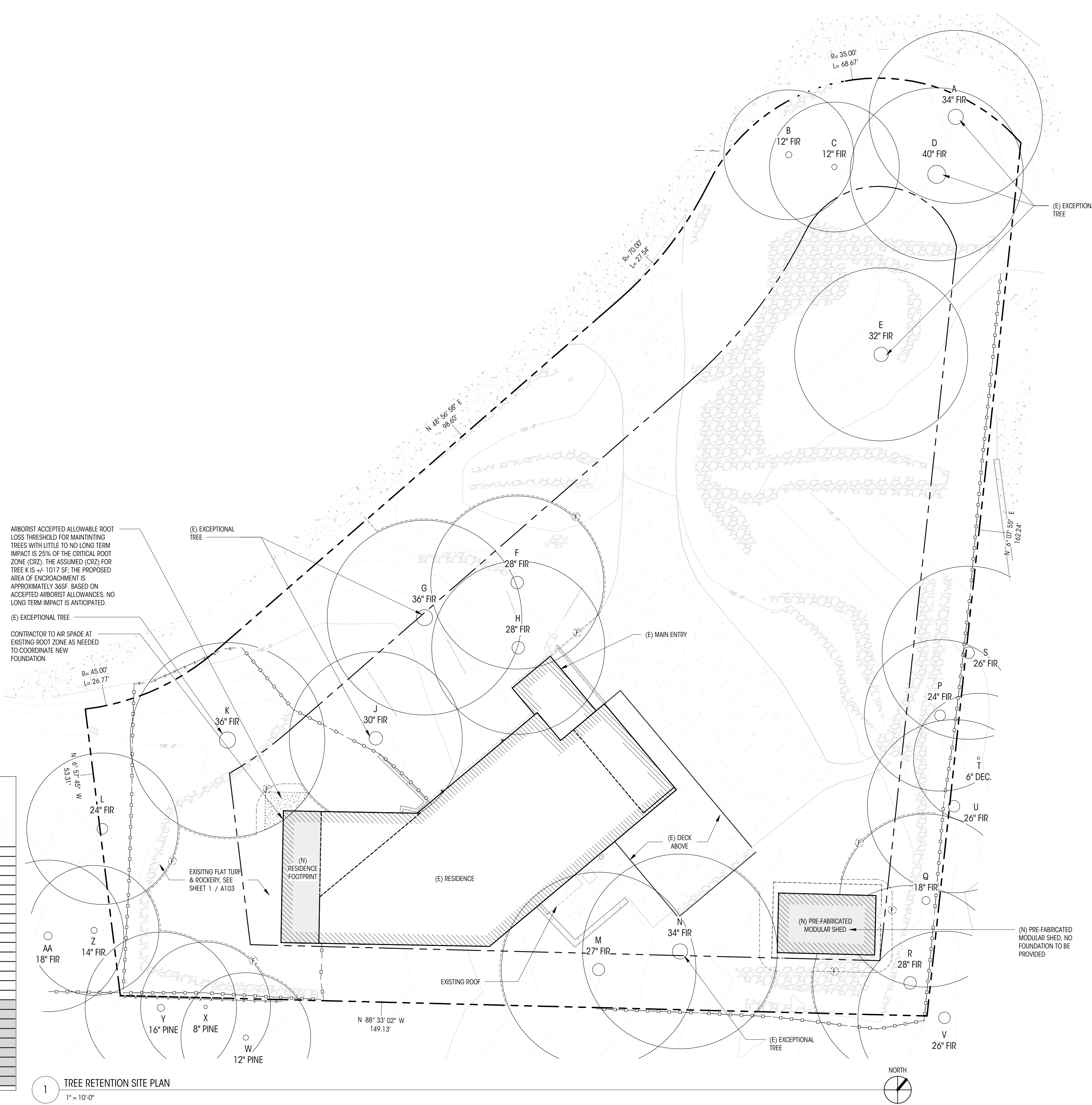
- SEE SHEET A101 FOR CRITICAL AREA & SETBACK DIMENSIONS.
- PER MICC 19.02.020(F)(3)(D), THE PROJECT SHALL REMOVE JAPANESE KNOTWEED (POLYGONUM CUSPIDATUM) AND REGULATED CLASS A, REGULATED CLASS B, AND REGULATED CLASS C WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED, FROM REQUIRED LANDSCAPING AREAS ESTABLISHED PURSUANT TO SUBSECTION (F)(3)(A) OF THIS SECTION. NEW LANDSCAPING ASSOCIATED WITH SINGLE-FAMILY HOME ADDITION SHALL NOT INCORPORATE ANY WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED. PROVIDED, THAT REMOVAL SHALL NOT BE REQUIRED IF THE REMOVAL WILL RESULT IN INCREASED SLOPE INSTABILITY OF RISK OF LANDSLIDE OR EROSION.
- PROPERTY LINE METES & BOUNDS ARE SHOWN PER TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24
- TREES AND CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24

TREE RETENTION LEGEND

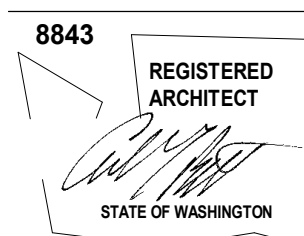


TREE RETENTION SCHEDULE

TREE ID	OFFSITE	REMAIN	REMOVE	REGULATED			EXCEPTIONAL	DBH (IN)	SPECIES	SPECIES	COMMENT
				≥10"	≥24"	≥36"					
A	X	N/A	X	X	X	X	35	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
B	X	N/A	X				12	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
C	X	N/A	X				12	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
D	X	N/A	X	X	X	X	40	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
E	X	N/A	X	X	X	X	32	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
F	X	N/A	X	X	X	X	28	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
G	X	N/A	X	X	X	X	36	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
H	X	N/A	X	X	X	X	28	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
J	X	N/A	X	X	X	X	30	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
K	X	N/A	X	X	X	X	36	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
L	X	N/A	X	X	X	X	24	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
M	X	N/A	X	X	X	X	27	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
N	X	N/A	X	X	X	X	34	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
P	X	N/A	X	X	X	X	24	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
Q	X	N/A	X	X	X	X	18	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
R	X	N/A	X	X	X	X	28	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
S	X	X	N/A	X	X	X	26	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
T	X	X	N/A	X	X	X	6	DECIDUOUS			
U	X	X	N/A	X	X	X	26	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
V	X	X	N/A	X	X	X	26	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
W	X	X	N/A	X	X	X	12	PINE			
X	X	X	N/A	X	X	X	8	PINE			
Y	X	X	N/A	X	X	X	16	PINE			
Z	X	X	N/A	X	X	X	14	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		
AA	X	X	N/A	X	X	X	18	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		

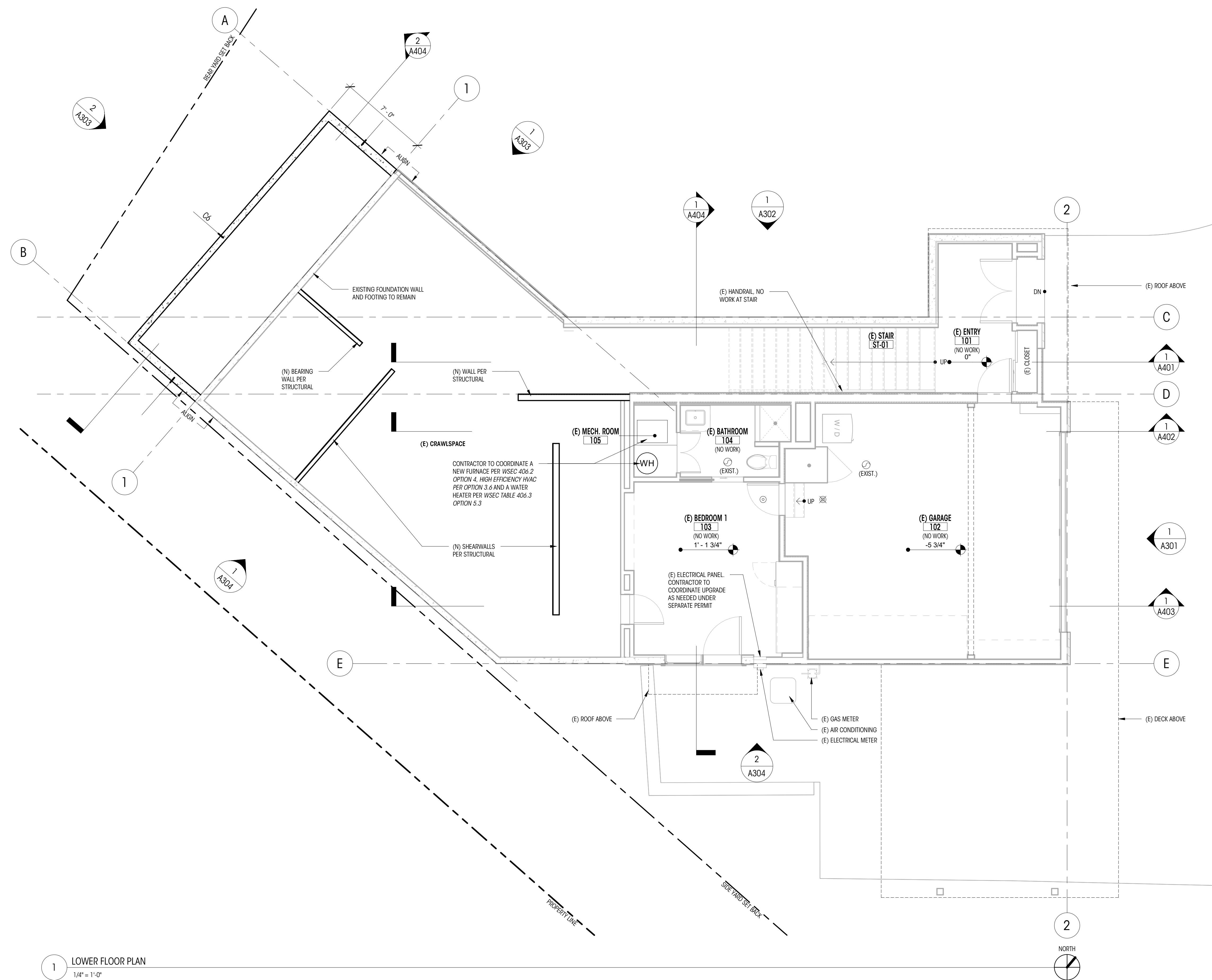


1 TREE RETENTION SITE PLAN
1" = 10'-0"



REVISIONS

NO.	DESCRIPTION	DATE

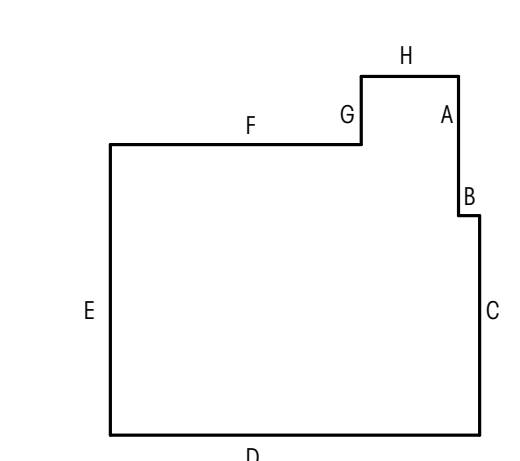


1 LOWER FLOOR PLAN
1/4" = 1'-0"

BASEMENT LEVEL BELOW GRADE AREA CALC

WALL SEGMENT	LENGTH	COVERAGE	RESULT
A	13.30'	0%	0'
B	2.01'	0%	0'
C	20.51'	0%	0'
D	35.29'	0%	0'
E	27.27'	30.10%	8.21'
F	24.14'	64.90%	15.67'
G	6.54'	47.11%	3.08'
H	9.13'	33.65%	3.07'
TOTALS	138.19'		30.03'

TOTAL BASEMENT GSF = 428.33+435.07 SF = 863.40 SF
 PORTION OF EXCLUDED BASEMENT FLOOR AREA:
 (30.03' / 138.19') * 863.40 SF = 187.63 SF
 NET BASEMENT GFA: (863.40 SF - 187.63 SF) = 675.77 SF

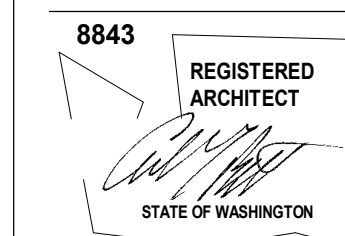


LEGEND

WINDOW ID	WALL TO REMAIN	PROPERTY LINE
DOOR ID	MAIN FLOOR F.F. 48' - 5"	SETBACK LINE
FINISH ID	GRIDLINE	OVERHEAD ELEMENTS
ROOM NAME	SMOKE DETECTOR	NEW FLOOR
ASSEMBLY ID	SMOKE/CARBON MONOXIDE DETECTOR	
FAN - 100 CFM U.N.O.		

NOTES

- ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
- ALL DIMENSIONS AT KITCHEN TO EDGE OF COUNTERTOPS, U.N.O.
- ALL INTERIOR DOOR SWING-SIDE JAMBS ARE 4" FROM ADJACENT WALL, U.N.O.
- SEE RCP FOR SMOKE / CARBON MONOXIDE DETECTOR AND EXHAUST FAN LOCATIONS
- ALL NEW WALLS TYPE P46 UNLESS NOTED OTHERWISE
- ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
- VERIFY SMOKE ALARMS ARE NOTED OUTSIDE OF EACH BEDROOM IN THE IMMEDIATE VICINITY ON EACH FLOOR LEVEL PER IRC SECTION 314.2.2.
- VERIFY CARBON MONOXIDE ALARMS ARE NOTED OUTSIDE OF EACH BEDROOM IN THE IMMEDIATE VICINITY ON EACH FLOOR LEVEL PER IRC SECTION 315.3.
- FLOOR, CEILING, AND WALL ASSEMBLIES ARE LISTED ON SHEETS A701.



ACKLEY RESIDENCE

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MERCER ISLAND, WA 98040

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PERMIT SET

DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

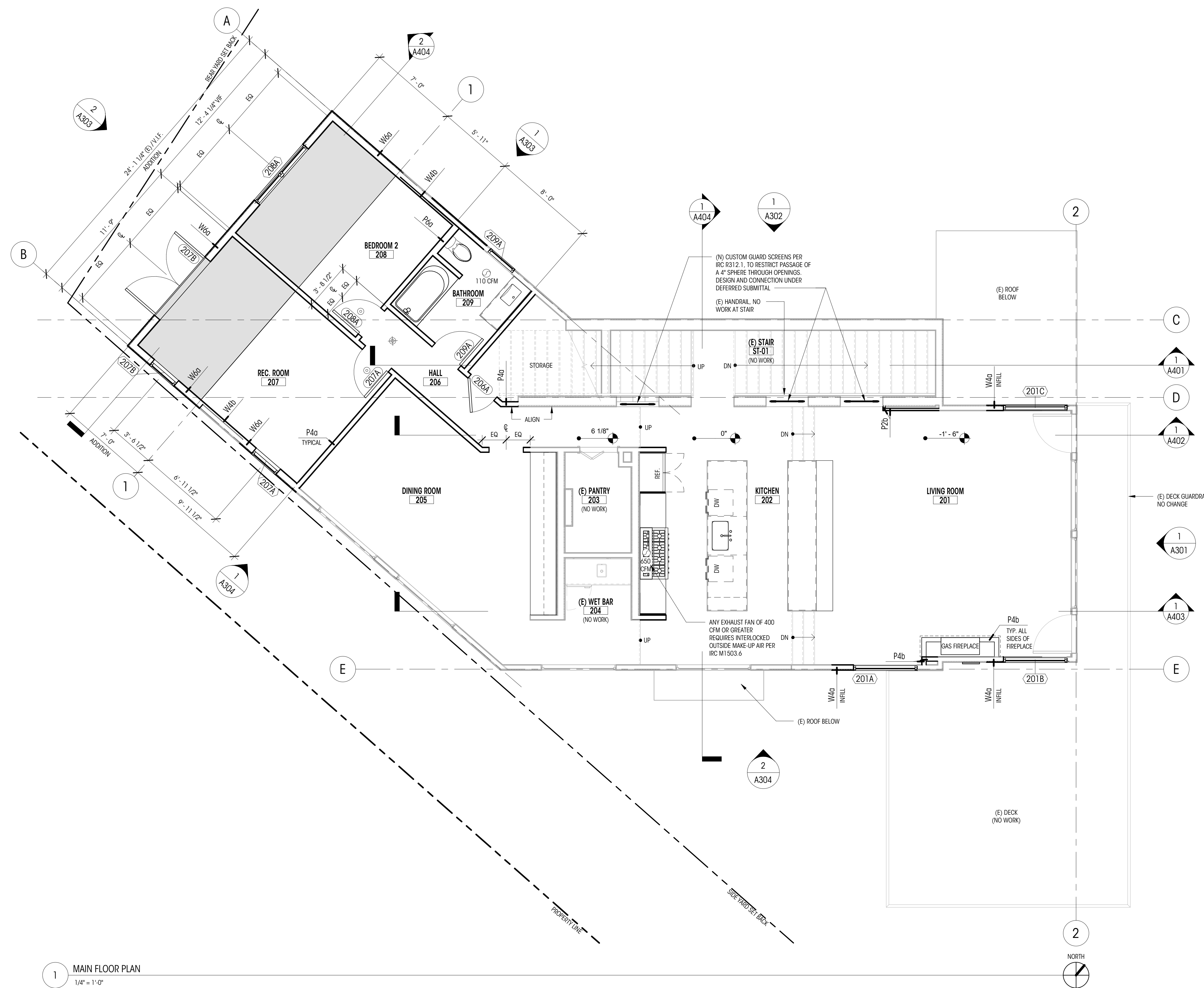
DRAWN BY: AJS & SHW

CHECKED BY: KM

MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

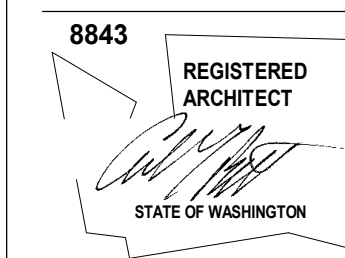
A212



1 MAIN FLOOR PLAN
1/4" = 1'-0"

LEGEND		NOTES	
(200A)	WINDOW ID	—	NEW WALL
(100A)	DOOR ID	—	WALL TO REMAIN
(100A)	FINISH ID	—	PROPERTY LINE
ROOM NAME	ROOM ID	—	SETBACK LINE
W4q	ASSEMBLY ID	—	OVERHEAD ELEMENTS
FAN - 100 CFM U.N.O.		—	NEW FLOOR
		0	GRIDLINE
		⊙	SMOKE DETECTOR
		⊗	SMOKE/CARBON MONOXIDE DETECTOR

- NOTES**
- ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
 - ALL DIMENSIONS AT KITCHEN TO EDGE OF COUNTERTOPS, U.N.O.
 - ALL INTERIOR DOOR SWING-SIDE JAMBS ARE 4" FROM ADJACENT WALL, U.N.O.
 - SEE RCP FOR SMOKE / CARBON MONOXIDE DETECTOR AND EXHAUST FAN LOCATIONS
 - ALL NEW WALLS TYPE P4; UNLESS NOTED OTHERWISE
 - ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
 - VERIFY SMOKE ALARMS ARE NOTED OUTSIDE OF EACH BEDROOM IN THE IMMEDIATE VICINITY ON EACH FLOOR LEVEL PER IRC SECTION 314.2.2.
 - VERIFY CARBON MONOXIDE ALARMS ARE NOTED OUTSIDE OF EACH BEDROOM IN THE IMMEDIATE VICINITY ON EACH FLOOR LEVEL PER IRC SECTION 315.3.
 - FLOOR, CEILING, AND WALL ASSEMBLIES ARE LISTED ON SHEETS A701.



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PERMIT SET

DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

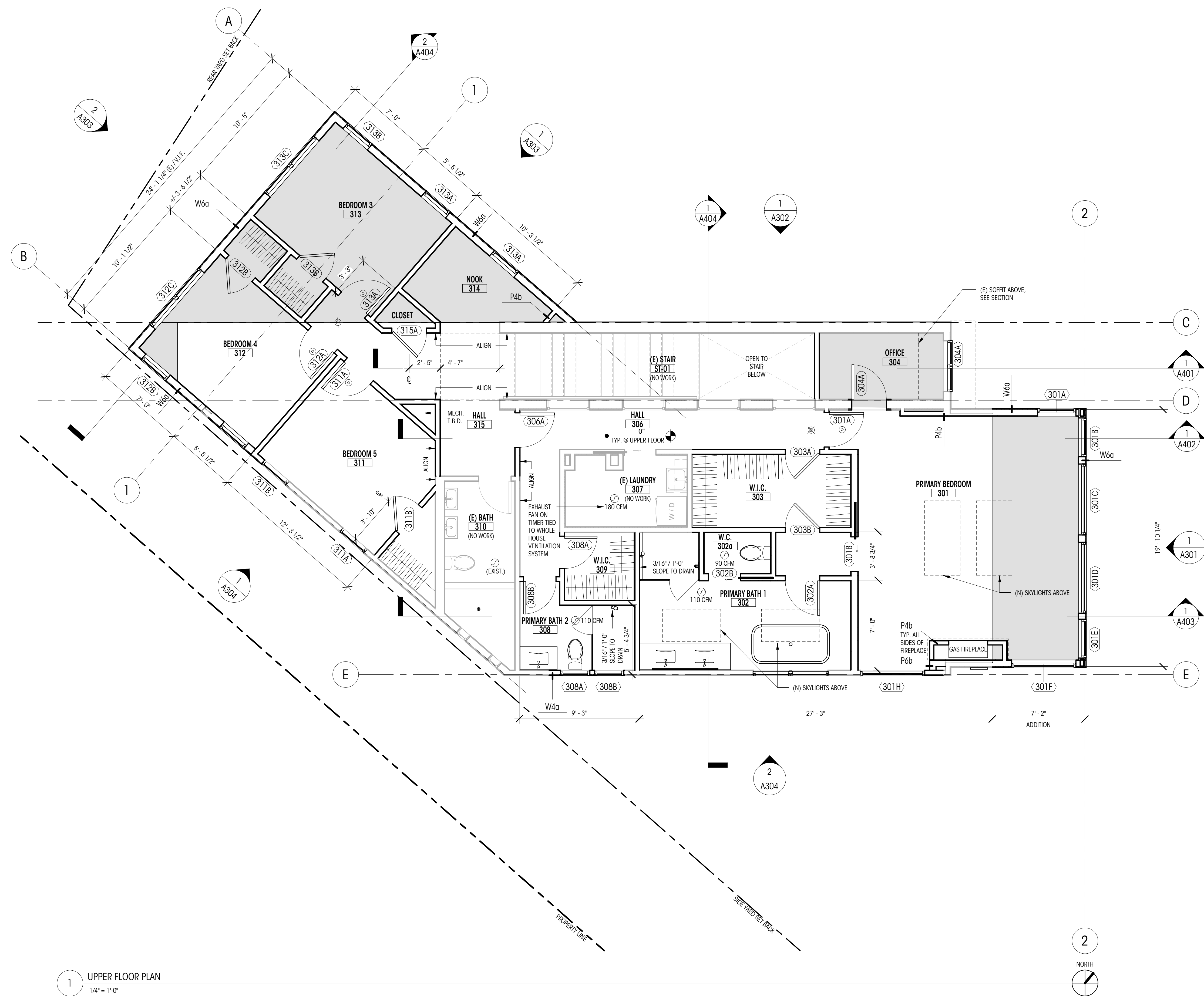
NO.	DESCRIPTION	DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

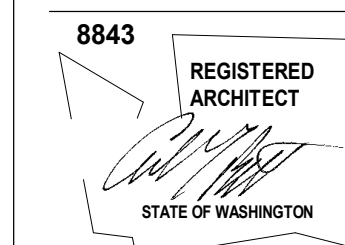
A213



1 UPPER FLOOR PLAN
1/4" = 1'-0"

LEGEND		NOTES	
(200A)	WINDOW ID	—	NEW WALL
(100A)	DOOR ID	—	PROPERTY LINE
(100A)	FINISH ID	—	SETBACK LINE
ROOM NAME	ROOM ID	—	OVERHEAD ELEMENTS
W4a	ASSEMBLY ID	—	NEW FLOOR
⊙	FAN - 100 CFM U.N.O.	○	GRIDLINE
⊙		⊙	SMOKE DETECTOR
		⊗	SMOKE CARBON MONOXIDE DETECTOR

- ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
- ALL DIMENSIONS AT KITCHEN TO EDGE OF COUNTERTOPS, U.N.O.
- ALL INTERIOR DOOR SWING-SIDE JAMBS ARE 4" FROM ADJACENT WALL, U.N.O.
- SEE RCP FOR SMOKE / CARBON MONOXIDE DETECTOR AND EXHAUST FAN LOCATIONS
- ALL NEW WALLS TYPE P4a UNLESS NOTED OTHERWISE
- ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
- VERIFY SMOKE ALARMS ARE NOTED OUTSIDE OF EACH BEDROOM IN THE IMMEDIATE VICINITY ON EACH FLOOR LEVEL PER IRC SECTION 314.2.2.
- VERIFY CARBON MONOXIDE ALARMS ARE NOTED OUTSIDE OF EACH BEDROOM IN THE IMMEDIATE VICINITY ON EACH FLOOR LEVEL PER IRC SECTION 315.3.
- FLOOR, CEILING, AND WALL ASSEMBLIES ARE LISTED ON SHEETS A701.



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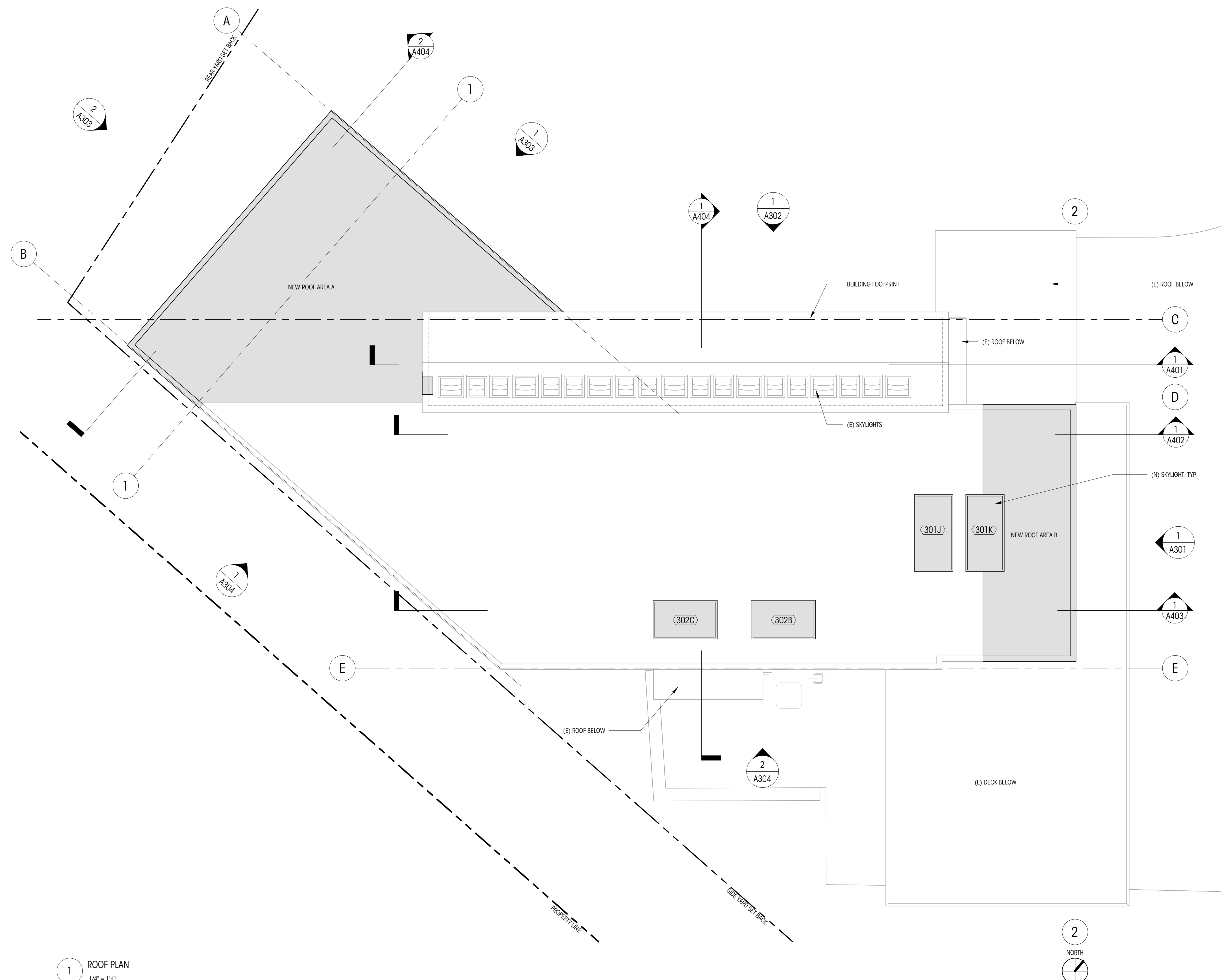
NO.	DESCRIPTION	DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

ROOF PLAN

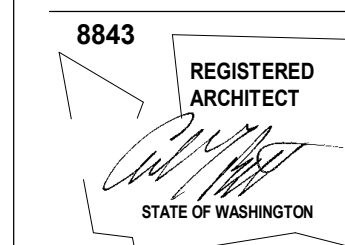
SCALE: 1/4" = 1'-0"

A214



1 ROOF PLAN
1/4" = 1'-0"

LEGEND		NOTES		ROOF VENTILATION CALC	
200A	WINDOW ID		NEW ROOF AREA	NEW ROOF TO MATCH EXISTING ROOF VENTILATION PER IRC R806	
	MAIN FLOOR F.F. 48' - 5"		EXISTING ROOF STRUCTURE TO REMAIN	REQUIRED VENTILATION:	1 SF/150 SF OF TOTAL ROOF AREA
	GRIDLINE		BUILDING FOOTPRINT	NEW ROOF AREA 'A':	NEW TRUSS ROOF AREA = 401.41 SF REQUIRED VENTILATION = 401.41 SF / 150 = 2.68 SF = 385.92 SQ. IN.
	4" / 1'-0"		SPOT SLOPE	PROPOSED VENTILATION ROOF AREA 'A':	(3) EXHAUST VENT W/ 78 SQ. IN. NET FREE AREA = 234 SQ. IN. (3) INTAKE VENTS W/ 63 SQ. IN. NET FREE AREA = 189 SQ. IN. TOTAL PROPOSED VENTILATION = 423 SQ. IN. COMPLIES
				NEW ROOF AREA 'B':	NEW TRUSS ROOF AREA = 134.47 SF REQUIRED VENTILATION = 134.47 SF / 150 = .98 SF = 137.95 SQ. IN.
				PROPOSED VENTILATION ROOF AREA 'B':	(3) EXHAUST VENT W/ 78 SQ. IN. NET FREE AREA = 243 SQ. IN. (3) INTAKE VENTS W/ 60 SQ. IN. NET FREE AREA = 189 SQ. IN. TOTAL PROPOSED VENTILATION = 423 SQ. IN. COMPLIES



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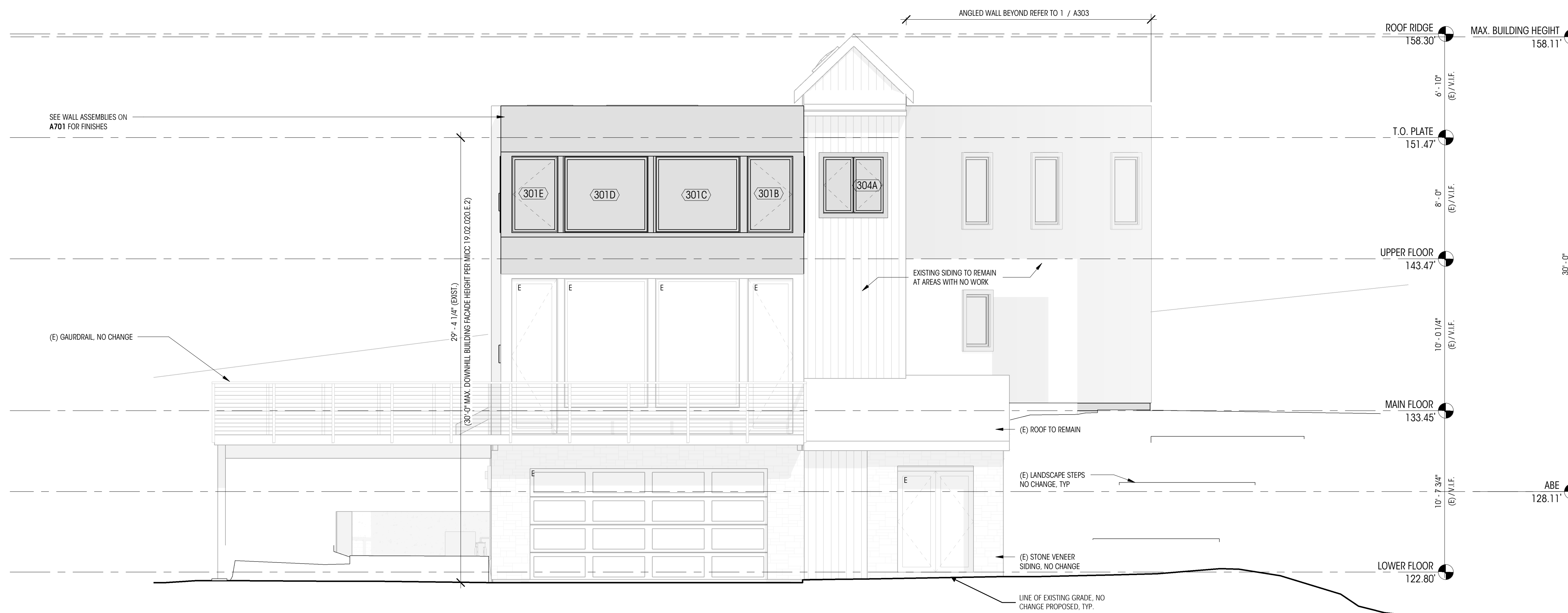
NO.	DESCRIPTION	DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

EXTERIOR
ELEVATIONS
(NORTHEAST)

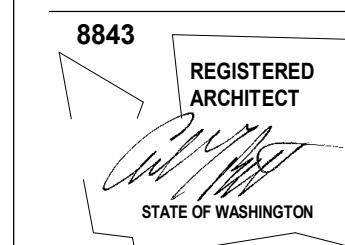
SCALE: 1/4" = 1'-0"

A301



1 EXTERIOR ELEVATION - NORTHEAST
1/4" = 1'-0"

LEGEND		NOTES	
	WINDOW ID		NEW CONSTRUCTION ELEMENT
	DOOR ID		EXISTING ELEMENT TO REMAIN
	GRIDLINE	<p>1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.</p> <p>2. ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.</p>	



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SHEET SIZE: D (24X36)

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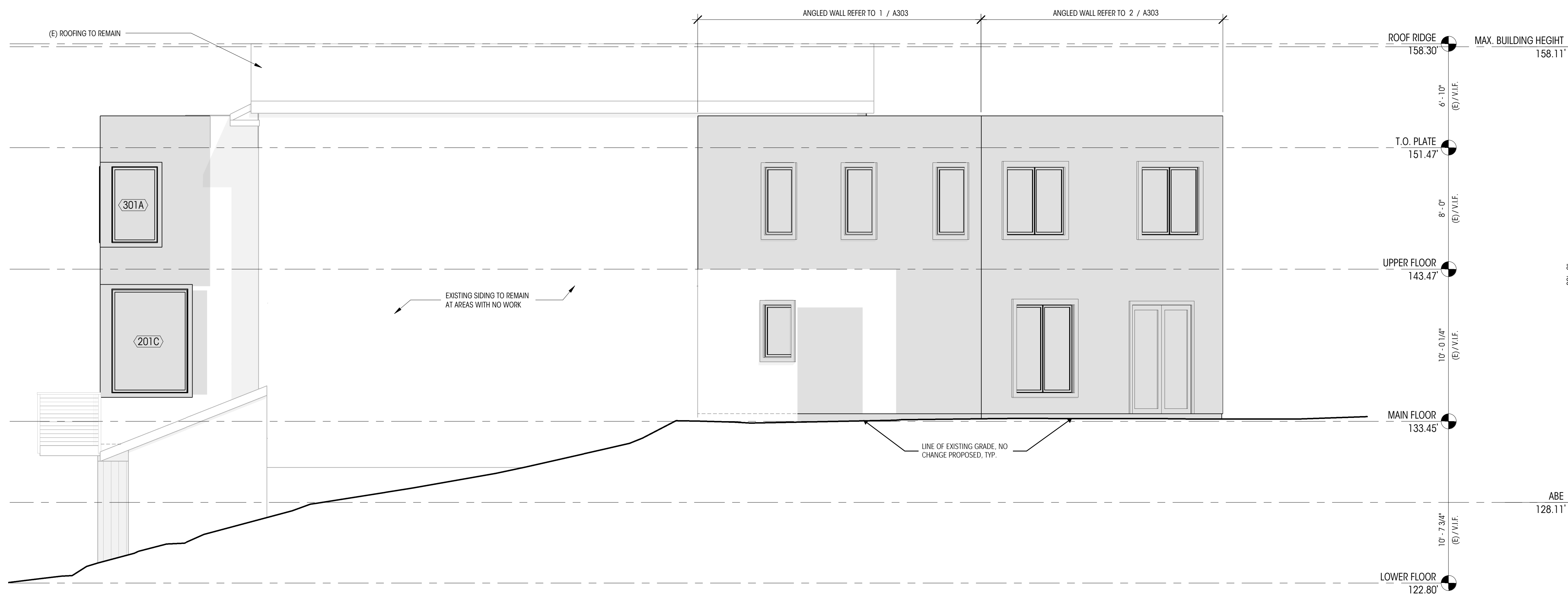
NO. DESCRIPTION DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

EXTERIOR
ELEVATIONS
(NORTH)

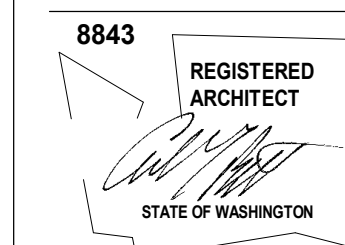
SCALE: 1/4" = 1'-0"

A302



1 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

LEGEND		NOTES	
	WINDOW ID		NEW CONSTRUCTION ELEMENT
	DOOR ID		EXISTING ELEMENT TO REMAIN
	GRIDLINE	<p>1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.</p> <p>2. ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.</p>	



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DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

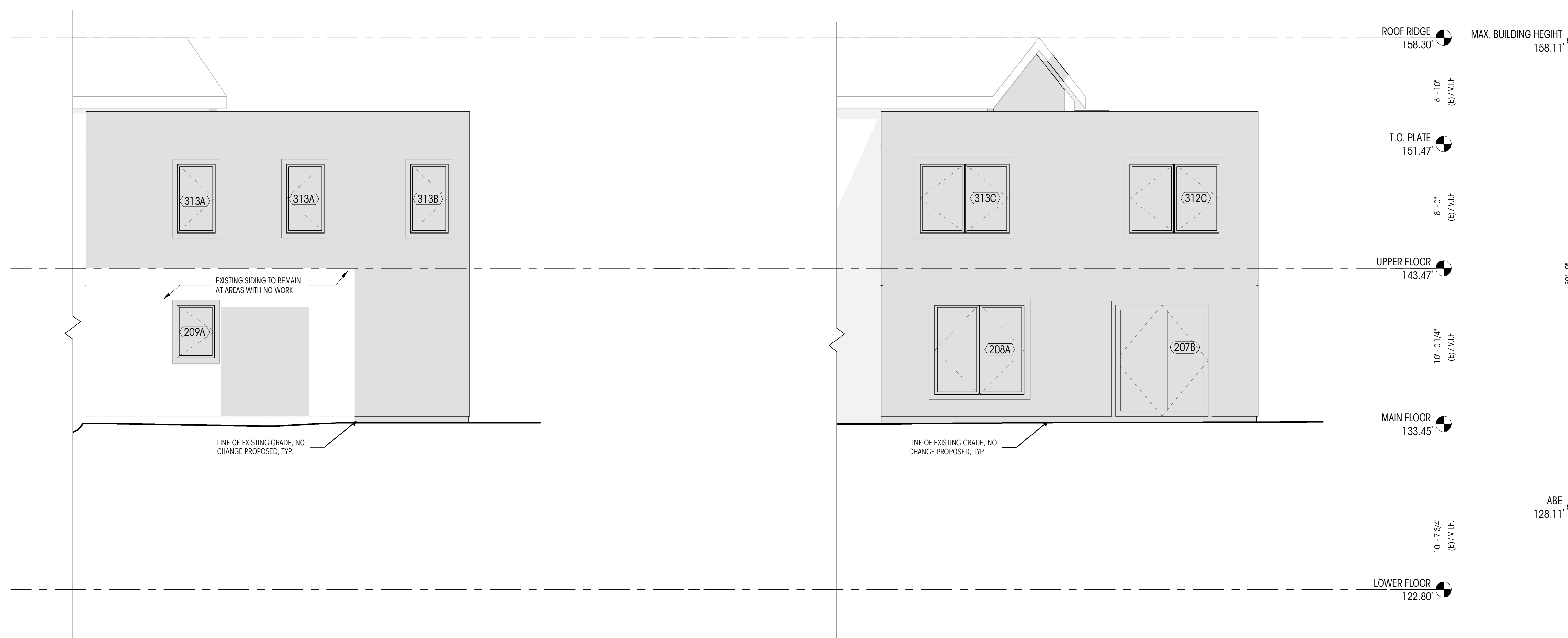
NO.	DESCRIPTION	DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

EXTERIOR
ELEVATIONS (NORTH
WEST)

SCALE: 1/4" = 1'-0"

A303



1 EXTERIOR ELEVATION - NORTHWEST
1/4" = 1'-0"

2 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"

LEGEND		NOTES	
200A	WINDOW ID		NEW CONSTRUCTION ELEMENT
100A	DOOR ID		EXISTING ELEMENT TO REMAIN
0	GRIDLINE		

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
2. ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.



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SHEET SIZE: D (24X36)

REVISIONS

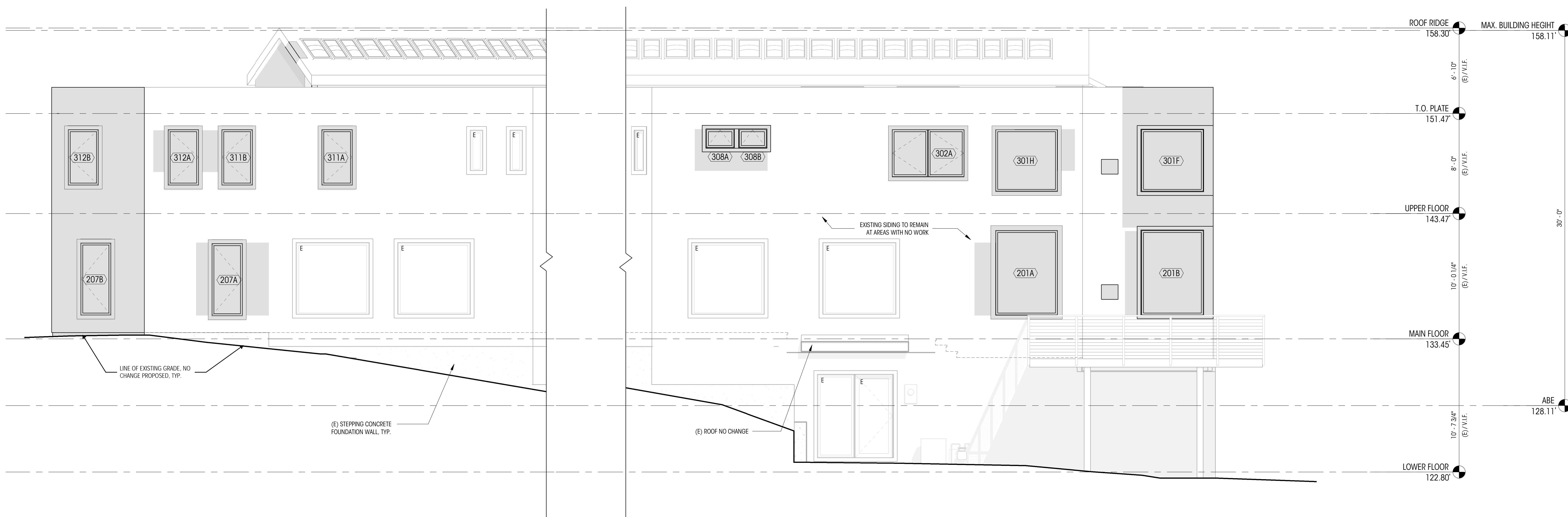
NO. DESCRIPTION DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

EXTERIOR
ELEVATIONS (SOUTH
& SOUTHEAST)

SCALE: 1/4" = 1'-0"

A304



1 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

2 EXTERIOR ELEVATION - SOUTHEAST
1/4" = 1'-0"

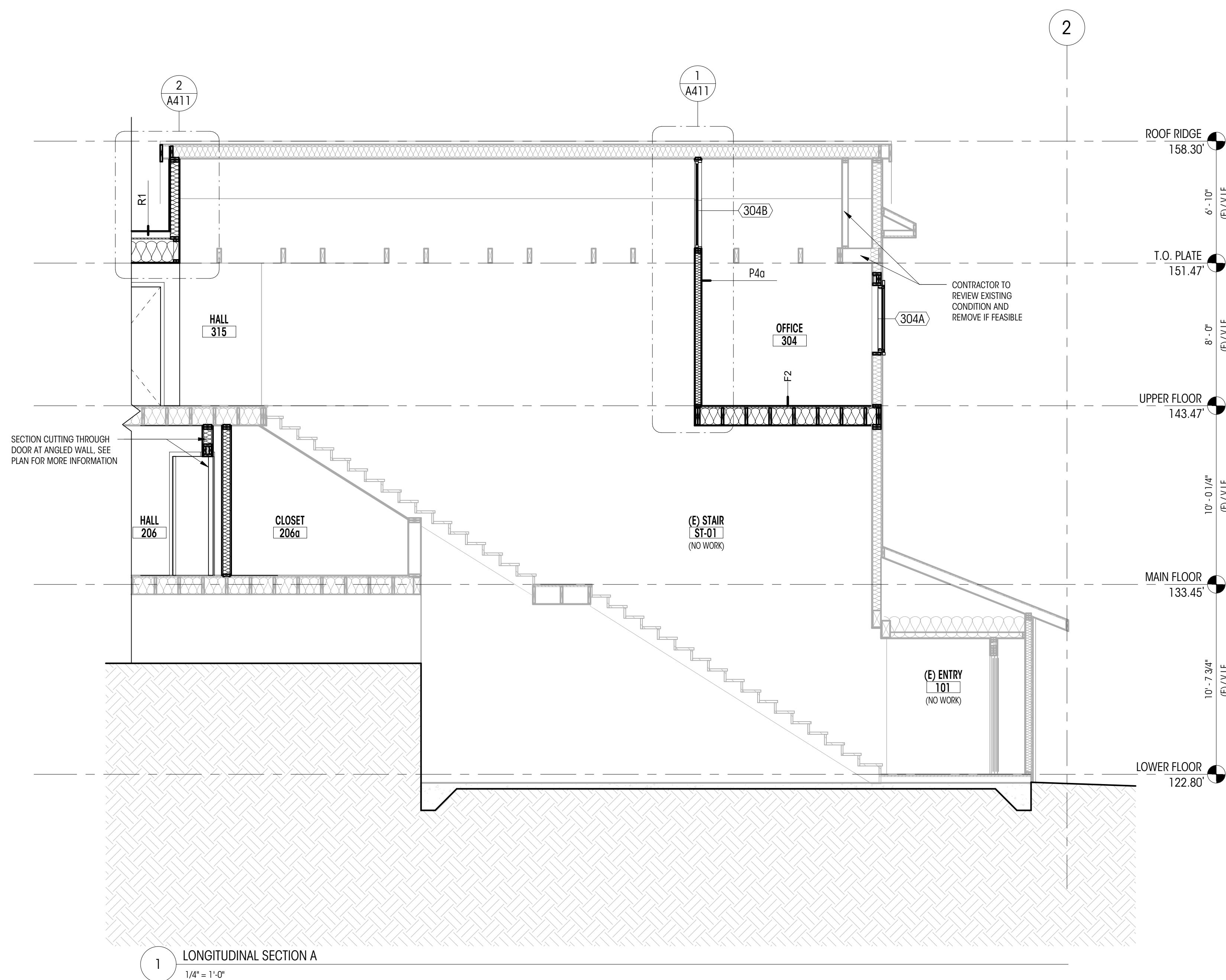
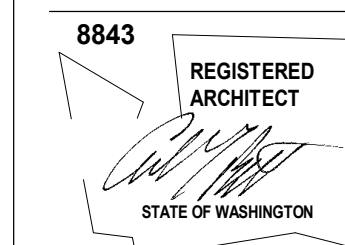
LEGEND

$\langle 200A \rangle$ WINDOW ID
 $\langle 100A \rangle$ DOOR ID
 0 GRIDLINE

NEW CONSTRUCTION ELEMENT
 EXISTING ELEMENT TO REMAIN

NOTES

- ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
- ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.



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REVISIONS

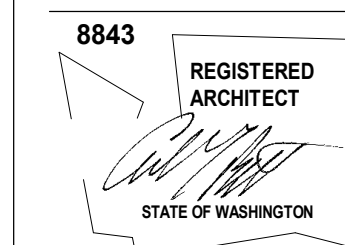
NO.	DESCRIPTION	DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

A401



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SHEET SIZE: D (24X36)

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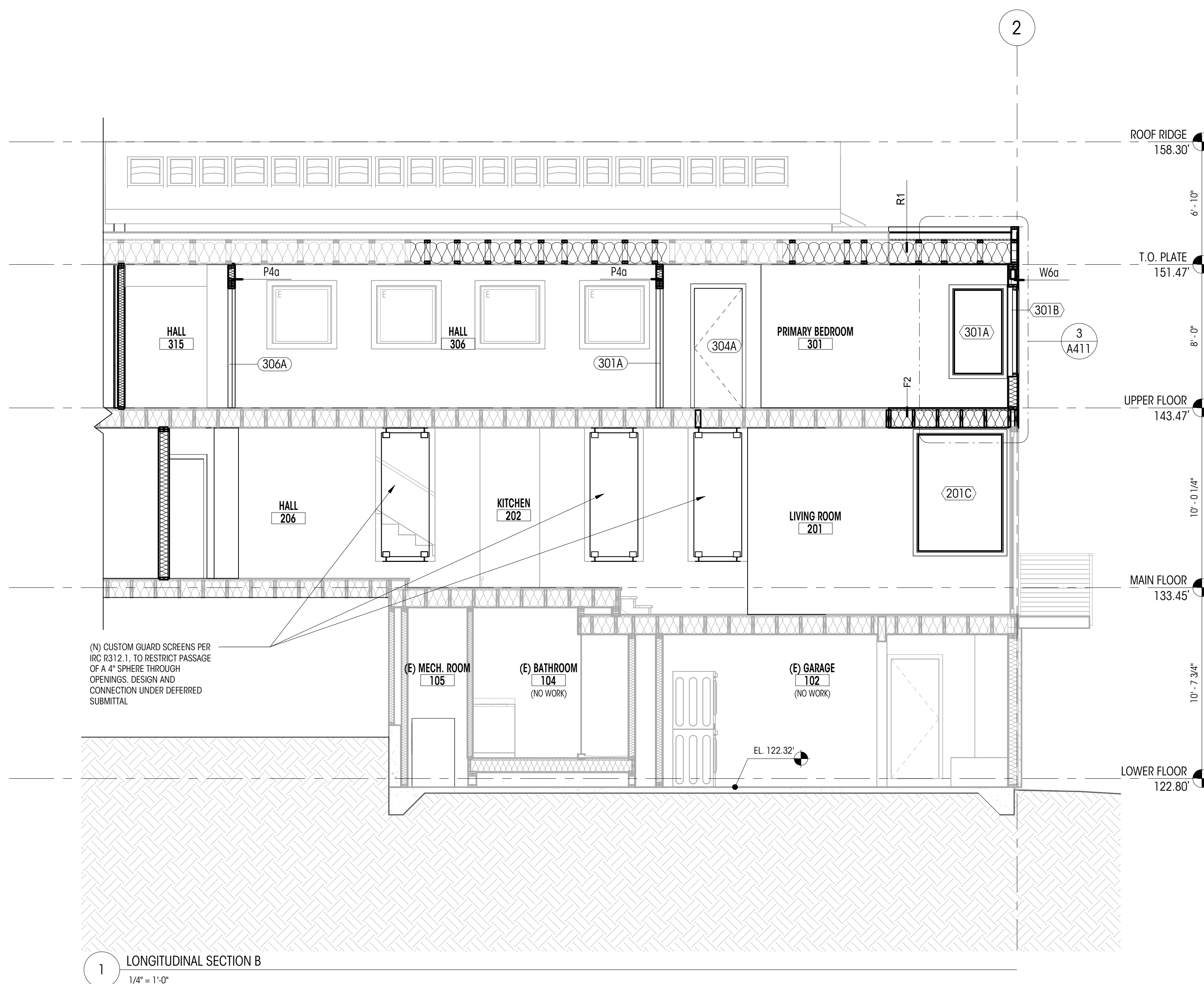
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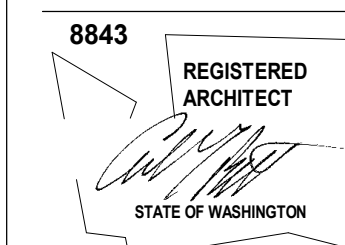
DRAWN BY: AJS & SHW
CHECKED BY: KM

BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

A402





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DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

NO. DESCRIPTION DATE

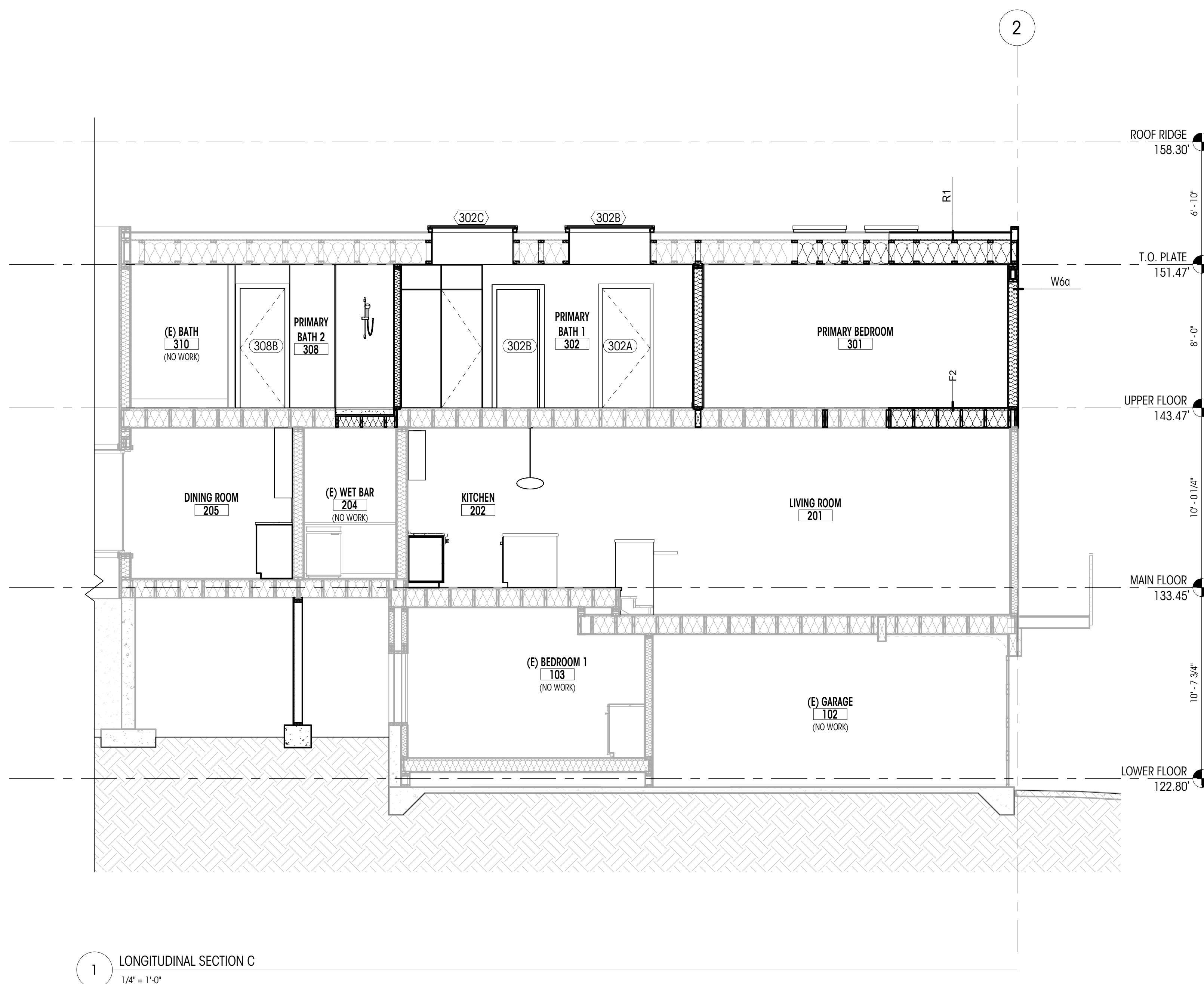
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CHECKED BY: KM

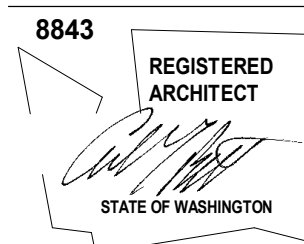
BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

A403



1 LONGITUDINAL SECTION C
1/4" = 1'-0"



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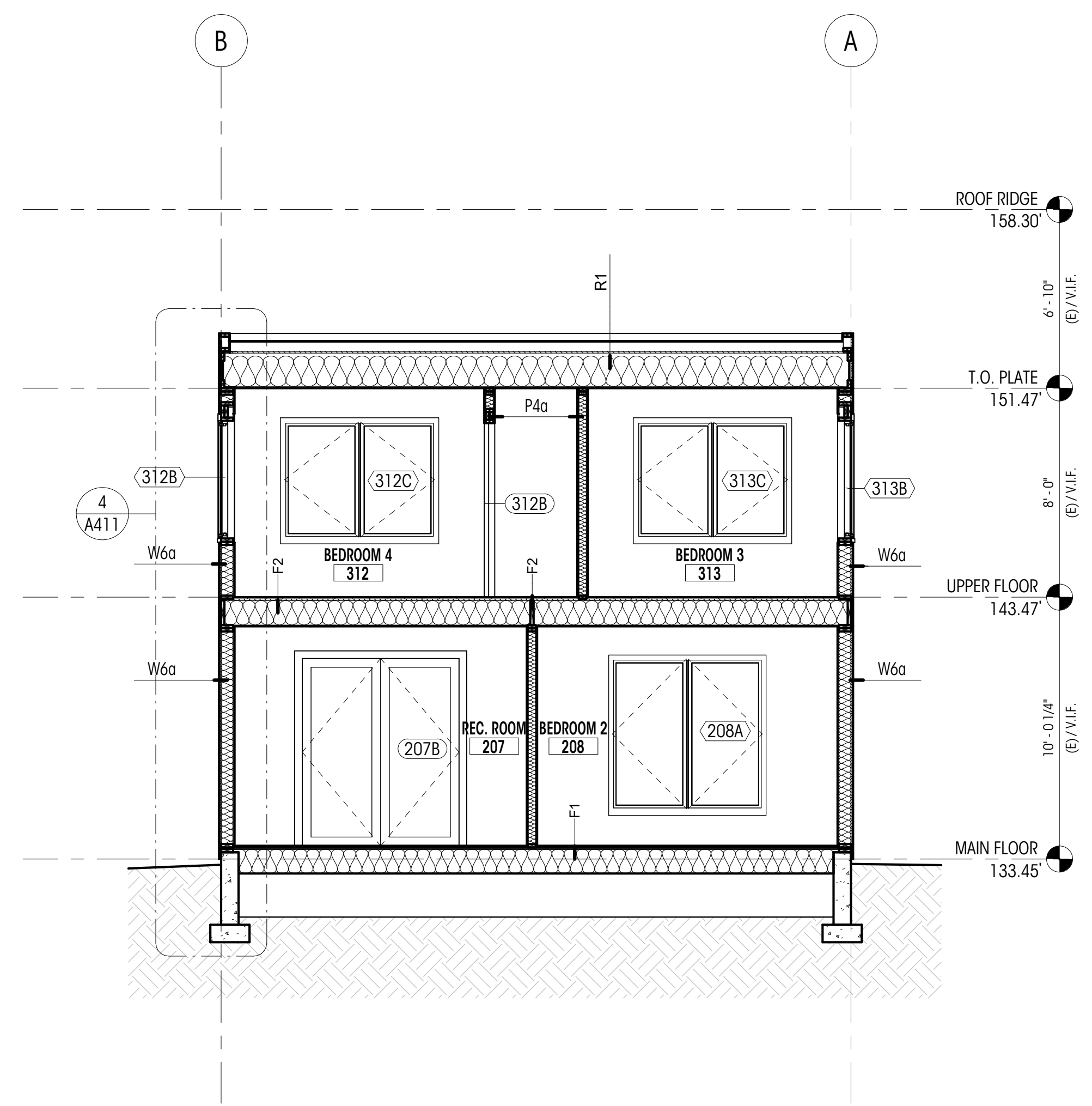
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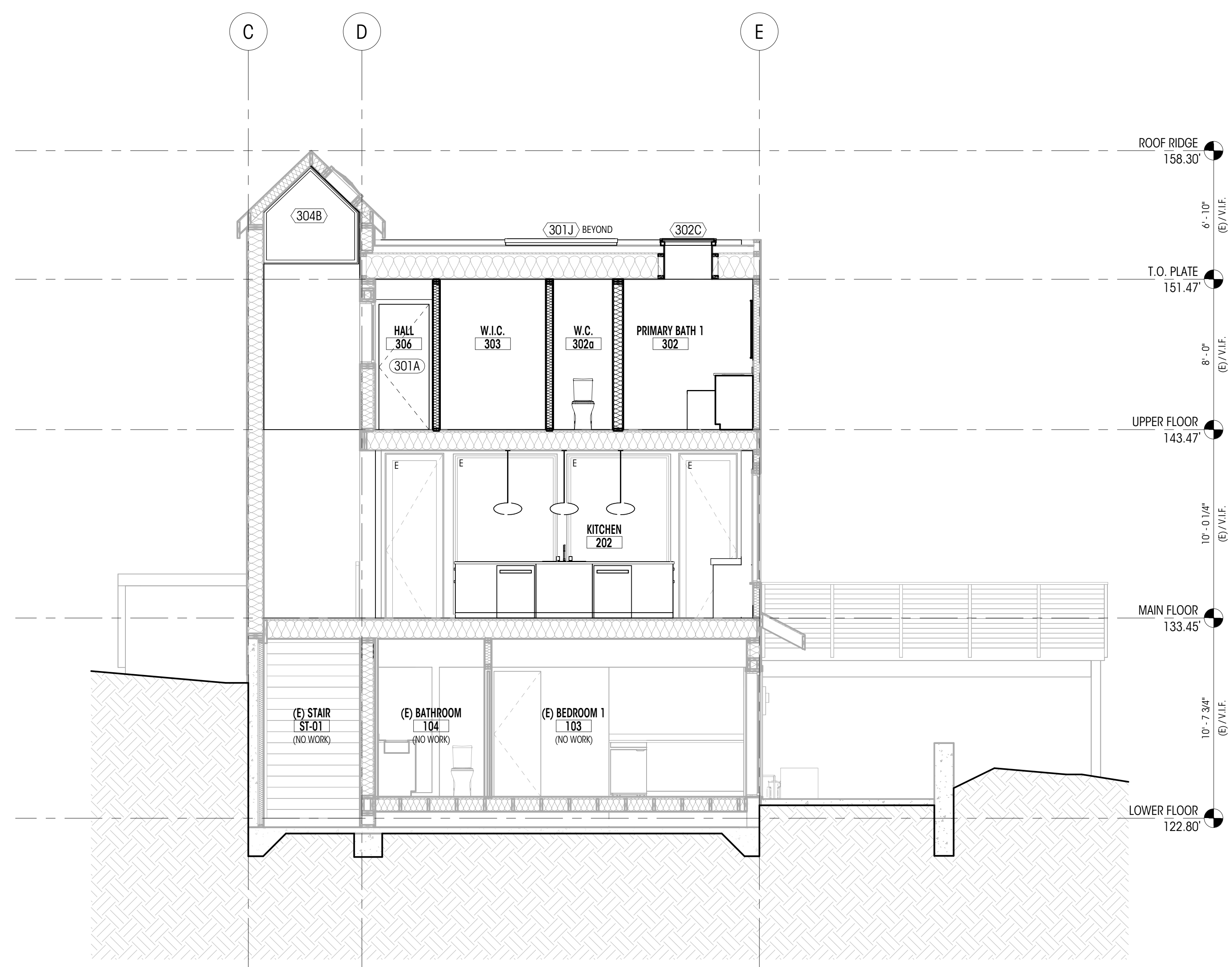
BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

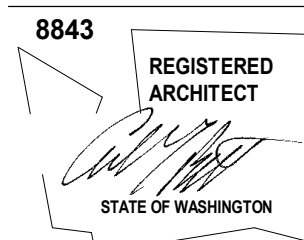
A404



2 TRANVERSE SECTION B
1/4" = 1'-0"



1 TRANVERSE SECTION A
1/4" = 1'-0"



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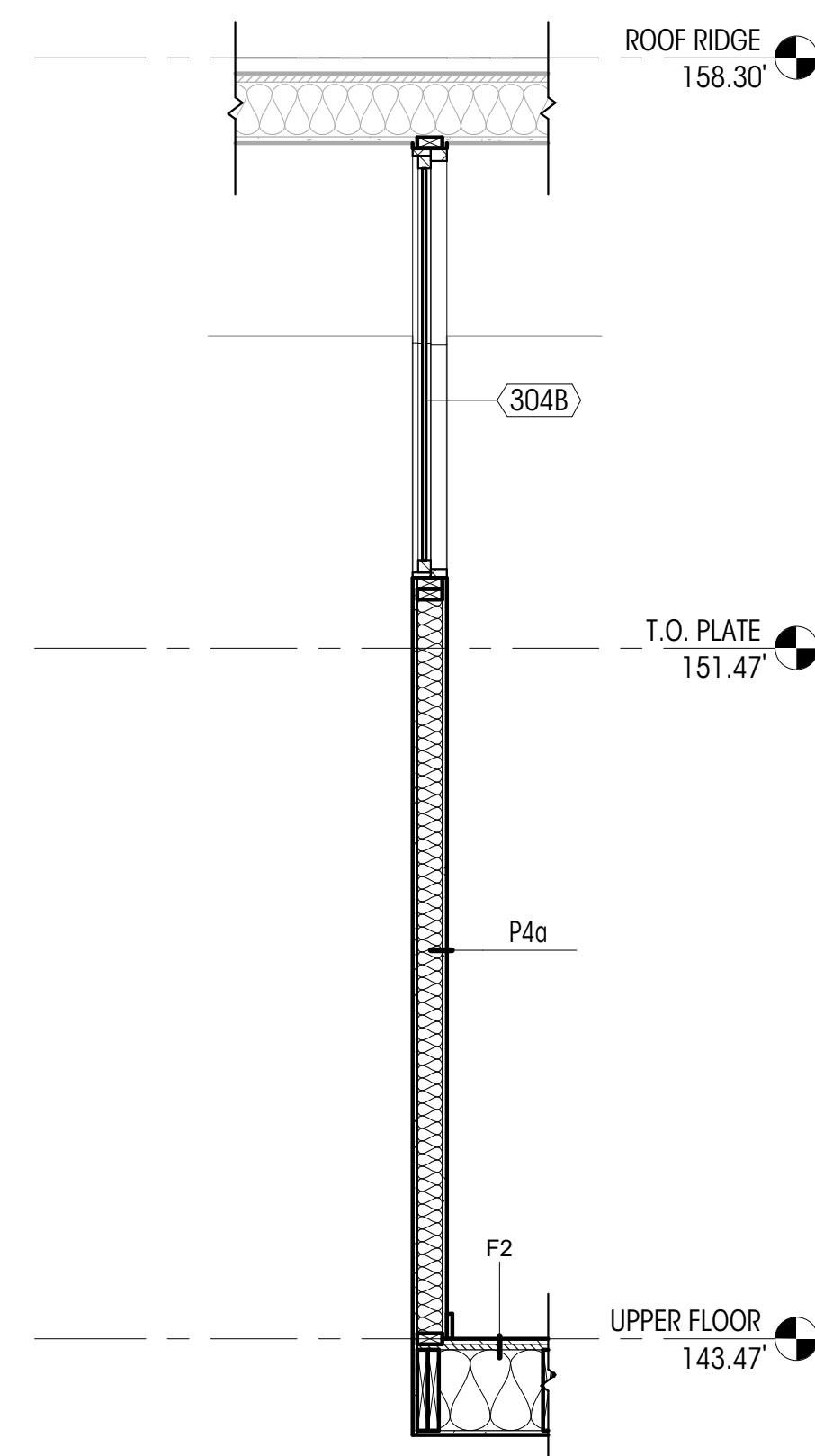
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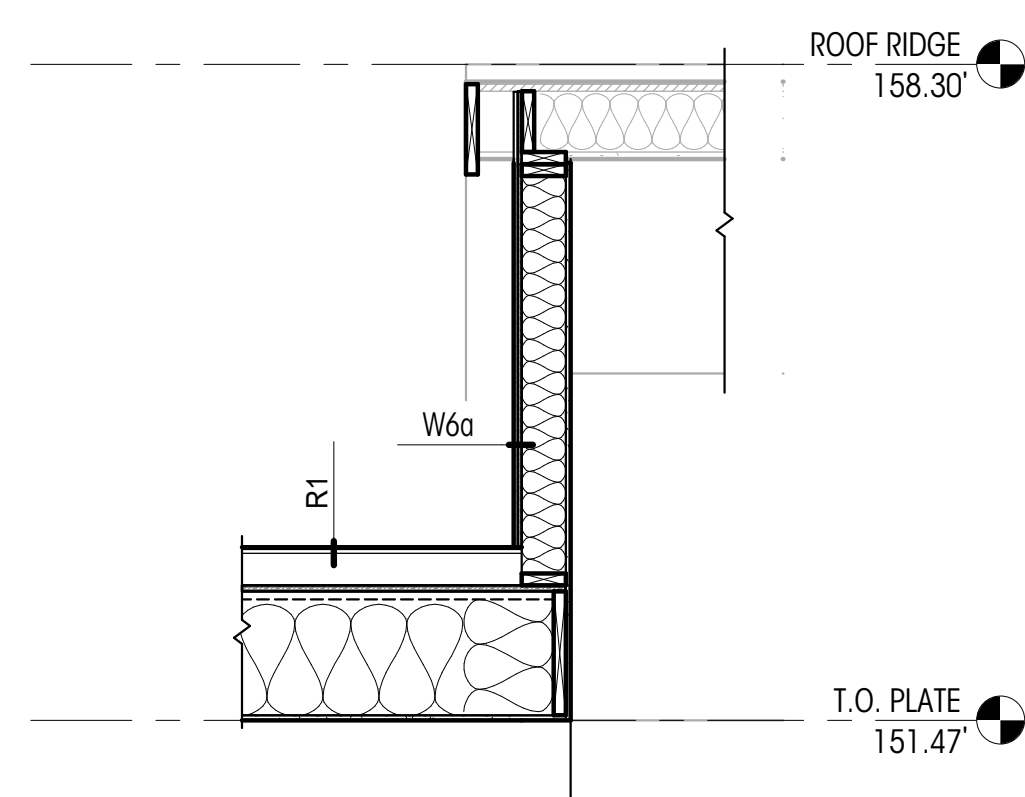
WALL SECTIONS

SCALE: 1/2" = 1'-0"

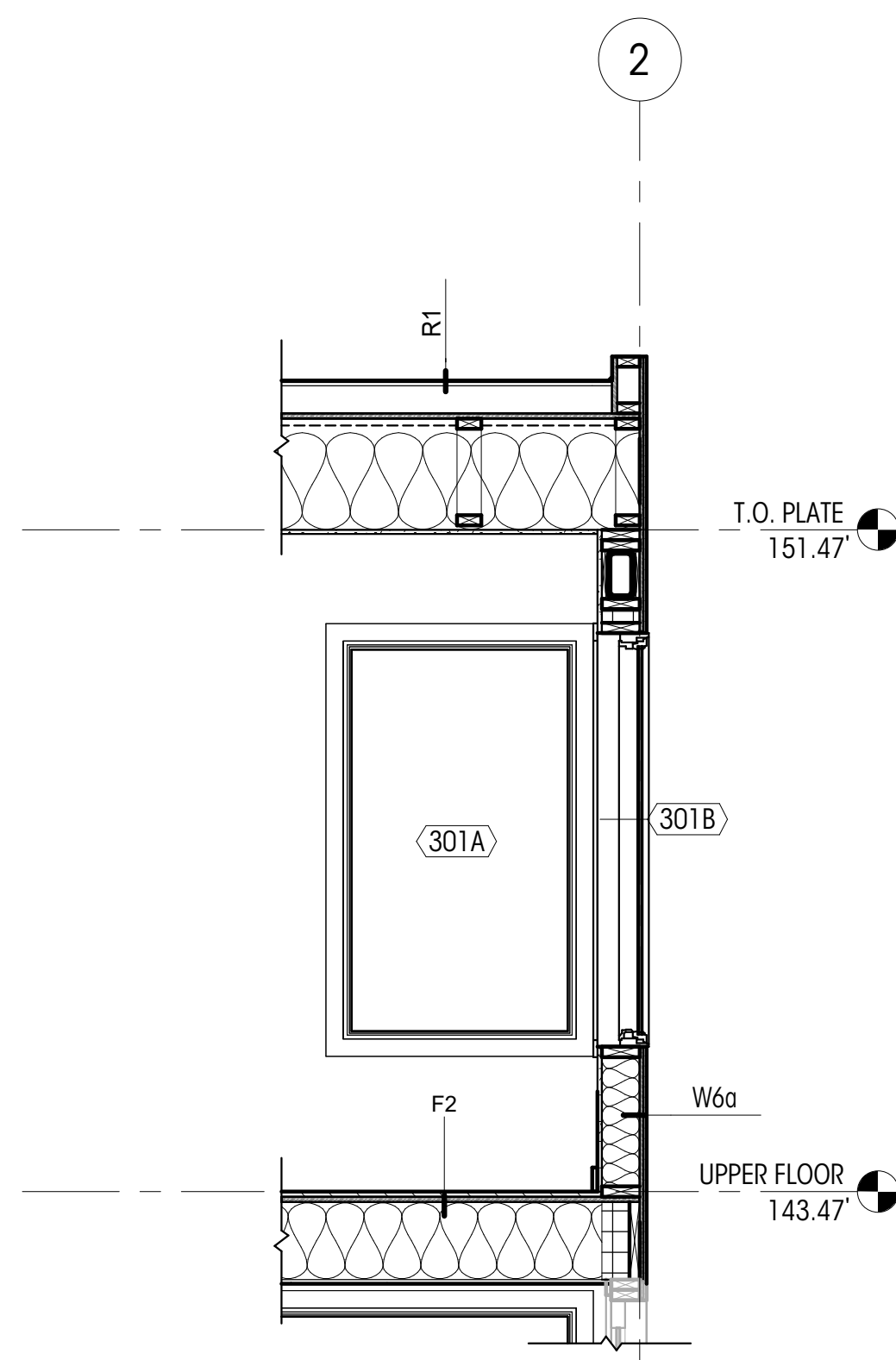
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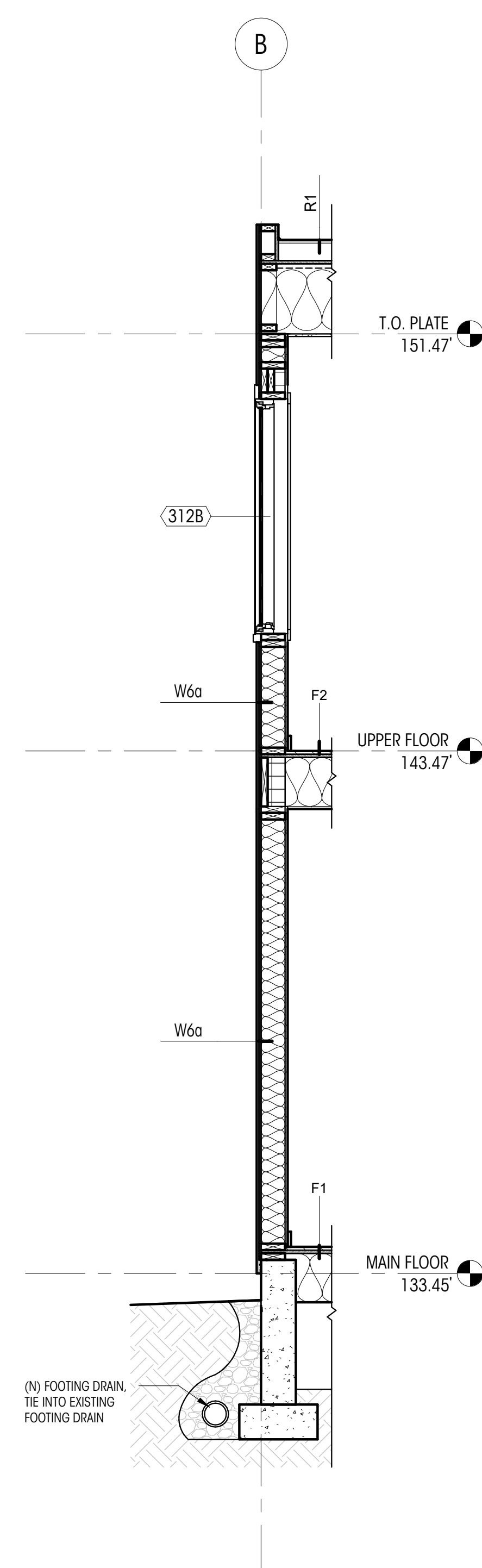
1 WALL SECTION D
1/2" = 1'-0"



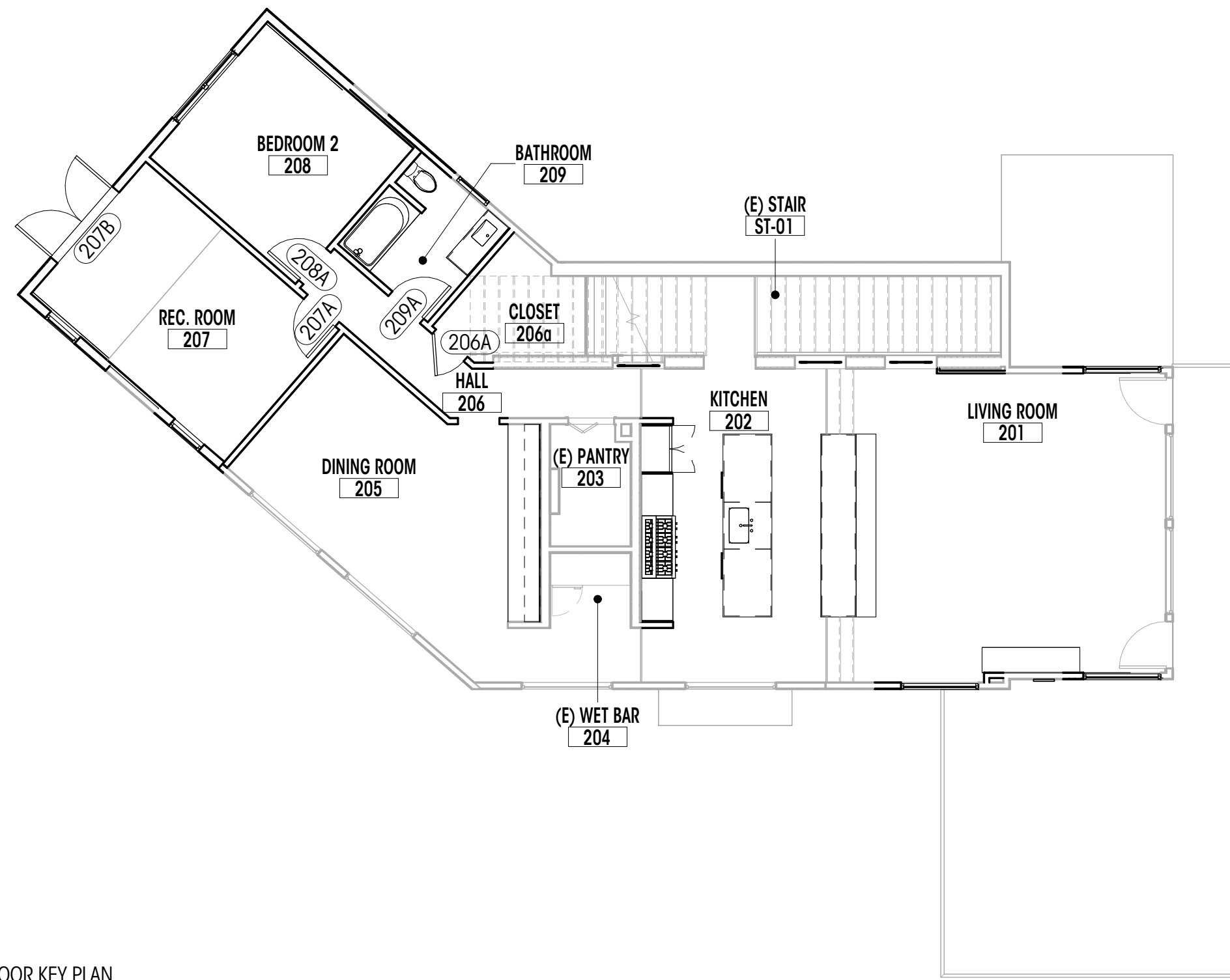
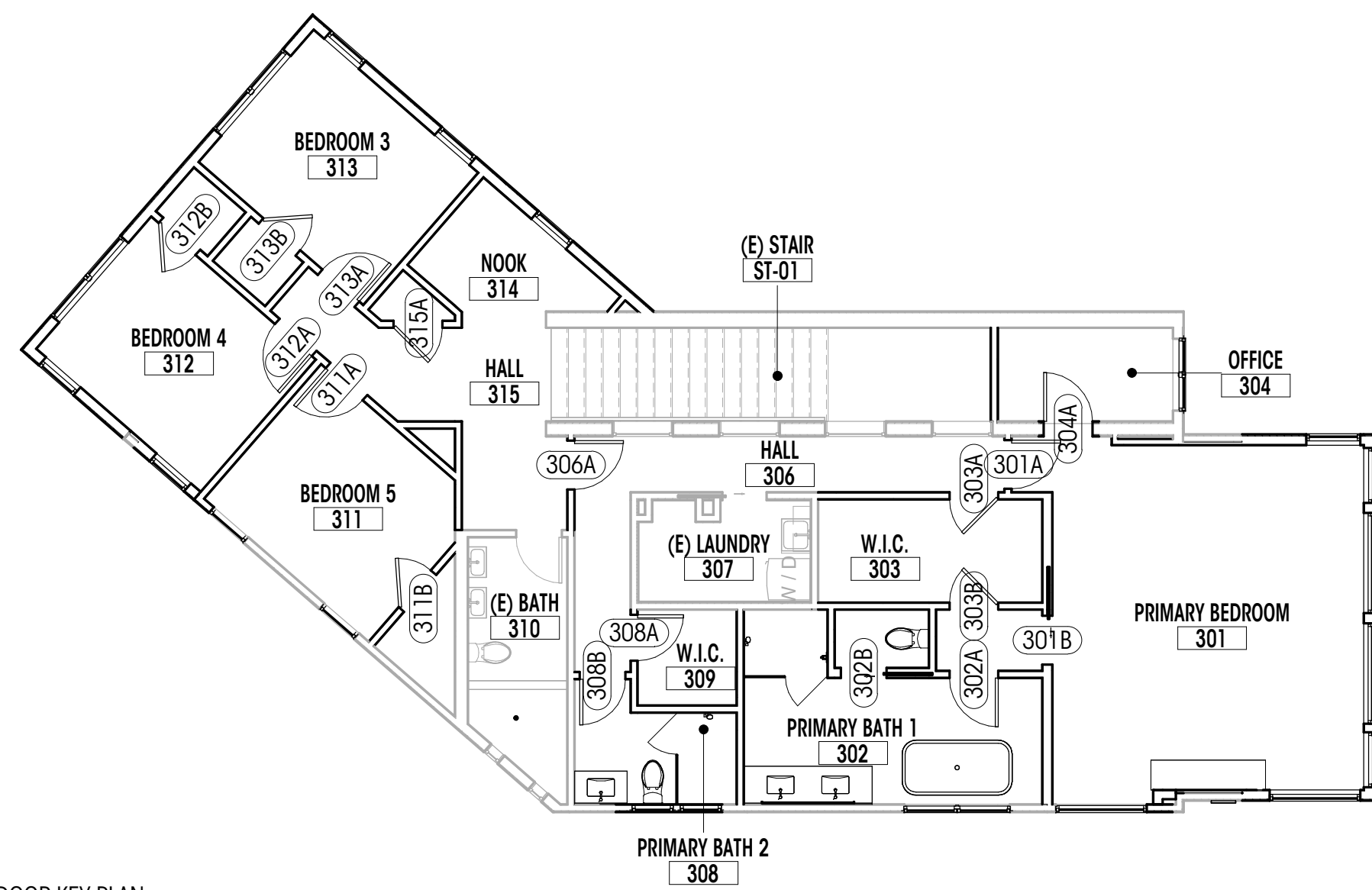
2 WALL SECTION E
1/2" = 1'-0"



3 WALL SECTION F
1/2" = 1'-0"



4 WALL SECTION G
1/2" = 1'-0"



DOOR SCHEDULE

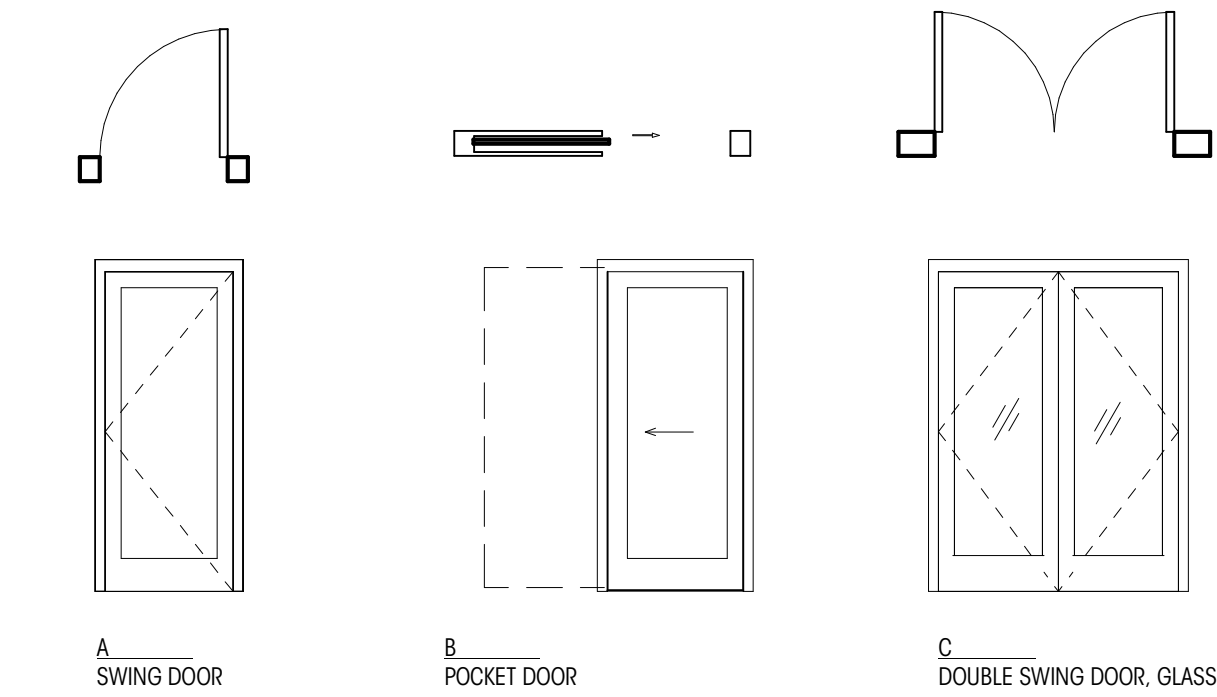
PLAN ID	ROOM NAME	TYPE	WIDTH (ft.)	HEIGHT (ft.)	AREA (sq. ft.)	U VALUE	UA	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	EGRESS	CLOSER	RATED	NOTES
206A	HALL	A	2'-8"	6'-8"	17.78 SF									
207A	REC. ROOM	A	2'-8"	6'-8"	17.78 SF									
207B	REC. ROOM	C	6'-0"	7'-2"	43.00 SF	0.3	12.90 SF							DOOR HEAD HEIGHT TO MATCH EXISTING DINING ROOM WINDOW HEAD HEIGHT
208A	BEDROOM 2	A	2'-8"	6'-8"	17.78 SF									
209A	BATHROOM	A	2'-8"	6'-8"	17.78 SF									
301A	PRIMARY BEDROOM	A	2'-8"	6'-8"	17.78 SF									
301B	PRIMARY BEDROOM	B	2'-8"	6'-8"	17.78 SF									
302A	PRIMARY BATH 1	A	2'-8"	6'-8"	17.78 SF									
302B	PRIMARY BATH 1	B	2'-6"	6'-8"	16.67 SF									
303A	W.I.C.	A	2'-8"	6'-8"	17.78 SF									
303B	W.I.C.	A	2'-8"	6'-8"	17.78 SF									
304A	OFFICE	A	2'-8"	6'-8"	17.78 SF									
306A	HALL	A	2'-8"	6'-8"	17.78 SF									
308A	W.I.C.	A	2'-6"	6'-8"	16.67 SF									
308B	PRIMARY BATH 2	A	2'-6"	6'-8"	16.67 SF									
311A	BEDROOM 5	A	2'-8"	6'-8"	17.78 SF									
311B	BEDROOM 5	A	2'-8"	6'-8"	17.78 SF									
312A	BEDROOM 4	A	2'-8"	6'-8"	17.78 SF									
312B	BEDROOM 4	A	2'-8"	6'-8"	17.78 SF									
313A	BEDROOM 3	A	2'-8"	6'-8"	17.78 SF									
313B	BEDROOM 3	A	2'-8"	6'-8"	17.78 SF									
313D	(E) BEDROOM 1	MMM	6'-11"	7'-0"	42.58 SF									
315A	HALL	A	2'-8"	6'-8"	17.78 SF									

GENERAL NOTES

- ALL NEW DOORS TO BE NFRC CERTIFIED
- ALL NEW VERTICAL FENESTRATION U-VALUE TO MEET ENERGY COMPLIANCE. SEE SHEET G001
- ALL DOORS TO BE SOLID-CORE WOOD VENEER SINGLE PANEL UNO
- ALL GLAZED DOORS TO RECEIVE TEMPERED / SAFETY GLAZING

SPECIFIC NOTES

1. FROSTED / OPAQUE GLAZING



Brandt

Design Group

66 Bell Street
Unit 1
Seattle, WA
98121

206.239.0850

brandtdesigninc.com

8843



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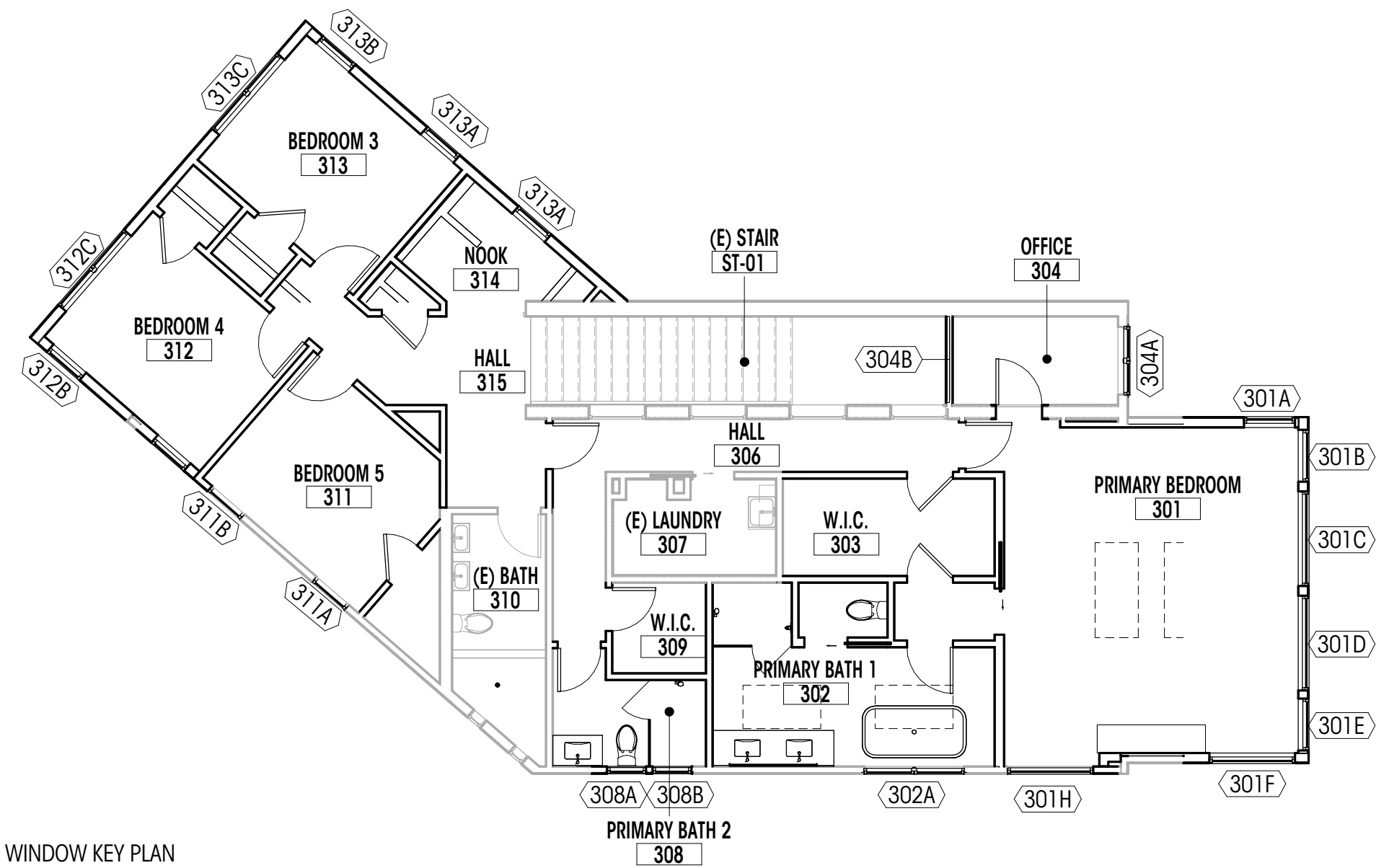
NO. DESCRIPTION DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

DOOR SCHEDULE,
LEGEND, & NOTES

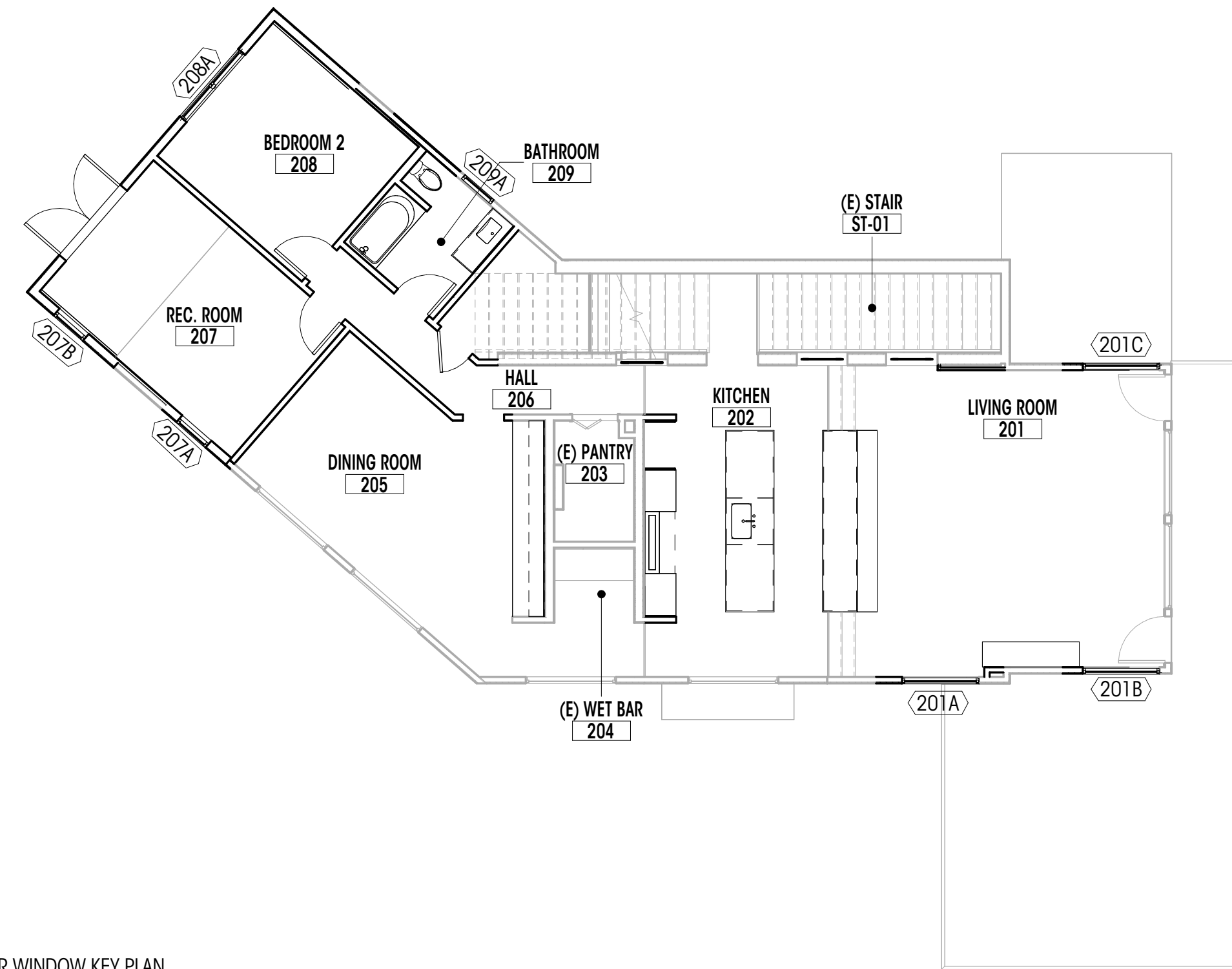
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A611



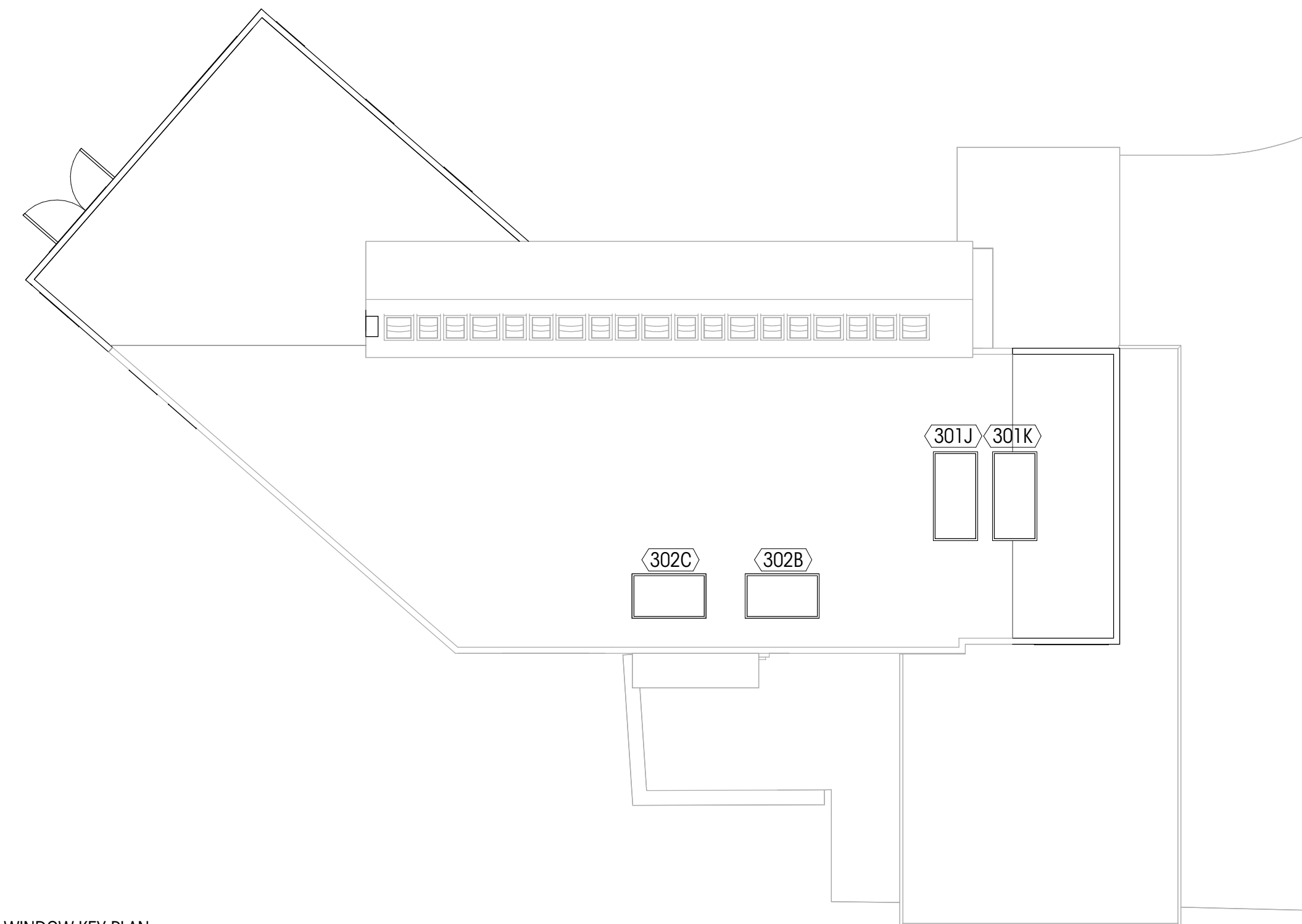
UPPER FLOOR WINDOW KEY PLAN

1/8" = 1'-0"



MAIN FLOOR WINDOW KEY PLAN

1/8" = 1'-0"



ROOF PLAN WINDOW KEY PLAN

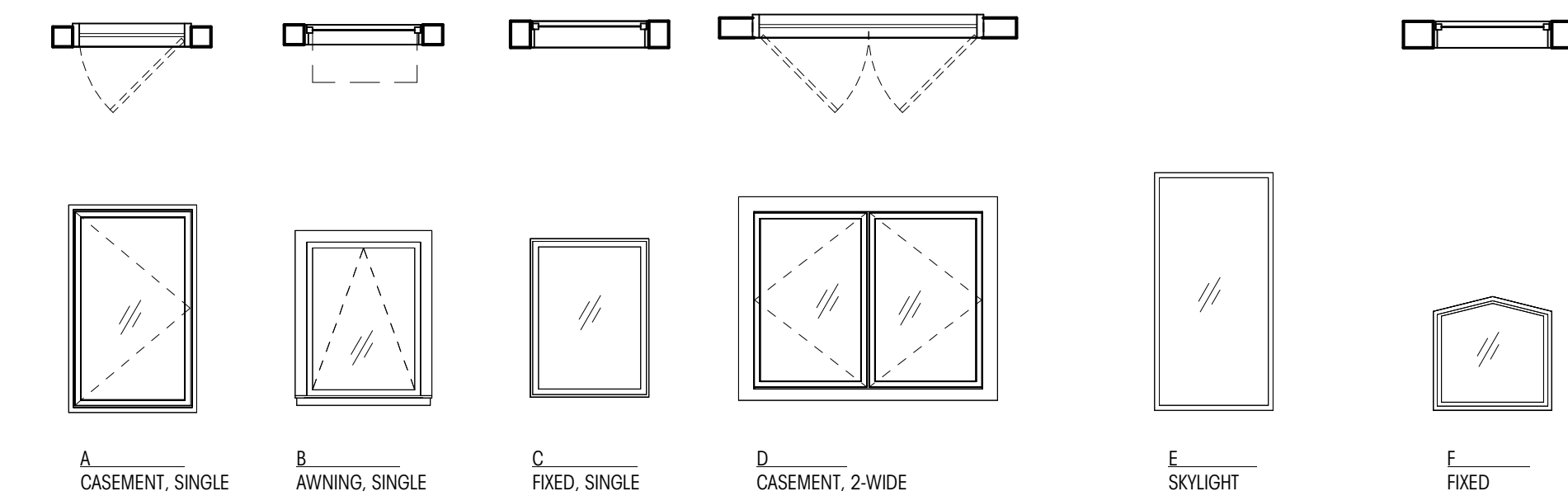
1/8" = 1'-0"

WINDOW SCHEDULE

PLAN ID	ROOM NAME	TYPE	WIDTH (ft)	HEIGHT (ft)	HEAD HT	UNIT AREA (sf)	U VALUE	UA	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	SAFETY GLAZING	EGRESS	NOTES
201A	LIVING ROOM	C	5'-0"	6'-10"	8'-8 1/2"	34.17 SF	0.3	10.25 SF						
201B	LIVING ROOM	C	5'-0"	6'-10"	8'-8 1/2"	34.17 SF	0.3	10.25 SF						
201C	LIVING ROOM	C	5'-0"	6'-10"	8'-8 1/2"	34.17 SF	0.3	10.25 SF						
207A	REC. ROOM	A	2'-6"	5'-10"	7'-7 15/16"	14.58 SF	0.3	4.38 SF						
207B	REC. ROOM	A	2'-6"	5'-10"	7'-8 1/2"	14.58 SF	0.3	4.38 SF						
208A	BEDROOM 2	D	5'-10"	5'-10"	7'-8 1/2"	34.03 SF	0.3	10.21 SF						
209A	BATHROOM	A	2'-6"	3'-6"	7'-8 1/2"	8.75 SF	0.3	2.63 SF						
301A	PRIMARY BEDROOM	C	3'-0"	5'-0"	6'-9"	15.00 SF	0.3	4.50 SF						
301B	PRIMARY BEDROOM	A	3'-0"	5'-0"	6'-9"	15.00 SF	0.3	4.50 SF						
301C	PRIMARY BEDROOM	C	5'-6 1/4"	5'-0"	6'-9"	27.60 SF	0.3	8.28 SF						
301D	PRIMARY BEDROOM	C	5'-6 1/4"	5'-0"	6'-9"	27.60 SF	0.3	8.28 SF						
301E	PRIMARY BEDROOM	A	3'-0"	5'-0"	6'-9"	15.00 SF	0.3	4.50 SF						
301F	PRIMARY BEDROOM	C	5'-0"	5'-0"	6'-9"	25.00 SF	0.3	7.50 SF						
301H	PRIMARY BEDROOM	C	5'-0"	5'-0"	6'-9"	25.00 SF	0.3	7.50 SF						
301J	PRIMARY BEDROOM	E	3'-0"	6'-0"		18.00 SF	0.5	9.00 SF						
301K	PRIMARY BEDROOM	E	3'-0"	6'-0"		18.00 SF	0.5	9.00 SF						
302A	PRIMARY BATH 1	D	5'-10"	3'-10"	6'-9"	22.36 SF	0.3	6.71 SF						
302B	PRIMARY BATH 1	E	3'-0"	5'-0"		15.00 SF	0.5	7.50 SF						
302C	PRIMARY BATH 1	E	3'-0"	5'-0"		15.00 SF	0.5	7.50 SF						
304A	OFFICE	D	4'-0"	3'-9"	6'-9"	15.00 SF	0.3	4.50 SF						
304B	OFFICE	F	5'-1 1/4"	2'-9"	11'-6 3/4"	14.04 SF								INTERIOR WINDOW TO MATCH EXISTING
308A	PRIMARY BATH 2	B	2'-3"	1'-6"	6'-9"	3.38 SF	0.3	1.01 SF						
308B	PRIMARY BATH 2	B	2'-3"	1'-6"	6'-9"	3.38 SF	0.3	1.01 SF						
311A	BEDROOM 5	A	2'-6"	4'-6"	6'-9"	11.25 SF	0.3	3.38 SF						
311B	BEDROOM 5	A	2'-6"	4'-6"	6'-9"	11.25 SF	0.3	3.38 SF						
312A	BEDROOM 4	A	2'-6"	4'-6"	6'-9"	11.25 SF	0.3	3.38 SF						
312B	BEDROOM 4	A	2'-6"	4'-6"	6'-9"	11.25 SF	0.3	3.38 SF						
312C	BEDROOM 4	D	5'-10"	4'-6"	6'-9"	26.25 SF	0.3	7.88 SF						
313A	BEDROOM 3	A	2'-6"	4'-6"	6'-9"	11.25 SF	0.3	3.38 SF						
313A	NOOK	A	2'-6"	4'-6"	6'-9"	11.25 SF	0.3	3.38 SF						
313B	BEDROOM 3	A	2'-6"	4'-6"	6'-9"	11.25 SF	0.3	3.38 SF						
313C	BEDROOM 3	D	5'-10"	4'-6"	6'-9"	26.25 SF	0.3	7.88 SF						

GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE FINISHED DIMENSIONS, R.O. PER CONTRACTOR
- CONTRACTOR TO VERIFY ALL SIZES AND DIMENSIONS IN FIELD WITH OWNER BEFORE ORDERING
- ALL NEW WINDOWS TO BE NFRC CERTIFIED
- REFER TO PLANS AND ELEVATIONS FOR TAGS, LOCATION AND OPERATION
- ALL ELEVATIONS ARE FROM THE EXTERIOR
- ALL NEW VERTICAL FENESTRATION U-VALUE TO MEET ENERGY COMPLIANCE, SEE SHEET G301
- PER IRC R310.2 ALL EGRESS OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SF. NET CLEAR HEIGHT OPENING SHALL NOT BE LESS THAN 24" AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20". THE WINDOW SILL SHALL HAVE HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR
- PER IRC R308.4.3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL NEEDS TO BE TEMPERED GLASS / SAFETY GLAZING IN THE FOLLOWING HAZARDOUS LOCATIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SF.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE THE FLOOR, AND
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36". MEASURE HORIZONTALLY IN A STRAIGHT LINE OF THE GLAZING.



ARCH - WINDOW TYPES

1/4" = 1'-0"

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PERMIT SET

DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

NO. DESCRIPTION DATE

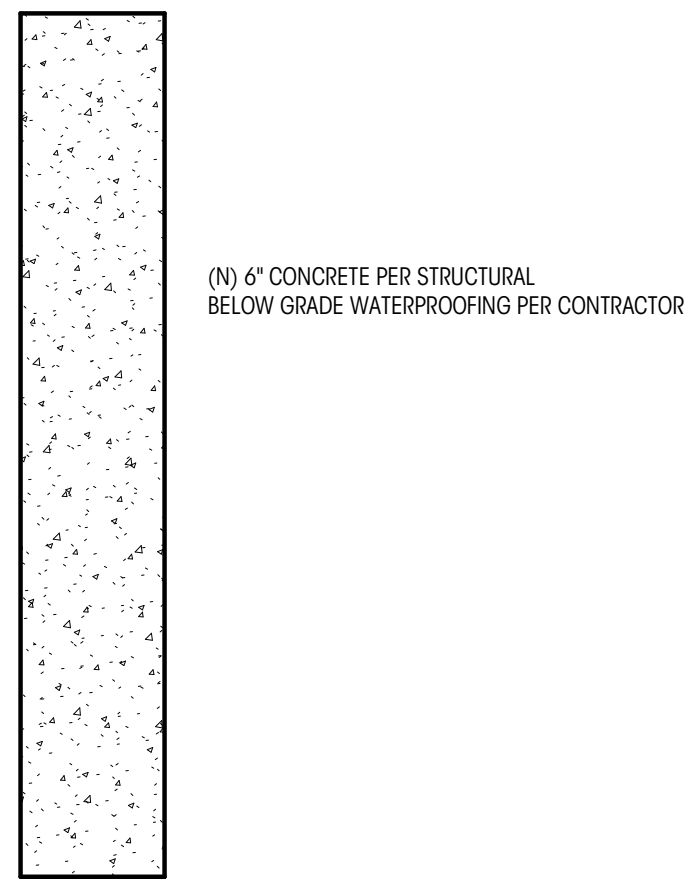
DRAWN BY: AJS & SHW
CHECKED BY: KM

WINDOW
SCHEDULE,
LEGEND, & NOTES

SCALE: As indicated

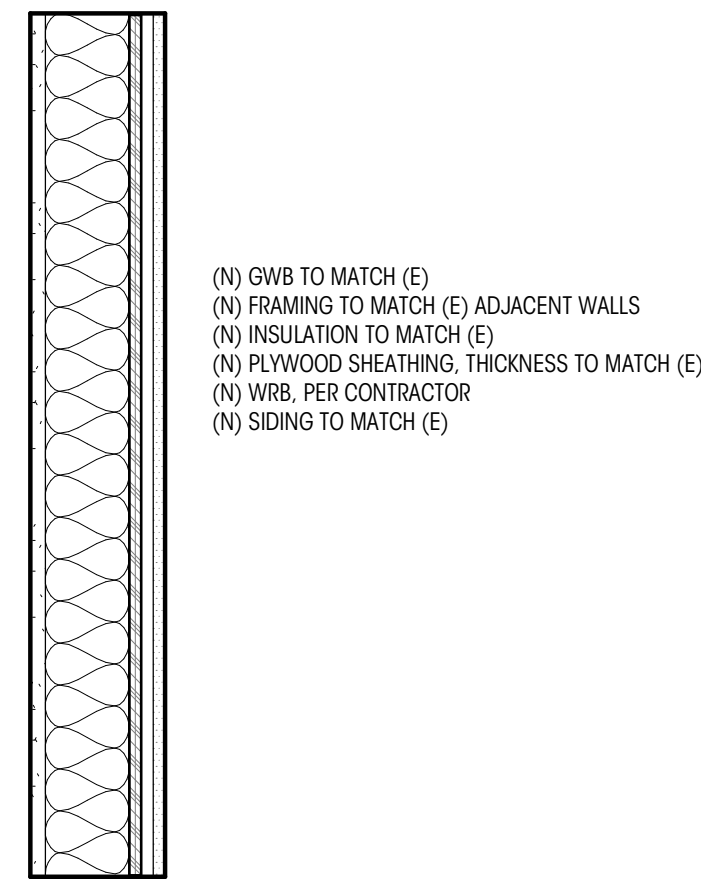
A612

VERTICAL ASSEMBLIES



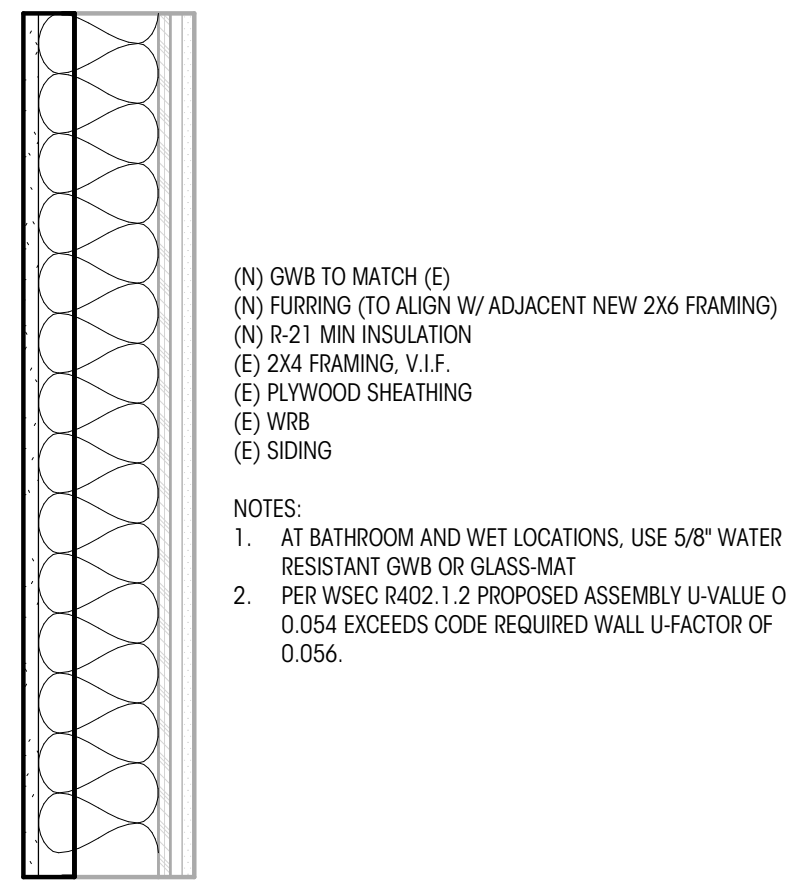
(N) 6" CONCRETE PER STRUCTURAL
BELOW GRADE WATERPROOFING PER CONTRACTOR

C6



(N) GWB TO MATCH (E)
(N) FURRING TO MATCH (E) ADJACENT WALLS
(N) INSULATION TO MATCH (E)
(N) PLYWOOD SHEATHING, THICKNESS TO MATCH (E)
(N) WRB, PER CONTRACTOR
(N) SIDING TO MATCH (E)

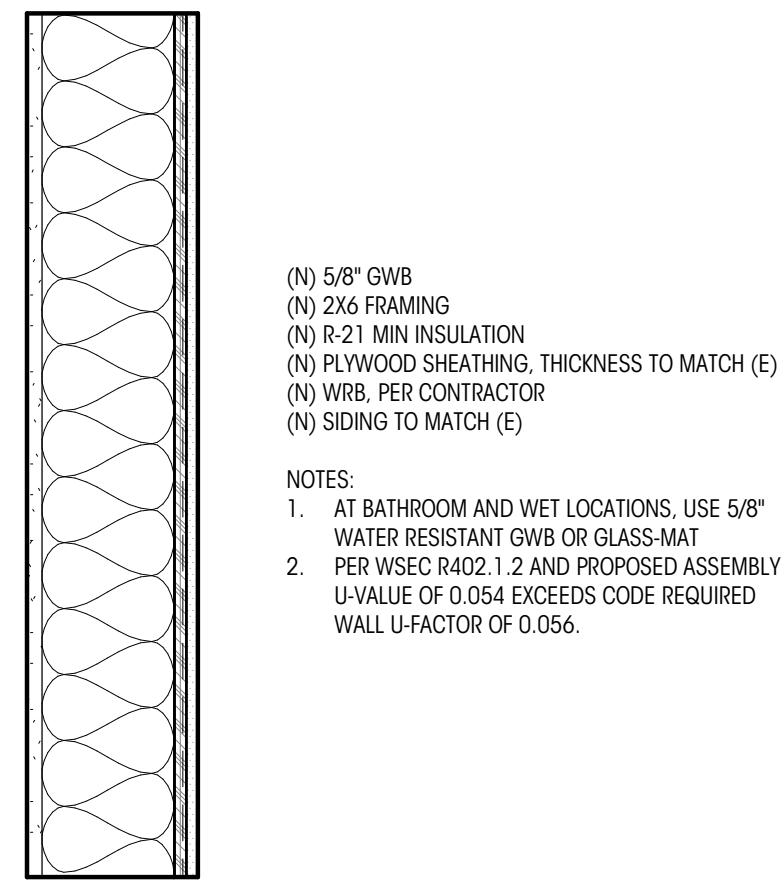
W4a (EXISTING INFILL WALL)



(N) GWB TO MATCH (E)
(N) FURRING (TO ALIGN W/ ADJACENT NEW 2X6 FRAMING)
(N) R-21 MIN INSULATION
(E) 2X4 FRAMING, V.I.F.
(E) PLYWOOD SHEATHING
(E) WRB
(E) SIDING

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT
2. PER WSEC R402.1.2 PROPOSED ASSEMBLY U-VALUE OF 0.054 EXCEEDS CODE REQUIRED WALL U-FACTOR OF 0.056.

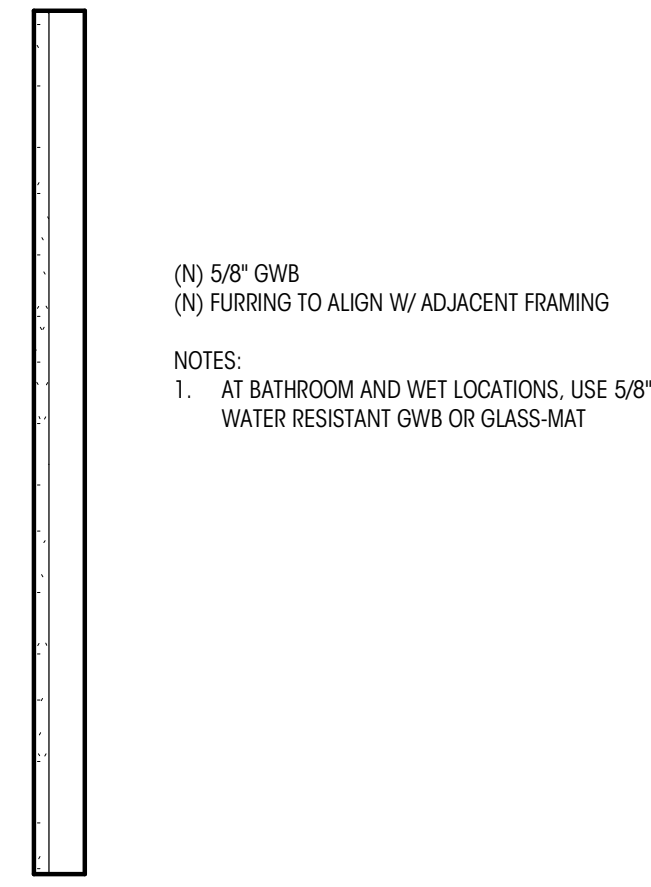
W4b



(N) 5/8" GWB
(N) 2X4 FRAMING
(N) R-21 MIN INSULATION
(N) PLYWOOD SHEATHING, THICKNESS TO MATCH (E)
(N) WRB, PER CONTRACTOR
(N) SIDING TO MATCH (E)

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT
2. PER WSEC R402.1.2 AND PROPOSED ASSEMBLY U-VALUE OF 0.054 EXCEEDS CODE REQUIRED WALL U-FACTOR OF 0.056.

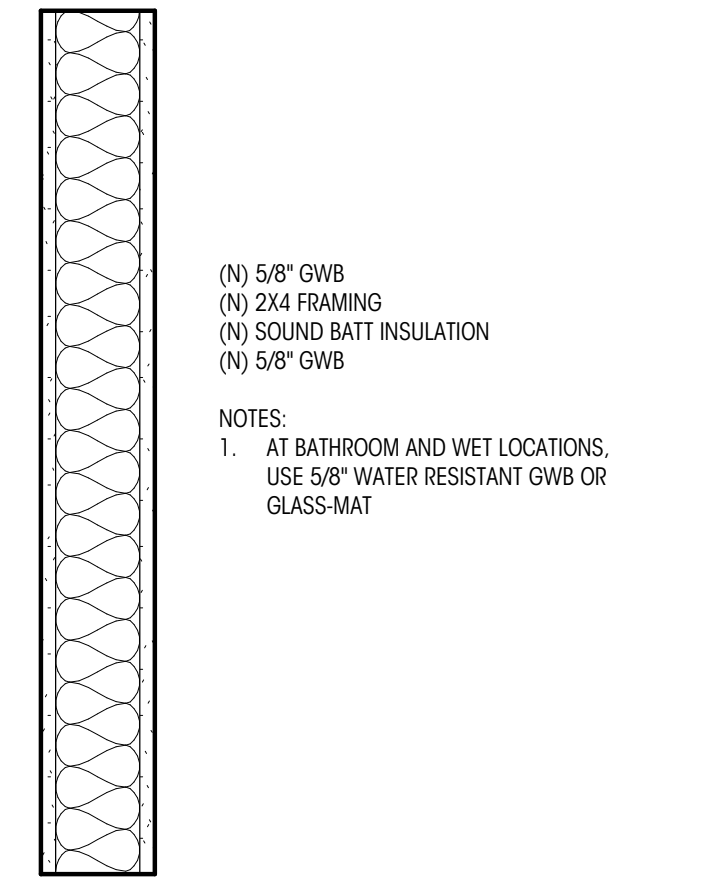
W6a



(N) 5/8" GWB
(N) FURRING TO ALIGN W/ ADJACENT FRAMING

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT

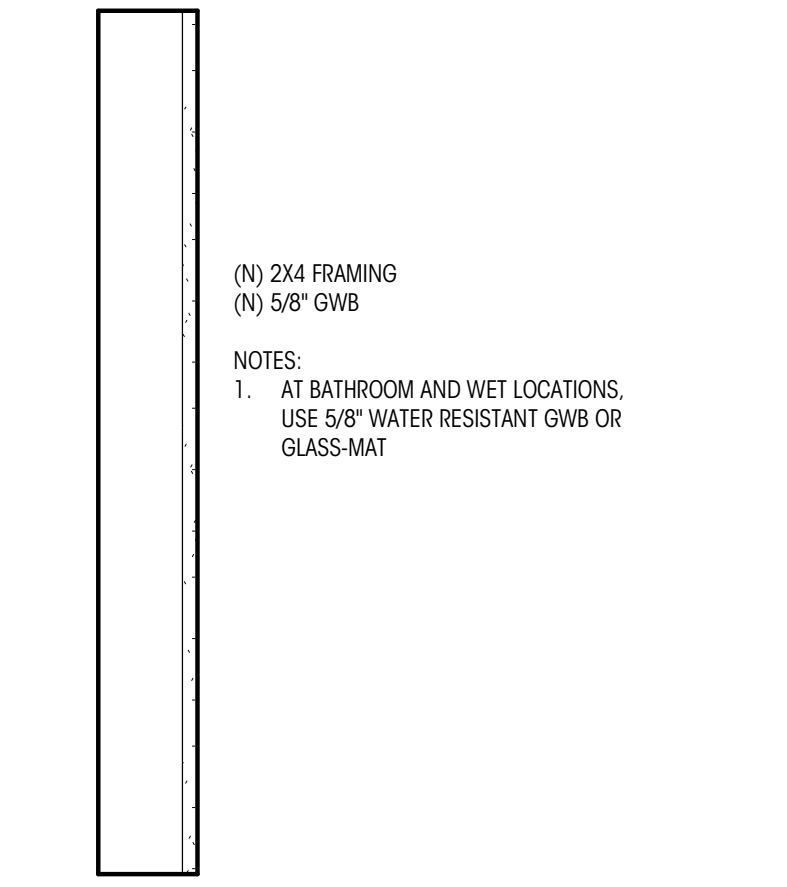
P2b



(N) 5/8" GWB
(N) 2X4 FRAMING
(N) SOUND BATT INSULATION
(N) 5/8" GWB

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT

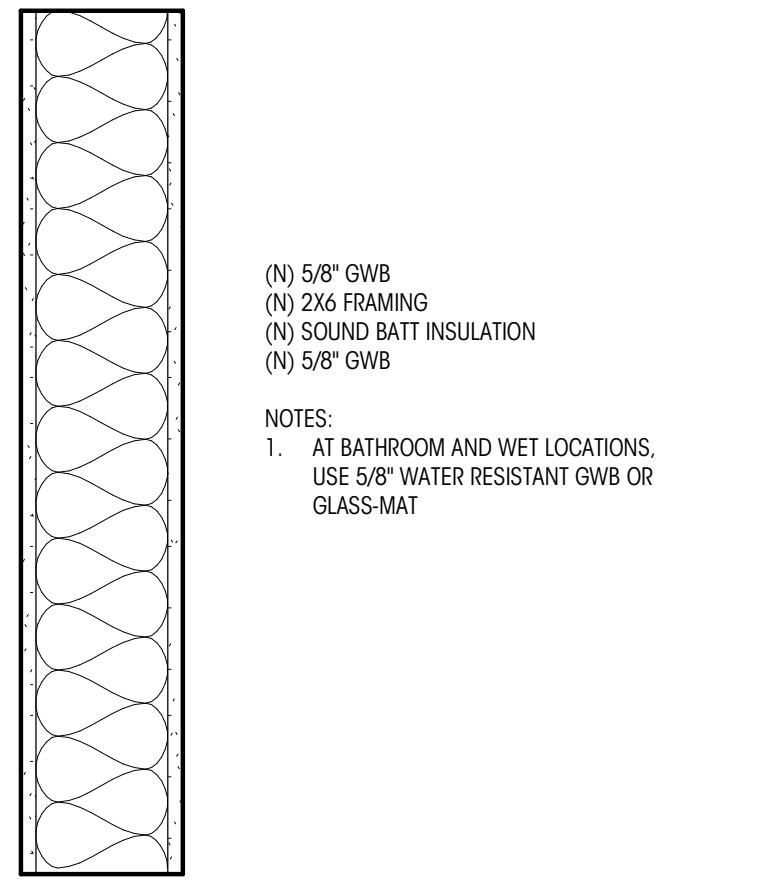
P4a



(N) 2X4 FRAMING
(N) 5/8" GWB

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT

P4b

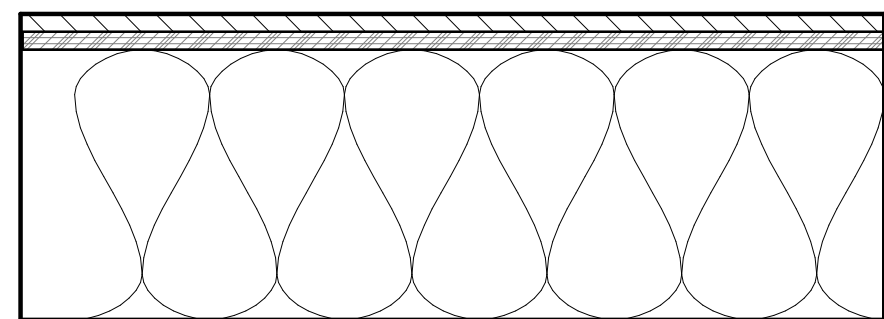


(N) 5/8" GWB
(N) 2X4 FRAMING
(N) SOUND BATT INSULATION
(N) 5/8" GWB

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT

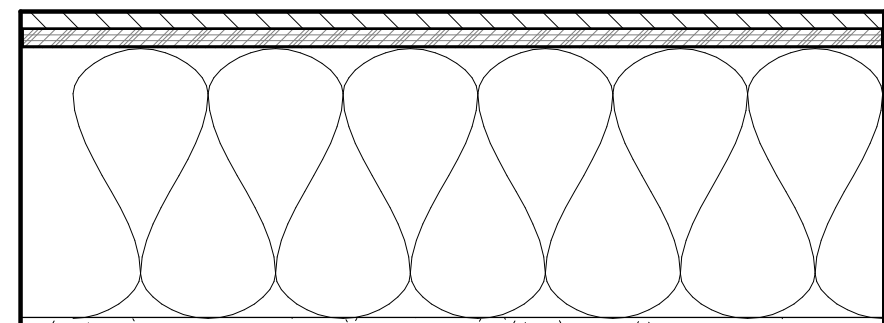
P6a

HORIZONTAL ASSEMBLIES



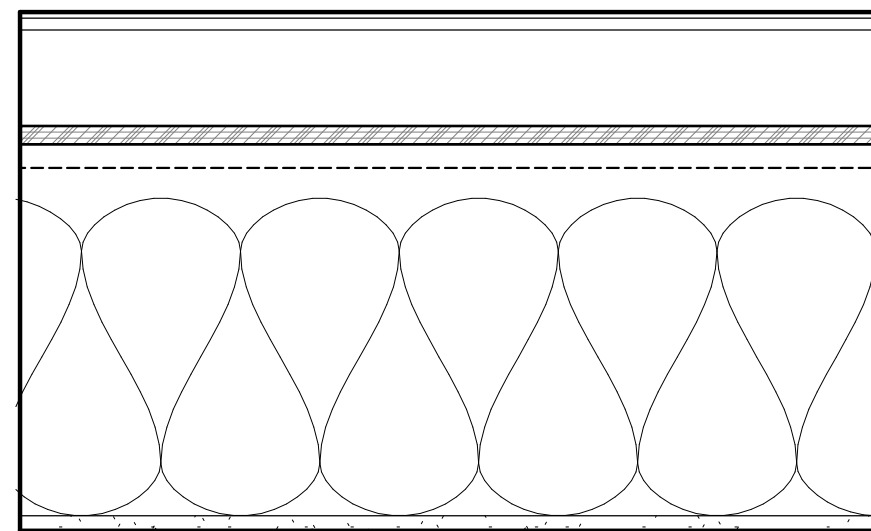
(N) FLOOR FINISH
(N) SUBFLOOR PER STRUCTURAL (MATCH EXISTING)
(N) FRAMING PER STRUCTURAL
(N) R-30 MIN. INSULATION

E1



(N) FLOOR FINISH
(N) SUBFLOOR PER STRUCTURAL (MATCH EXISTING)
(N) FRAMING PER STRUCTURAL
(N) SOUND BATT INSULATION
(N) 5/8" GWB

E2



(N) ROOF MEMBRANE (ASSUME EVERGAURD EXTREME TPO FROM GAF MIL OR GREATER)
(N) COVER BOARD PER MEMBRANE MFG
(N) TAPERED OVER FRAMING TO MATCH EXISTING
(N) PLYWOOD PER STRUCTURAL TO MATCH (E)
(N) 1" MIN AIR GAP FOR VENTING
(N) R-49 MIN BATT INSULATION
(N) FRAMING PER STRUCTURAL
(N) 5/8" GWB

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT

R1

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PERMIT SET

DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

NO. DESCRIPTION DATE

DRAWN BY: AJS & SHW
CHECKED BY: KM

ASSEMBLY DETAILS

SCALE: 1/2" = 1'-0"

A701

General Structural Notes Cont'd.
THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

WOOD

33. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD No. 17, GRADING RULES FOR WEST COAST LUMBER, 2018, OR WMPA STANDARD, WESTERN LUMBER GRADING RULES 2021. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI
STUDS, PLATES & MISC. FRAMING:		DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2

34. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI.

35. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE MEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E WS)	Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSI
LVL (2.0E-2600FB WS)	Fb = 2600 PSI, E = 2000 KSI, Fv = 285 PSI
LSL (1.55E)	Fb = 2325 PSI, E = 1550 KSI, Fv = 310 PSI

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

36. PREFABRICATED OPEN WEB WOOD TRUSSES (OR COMBINATION WOOD AND METAL) SHALL BE DESIGNED BY THE MANUFACTURER FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS AND SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED SPECIFICATIONS. ALL NECESSARY BRIDGING, BLOCKING, BLOCKING PANELS, STIFFENERS, ETC., SHALL BE DETAILED AND FURNISHED BY THE MANUFACTURER. SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. DESIGN SUBMITTALS SHALL BEAR THE STAMP AND SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER, STATE OF WASHINGTON. PERMANENT AND TEMPORARY BRIDGING SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS.

37. PREFABRICATED CONNECTOR PLATE WOOD TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI-1* BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS:

	ROOF	FLOOR
TOP CHORD LIVE LOAD	25 PSF	40 PSF
TOP CHORD DEAD LOAD	10 PSF	7 PSF
BOTTOM CHORD DEAD LOAD	5 PSF	5 PSF
TOTAL LOAD	40 PSF	52 PSF
WIND UPLIFT (TOP CHORD)	5 PSF	
BOTTOM CHORD LIVE LOAD	10 PSF	5 PSF
(BOTTOM CHORD LIVE LOAD DOES NOT ACT CONCURRENTLY WITH THE ROOF OR FLOOR LIVE LOAD)		

WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (MITEK OR EQUAL). SUBMIT SHOP DRAWINGS INCLUDING TRUSS PLACEMENT DIAGRAM AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC., SHOWN ON THE DRAWINGS. EXACT COMPOSITION OF SPECIAL HIP, VALLEY, AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS.

TEMPORARY AND PERMANENT RESTRAINT/BRACING SHALL BE IN ACCORDANCE WITH BCST-83 AND BCST-87.

38. PLYWOOD SHEATHING SHALL BE EXPOSURE 1, PANEL GRADE C-D, AND EITHER SHEATHING, SINGLE-FLOOR, OR STRUCTURAL I GRADE IN CONFORMANCE WITH DOC PS 1 AND PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

39. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

40. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AMPA STANDARD U1-20 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AMPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AMPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AMPA UC4B.

41. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

WOOD TREATMENT	CONDITION	PROTECTION
HAS NO AMMONIA CARRIER	INTERIOR DRY	G90 GALVANIZED
CONTAINS AMMONIA CARRIER	INTERIOR DRY	G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653
CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
CONTAINS AMMONIA CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
AZCA	ANY	TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

42. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "TIS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

43. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d BOX	3-1/2"	0.135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

44. NOTCHES AND HOLES IN WOOD FRAMING:

A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED.

45. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.2. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

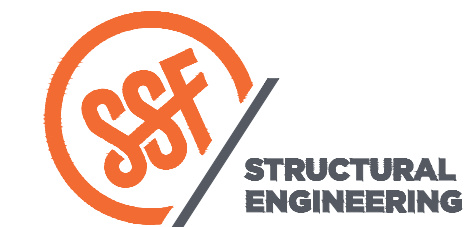
ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. LAP TOP PLATES AT JOINTS A MINIMUM 4'-0" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12" ON-CENTER, UNLESS OTHERWISE NOTED. GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER, UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER, MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.

D. WOOD SHRINKAGE: MECHANICAL, ELECTRICAL, PLUMBING FIRE PROTECTION, CLADDING, AND OTHER SYSTEMS INSTALLED WITHIN THE BUILDING SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE 3/8" OF VERTICAL MOVEMENT PER FLOOR LEVEL.



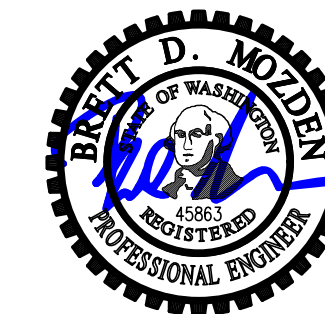
SEATTLE
2124 Third Avenue, Suite 100
Seattle, WA 98121

TACOMA
1818 Tacoma Ave S., Suite 200
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DRAWN: SRK

DESIGN: BDM

CHECKED: BDM

APPROVED: BDM

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Ackley Residence
9603 SE 61st Place
Mercer Island, WA 98040

ARCHITECT:
Brandt Design Group
66 Bell Street, Unit 1
Seattle, WA 98121
206.239.0850
brandtdesigninc.com

ISSUE:

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SHEET TITLE:

**General
Structural Notes
Cont'd.**

SCALE: 3/4" = 1'-0" U.N.O.

DATE: May 30, 2025

PROJECT NO: 01519-2025-01

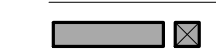
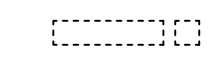


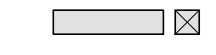


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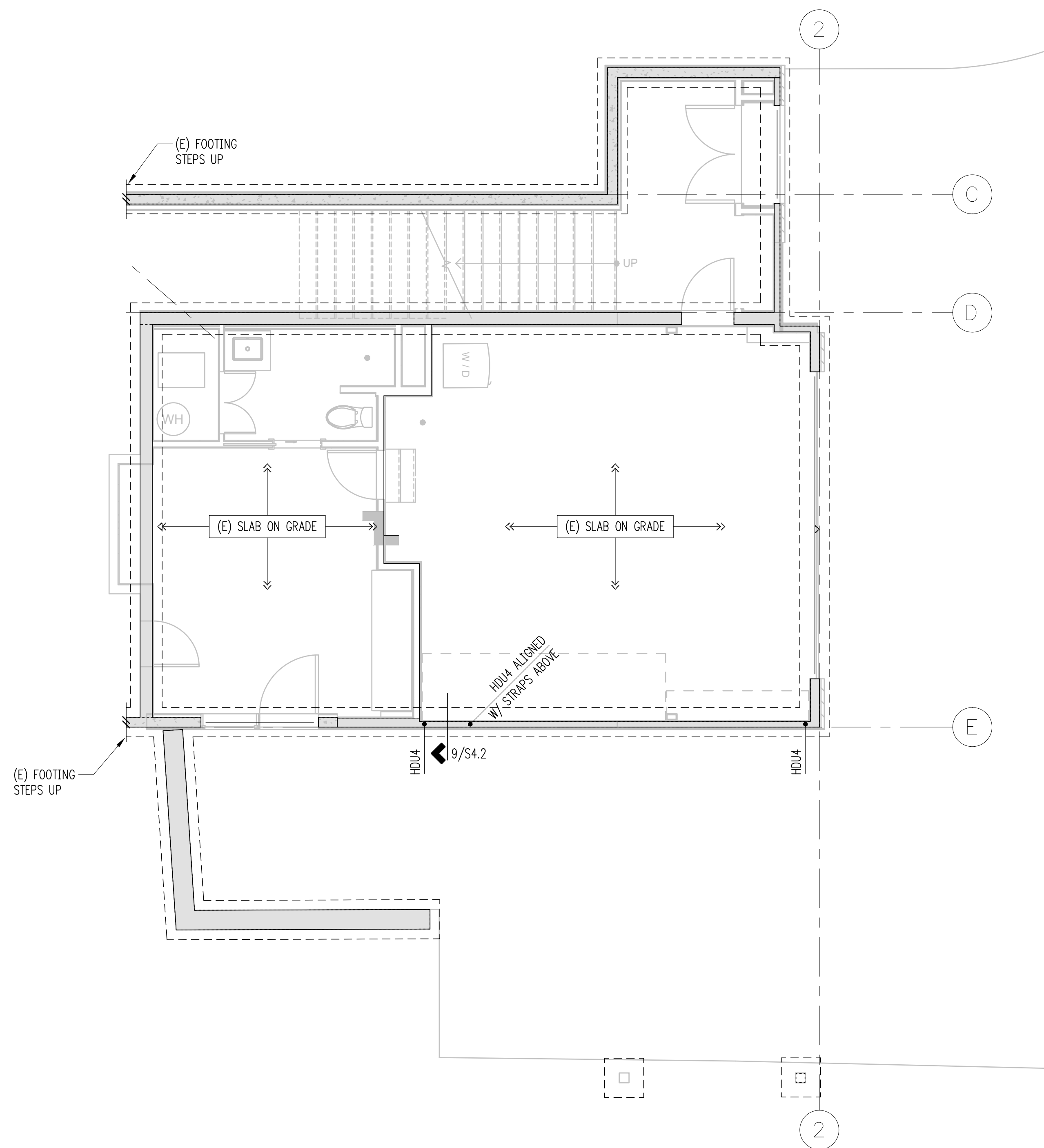
S1.2

Lower Foundation Plan Notes (TYPICAL, UNLESS NOTED OTHERWISE)

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
- THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW EXTERIOR GRADE.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.

Legend

-  STRUCTURAL WALL OR POST BELOW
-  STRUCTURAL WALL OR POST ABOVE
-  (E) STRUCTURAL WALL OR POST ABOVE
-  NON-STRUCTURAL WALL BELOW
-  EXISTING WALL OR POST BELOW
-  EXISTING STEM WALL & FOOTING
-  STEM WALL & FOOTING



Lower Floor Framing Plan
Scale: 1/4" = 1'-0"



DRAWN:	SRK
DESIGN:	BDM
CHECKED:	BDM
APPROVED:	BDM

REVISIONS:	

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:
Ackley Residence
9603 SE 61st Place
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SHEET TITLE:
Lower Foundation Plan

SCALE: 1/4" = 1'-0" U.N.O.
DATE: May 30, 2025
PROJECT NO: 01519-2025-01
SHEET NO:

S2.1

Upper Foundation Plan Notes (TYPICAL, UNLESS NOTED OTHERWISE)

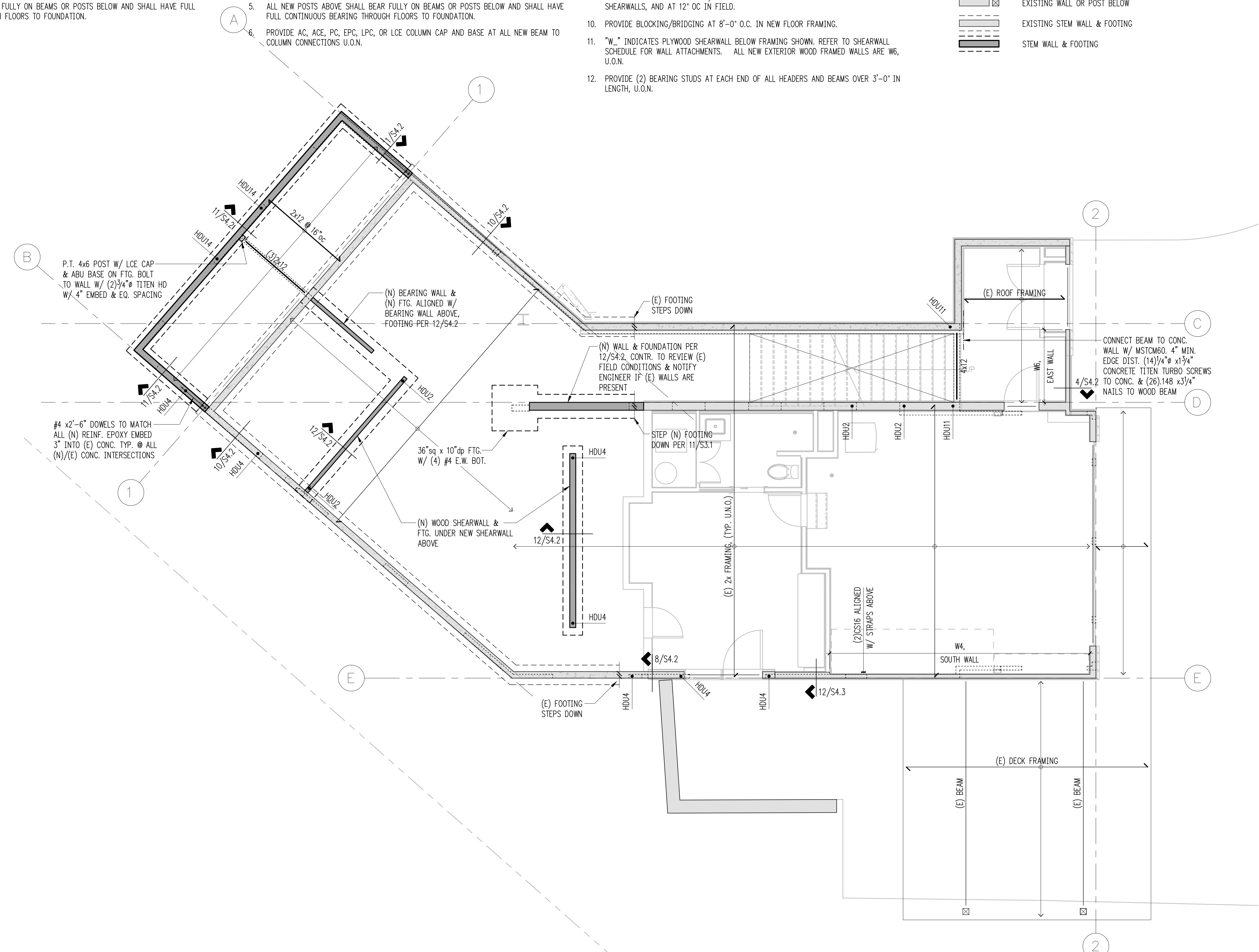
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
- THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW EXTERIOR GRADE.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.

Lower Floor Framing Plan Notes (TYPICAL, UNLESS NOTED OTHERWISE)

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
- THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW EXTERIOR GRADE.
- ALL NEW POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.
- PROVIDE AC, ACE, PC, EPC, LPC, OR LCE COLUMN CAP AND BASE AT ALL NEW BEAM TO COLUMN CONNECTIONS U.O.N.
- NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- TYPICAL NEW FLOOR FRAMING CONSISTS OF FLOORING PER ARCHITECT OVER 3/4" T&G APA RATED PLYWOOD FACE GRAIN PERPENDICULAR TO FRAMING PER PLAN, U.O.N.
- NAIL NEW FLOOR SHEATHING W/ 8D AT 6" OC AT FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT 12" OC IN FIELD.
- PROVIDE BLOCKING/BRIDGING AT 8'-0" O.C. IN NEW FLOOR FRAMING.
- "W." INDICATES PLYWOOD SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE FOR WALL ATTACHMENTS. ALL NEW EXTERIOR WOOD FRAMED WALLS ARE W6, U.O.N.
- PROVIDE (2) BEARING STUDS AT EACH END OF ALL HEADERS AND BEAMS OVER 3'-0" IN LENGTH, U.O.N.

Legend

- STRUCTURAL WALL OR POST BELOW
- STRUCTURAL WALL OR POST ABOVE
- (E) STRUCTURAL WALL OR POST ABOVE
- NON-STRUCTURAL WALL BELOW
- EXISTING WALL OR POST BELOW
- EXISTING STEM WALL & FOOTING
- STEM WALL & FOOTING



Lower Floor Framing Plan & Upper Foundation Plan
Scale: 1/4" = 1'-0"

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 SEATTLE 2124 Third Avenue, Suite 100
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DRAWN:	SRK
DESIGN:	BDM
CHECKED:	BDM
APPROVED:	BDM

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:
Ackley Residence
 9603 SE 61st Place
 Mercer Island, WA 98040

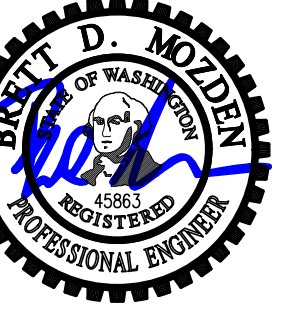
ARCHITECT:
Brandt Design Group
 66 Bell Street, Unit 1
 Seattle, WA 98121
 206.239.0850
 brandtdesigninc.com

ISSUE:
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SHEET TITLE:
Lower Floor Framing Plan & Upper Foundation Plan

SCALE: 1/4" = 1'-0" U.N.O.
 DATE: May 30, 2025
 PROJECT NO: 01519-2025-01
 SHEET NO:

S2.2



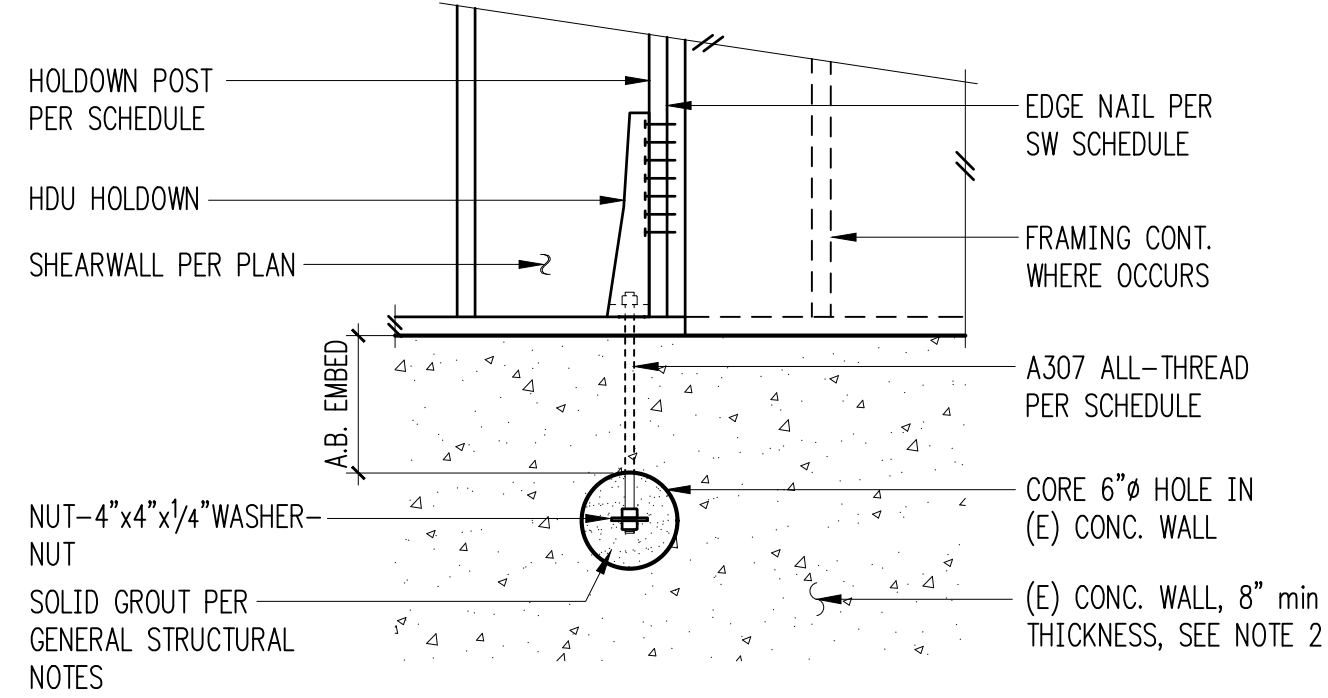
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 CHECKED: BDM
 APPROVED: BDM

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2

3

4

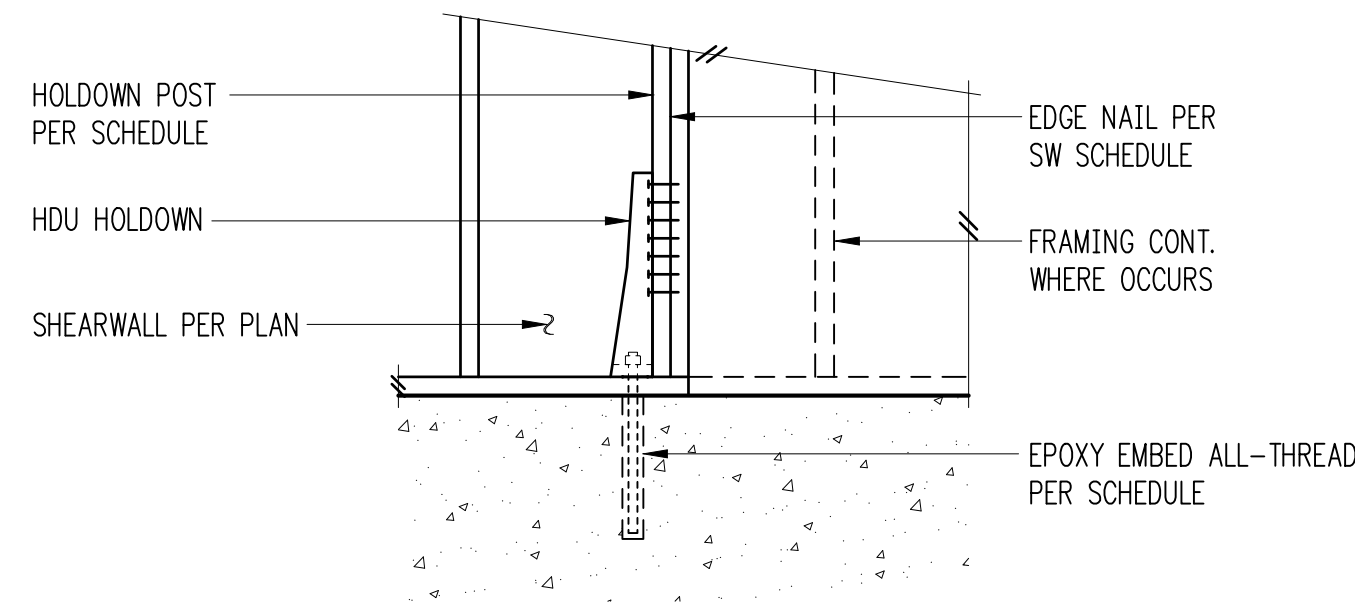


Holdown Schedule

Plan Mark	Screws	Anchor Bolt	A.B. Embed	Holdown Post ①	
				if 2x4	if 2x6
HDU11	(30)SDS 1/4"x2 1/2"	1"Ø	60"	4x8	6x6

- ① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.
- ② FIELD VERIFY CONCRETE WALL THICKNESS. ENGINEER TO BE NOTIFIED IF EXISTING WALL THICKNESS IS LESS THAN 8".

Typical HDU Holdown at Existing Concrete Wall 5

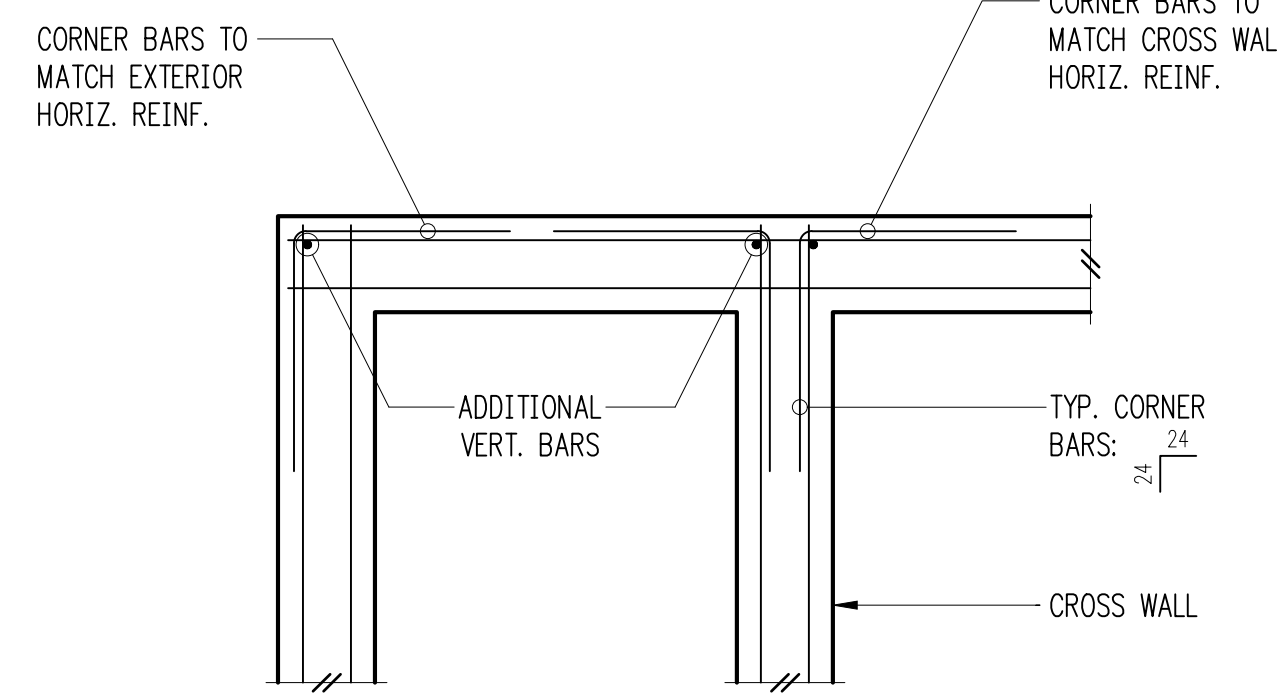


Holdown Schedule

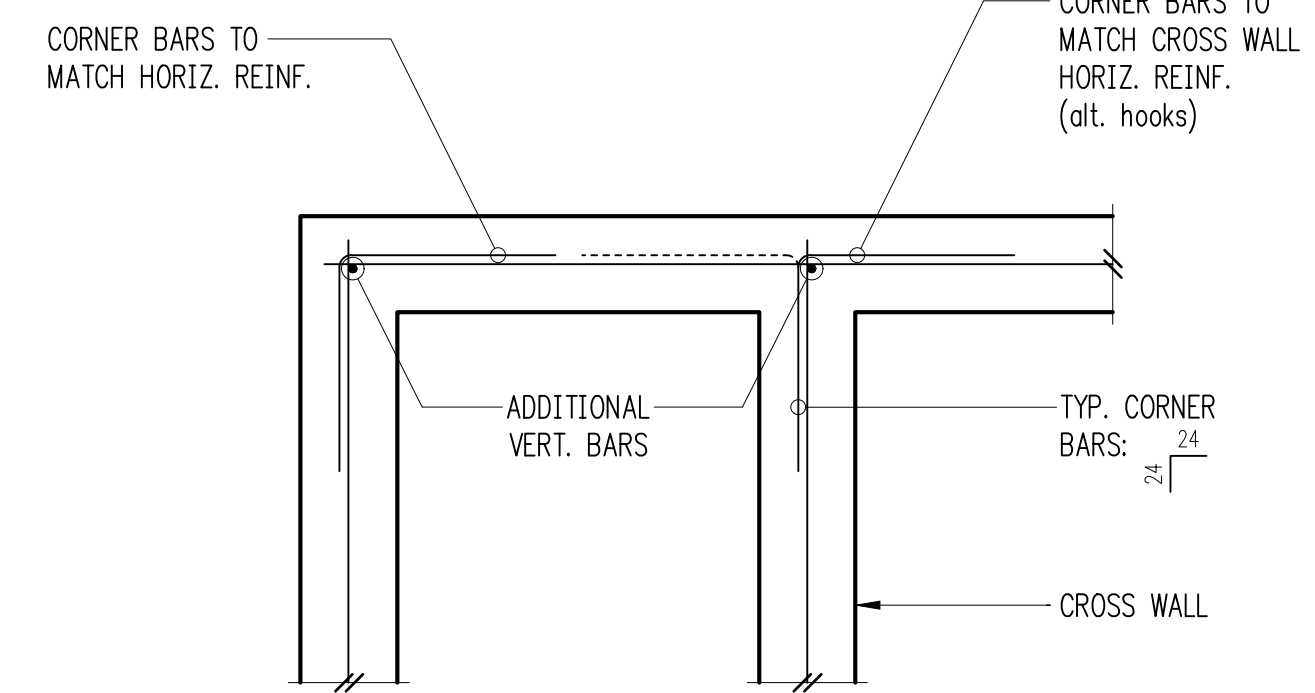
Plan Mark	Screws	Anchor Bolt	A.B. Embed	Holdown Post ①	
				if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS 1/4"x2 1/2"	5/8"Ø	12"	(2) 2x4	(2) 2x6
HDU4-SDS2.5	(10)SDS 1/4"x2 1/2"	5/8"Ø	16"	4x4	4x6

- ① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.

Typical HDU Holdown 6

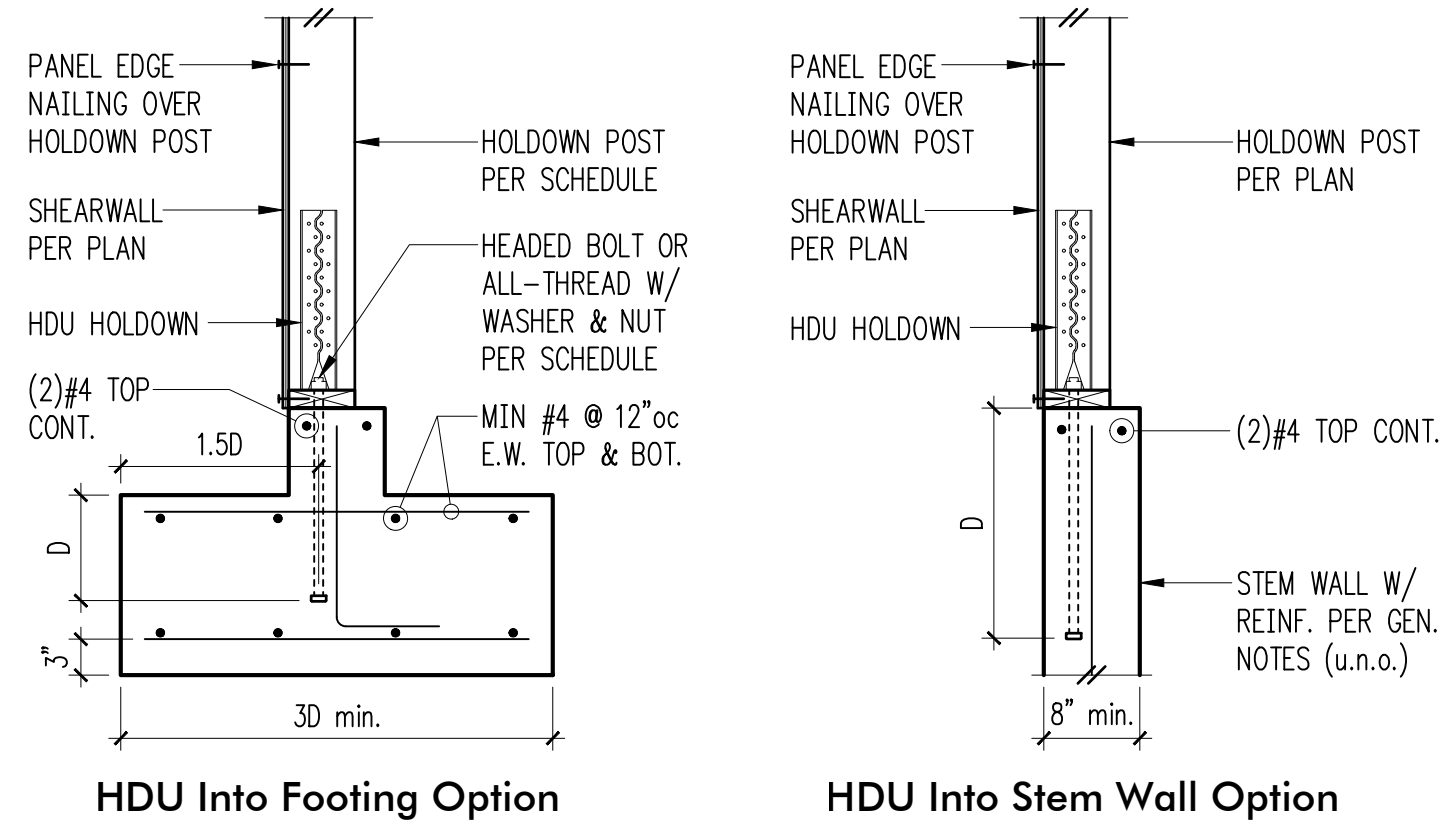


Double Curtain



Single Curtain

Typical Corner Bars at Concrete Walls and Footings 8



HDU Into Footing Option

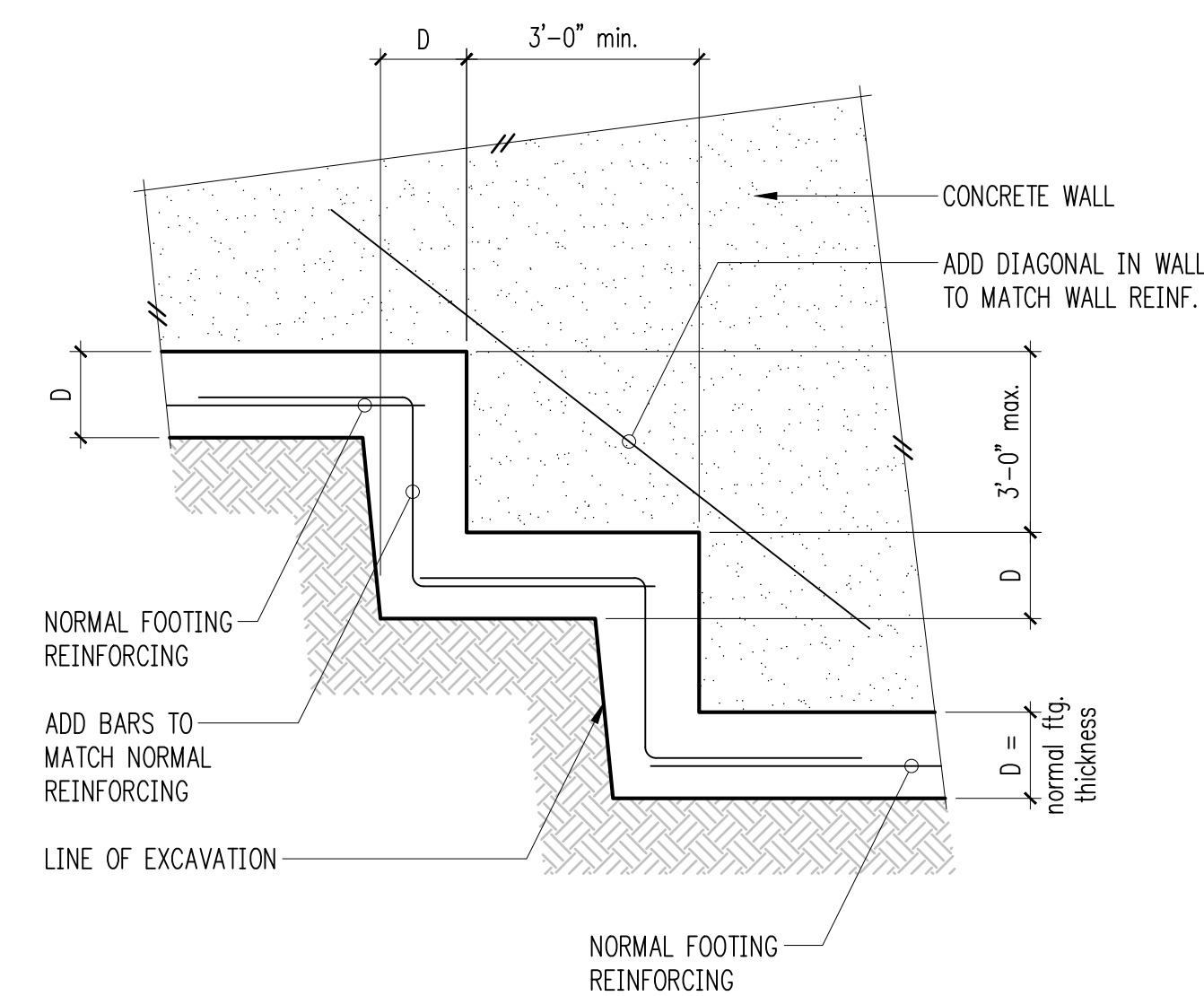
HDU Into Stem Wall Option

Holdown Schedule

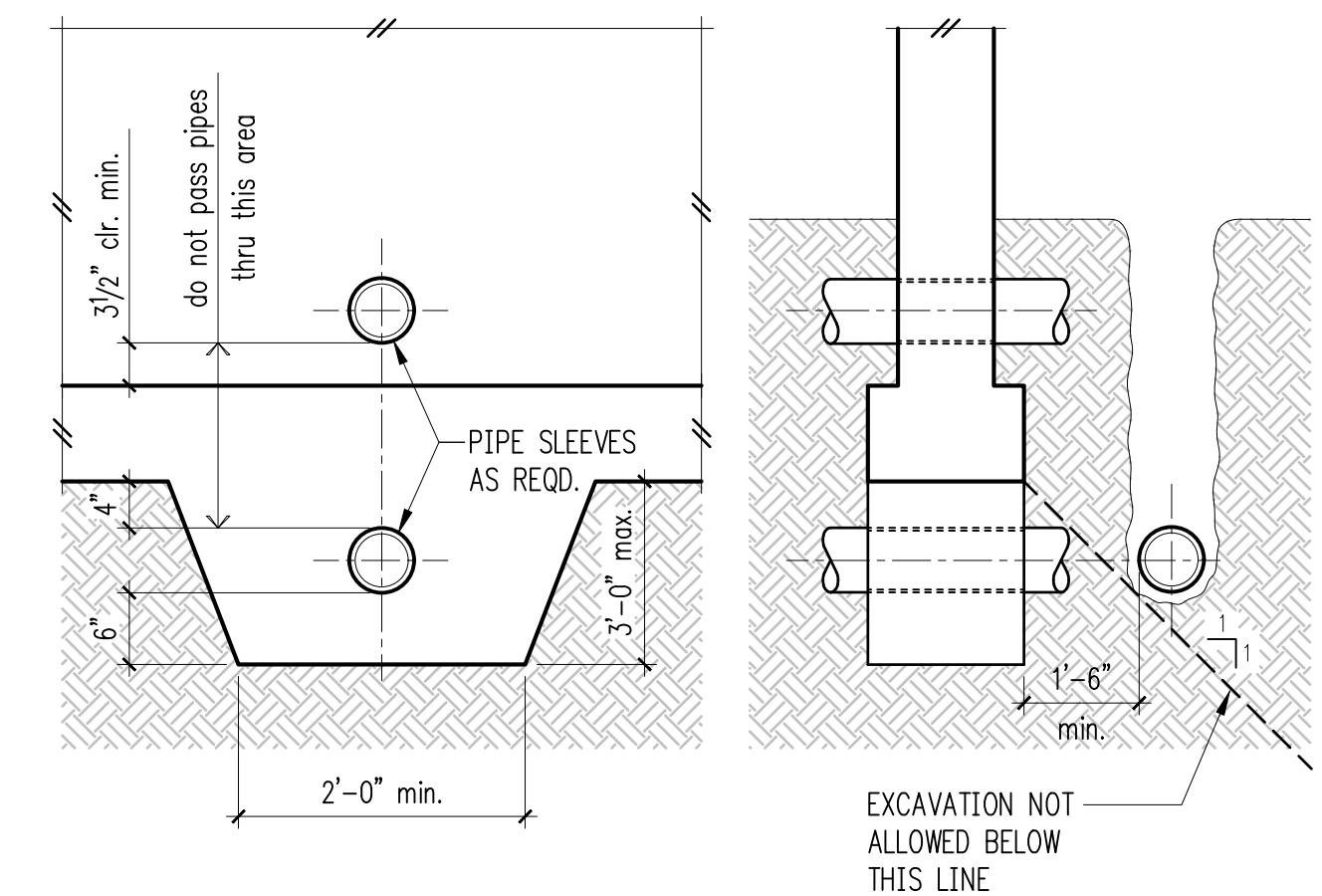
Plan Mark	Screws	Anchor Bolt	Min. A.B. Embed (D)		Holdown Post ①	
			Stem Wall	Footing	if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS 1/4"x2 1/2"	5/8"Ø	12"	4"	(2) 2x4	(2) 2x6
HDU4-SDS2.5	(10)SDS 1/4"x2 1/2"	5/8"Ø	18"	6"	4x4	4x6
HDU5-SDS2.5	(14)SDS 1/4"x2 1/2"	5/8"Ø	SB7/8x24	7"	4x4	4x6
HDU8-SDS2.5	(20)SDS 1/4"x2 1/2"	7/8"Ø	SSTB28	8"	4x6	6x6
HDU11-SDS2.5	(30)SDS 1/4"x2 1/2"	1"Ø	SB1x30	10"	4x8	6x6
HDU14-SDS2.5	(36)SDS 1/4"x2 1/2"	1"Ø	N/A	12"	4x8	6x6

- ① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.

Typical HDU Holdown 10



Typical Stepped Footing 11



Pipe and Trench Locations 12

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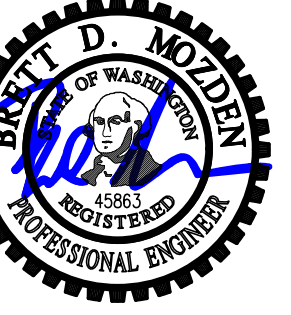
PROJECT TITLE:
 Ackley Residence
 9603 SE 61st Place
 Mercer Island, WA 98040

ARCHITECT:
 Brandt Design Group
 66 Bell Street, Unit 1
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 brandtdesigninc.com

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S3.1



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 DESIGN: BDM
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 APPROVED: BDM

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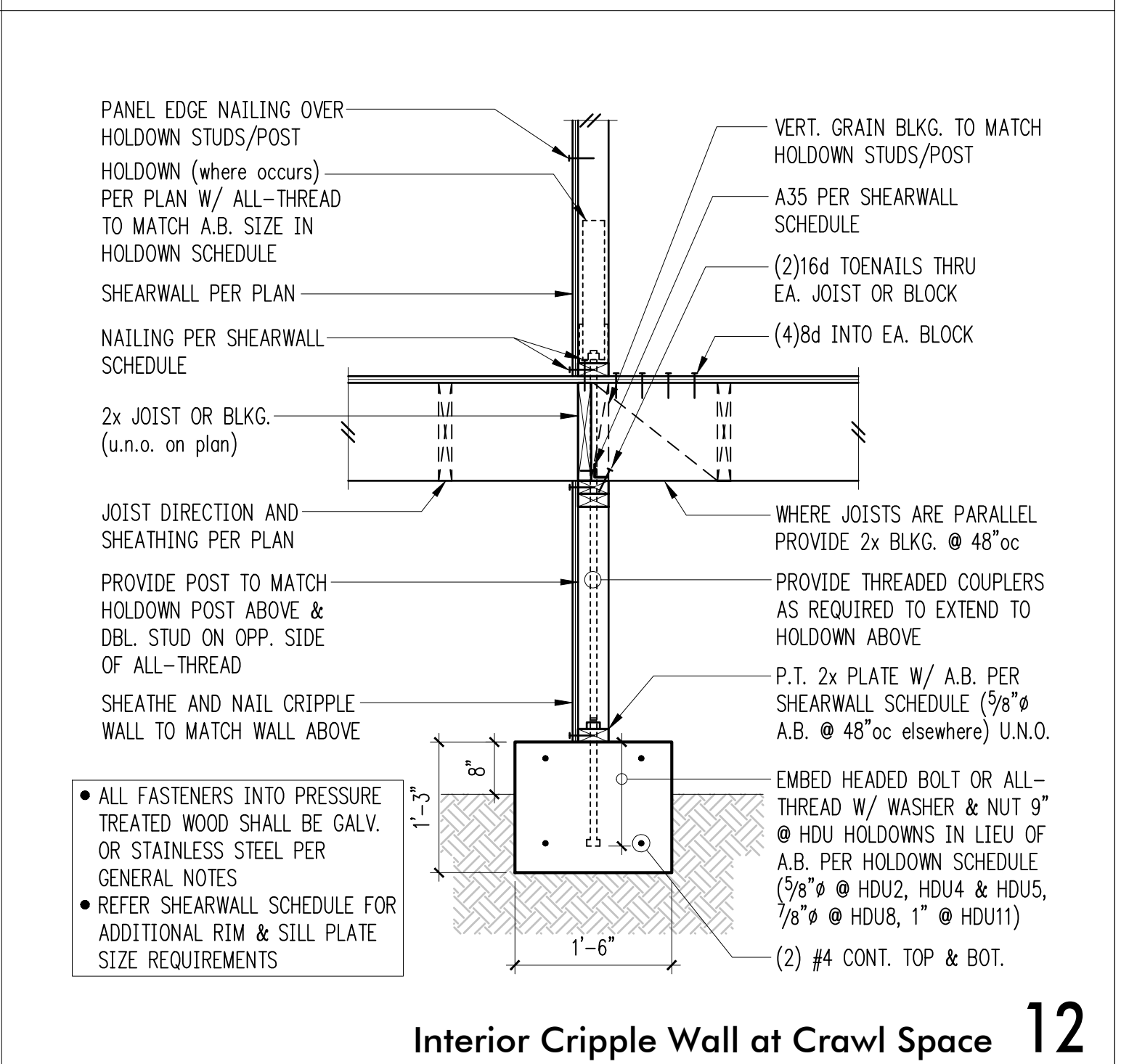
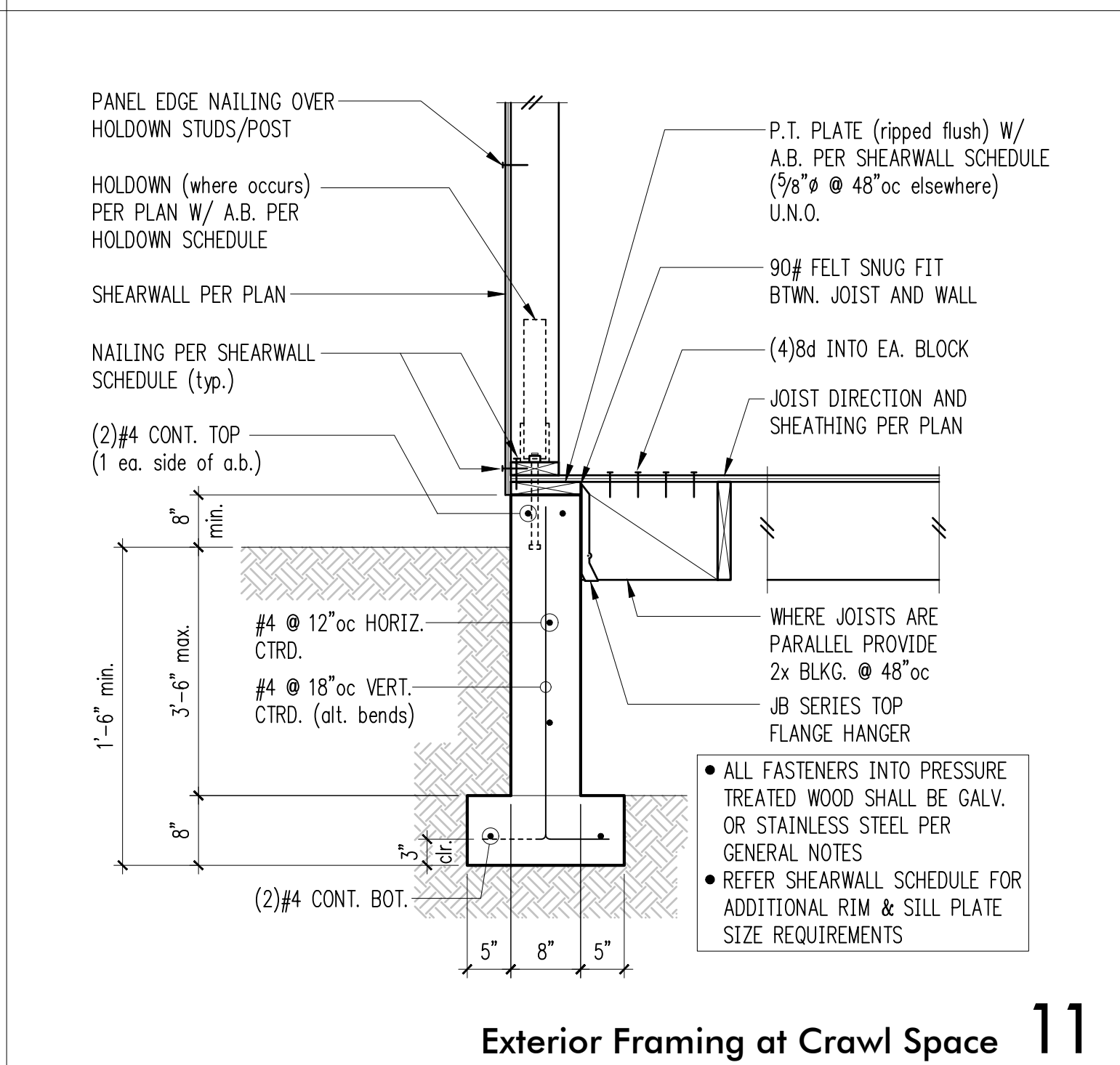
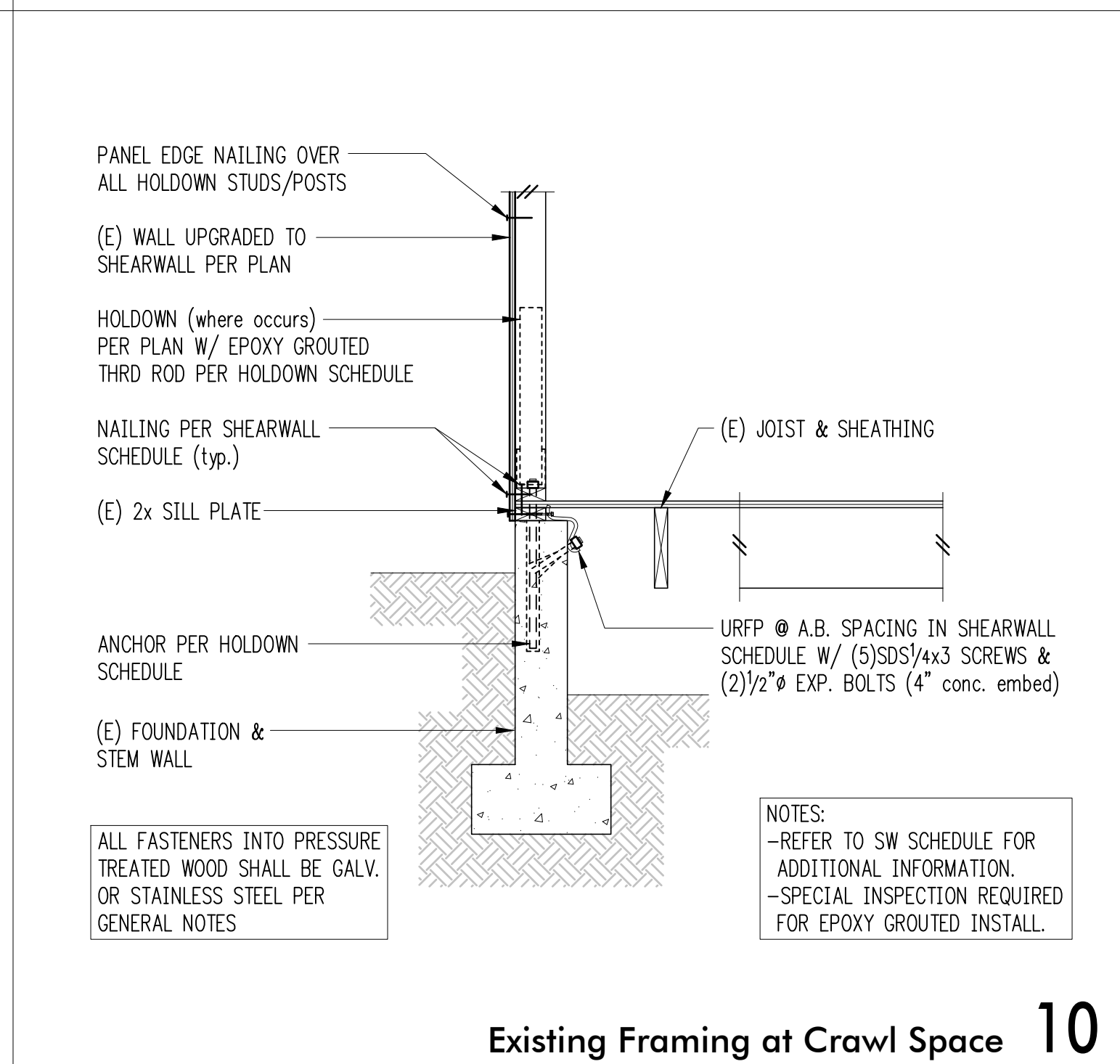
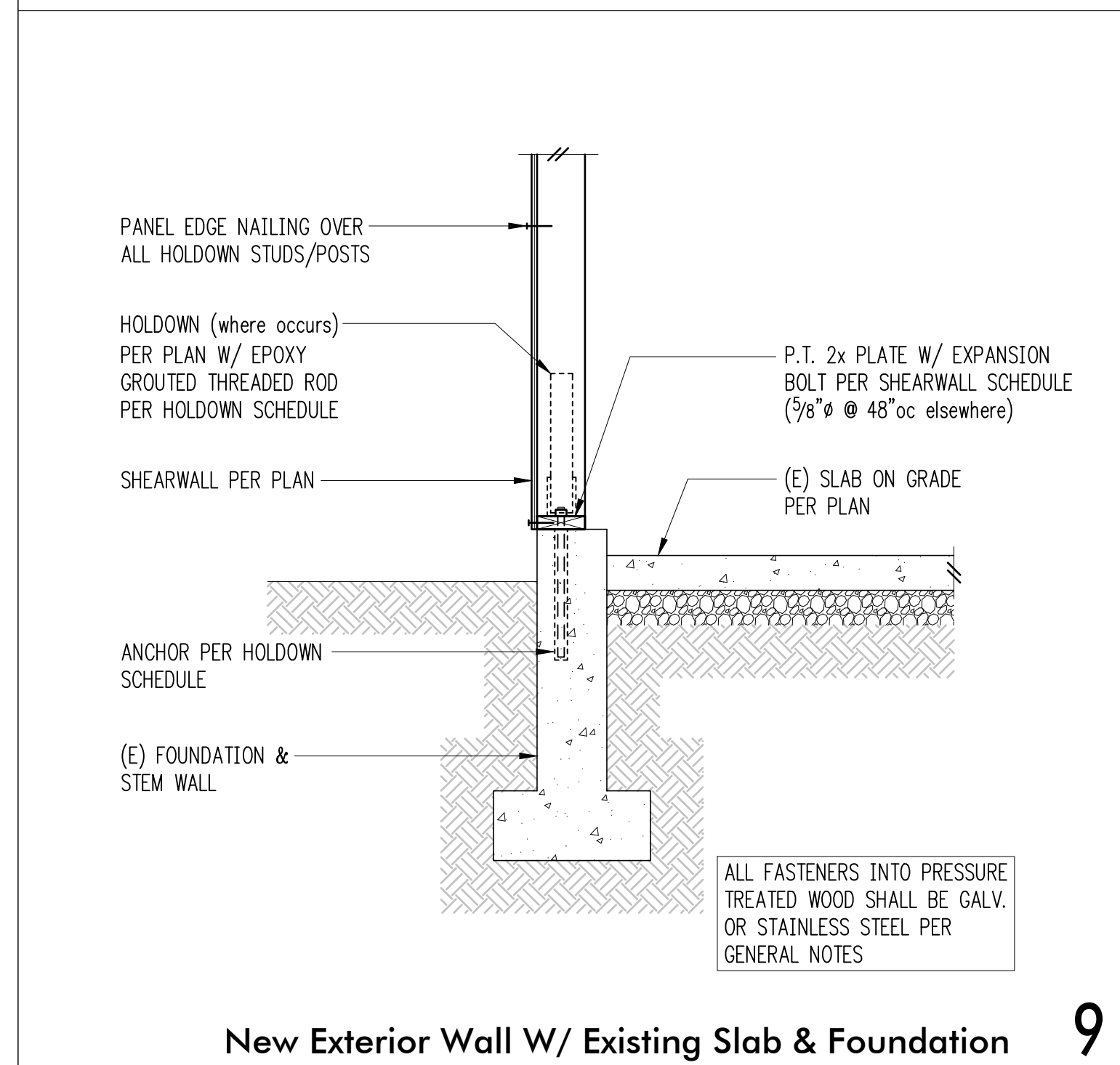
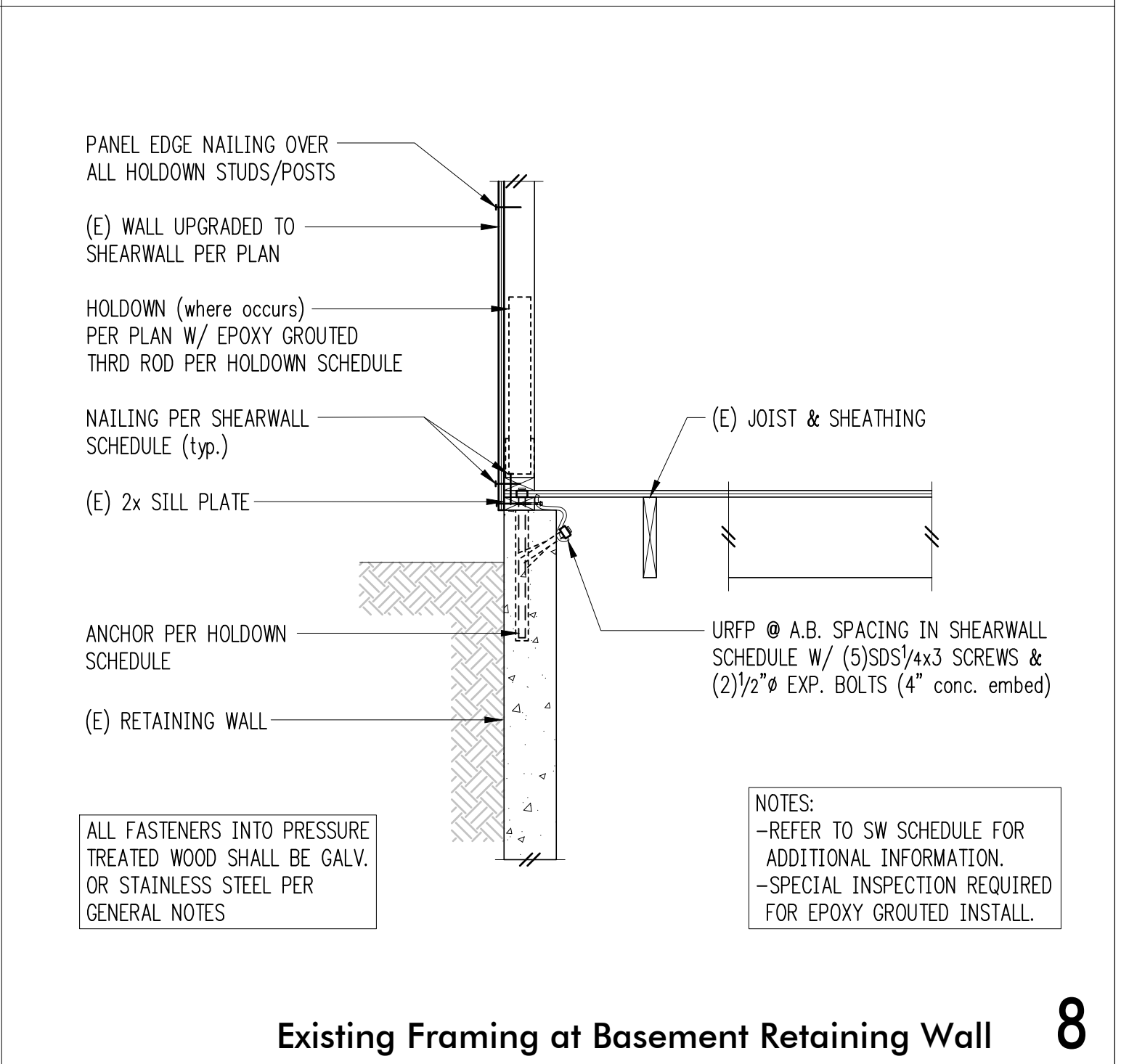
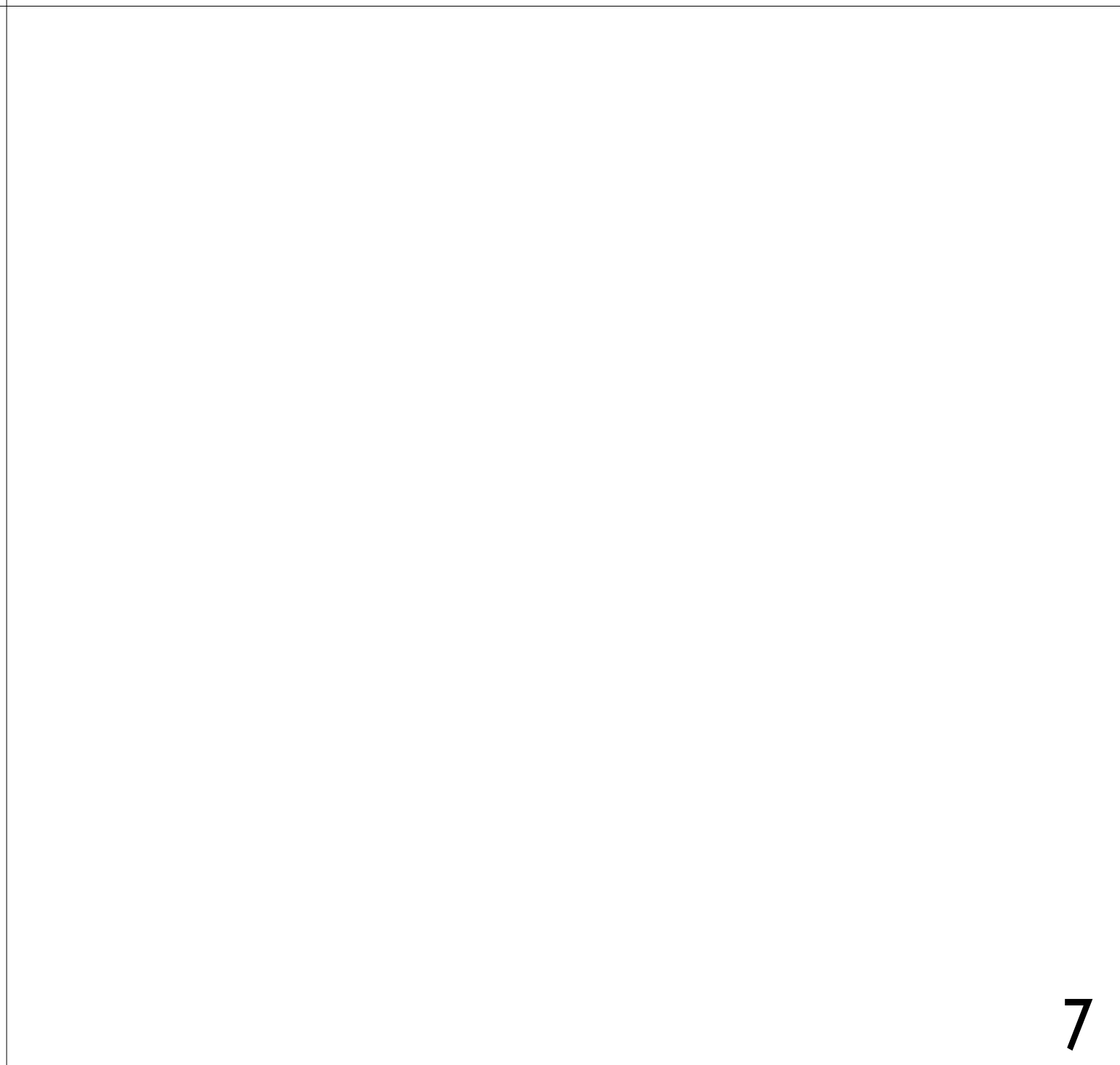
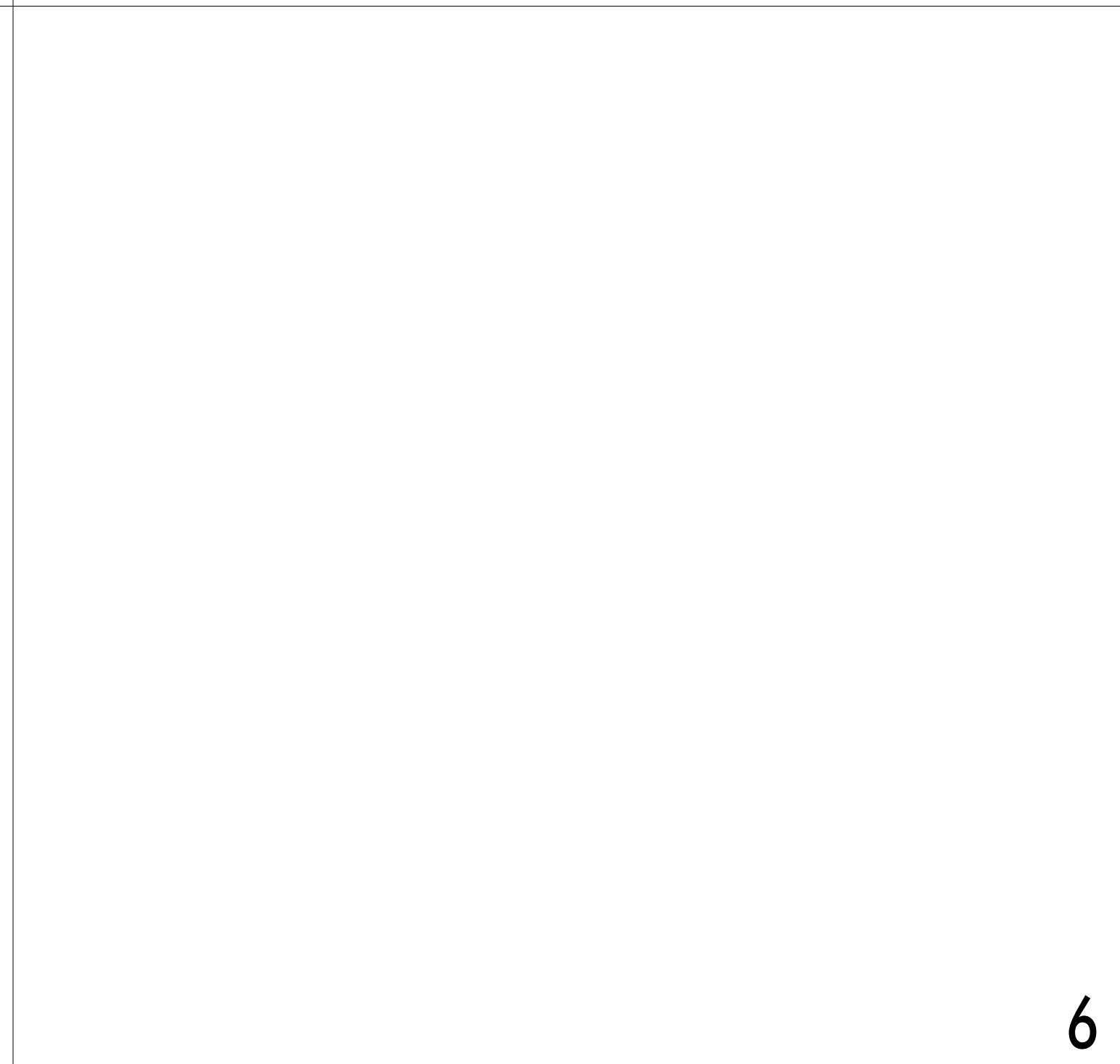
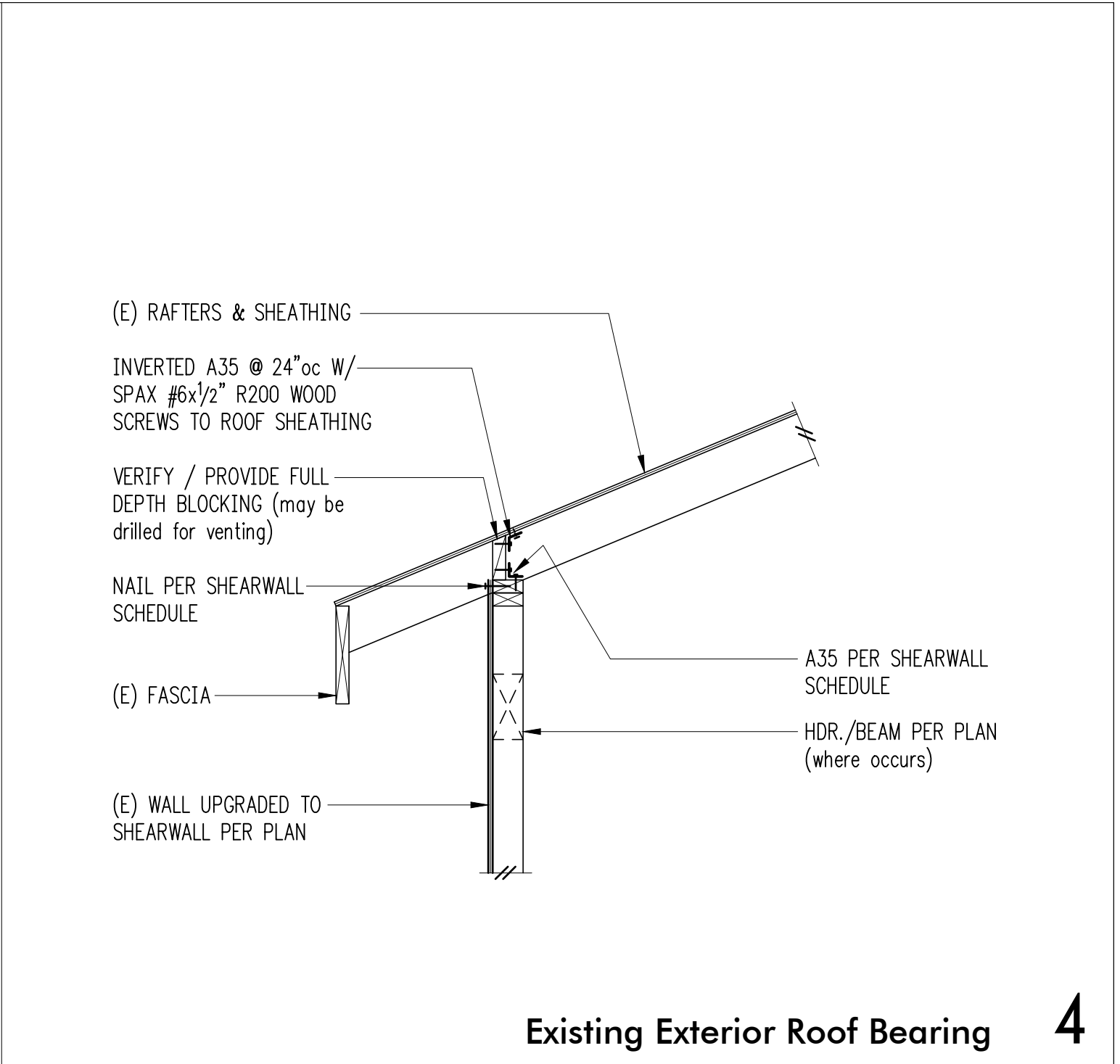
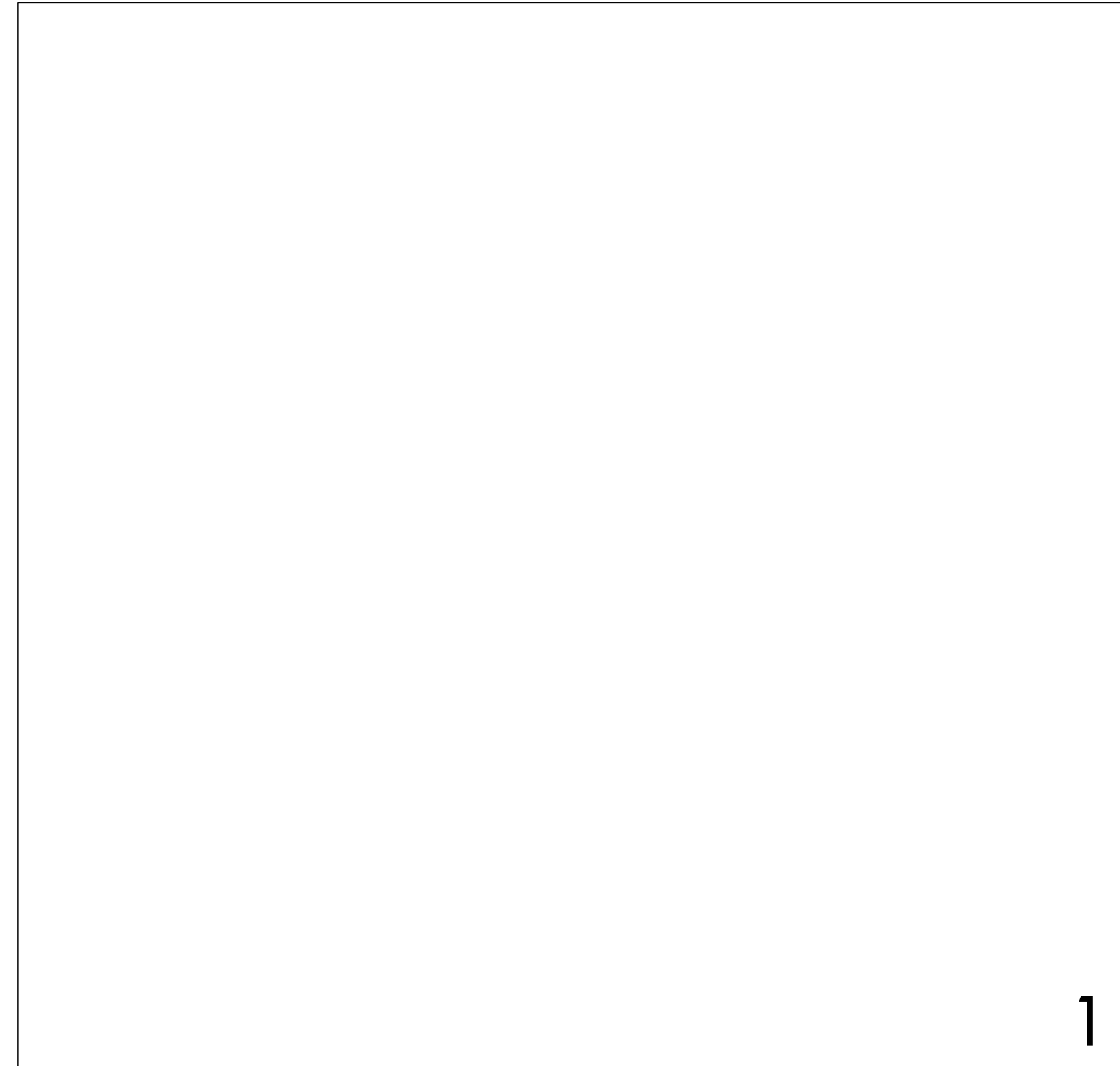
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 9603 SE 61st Place
 Mercer Island, WA 98040

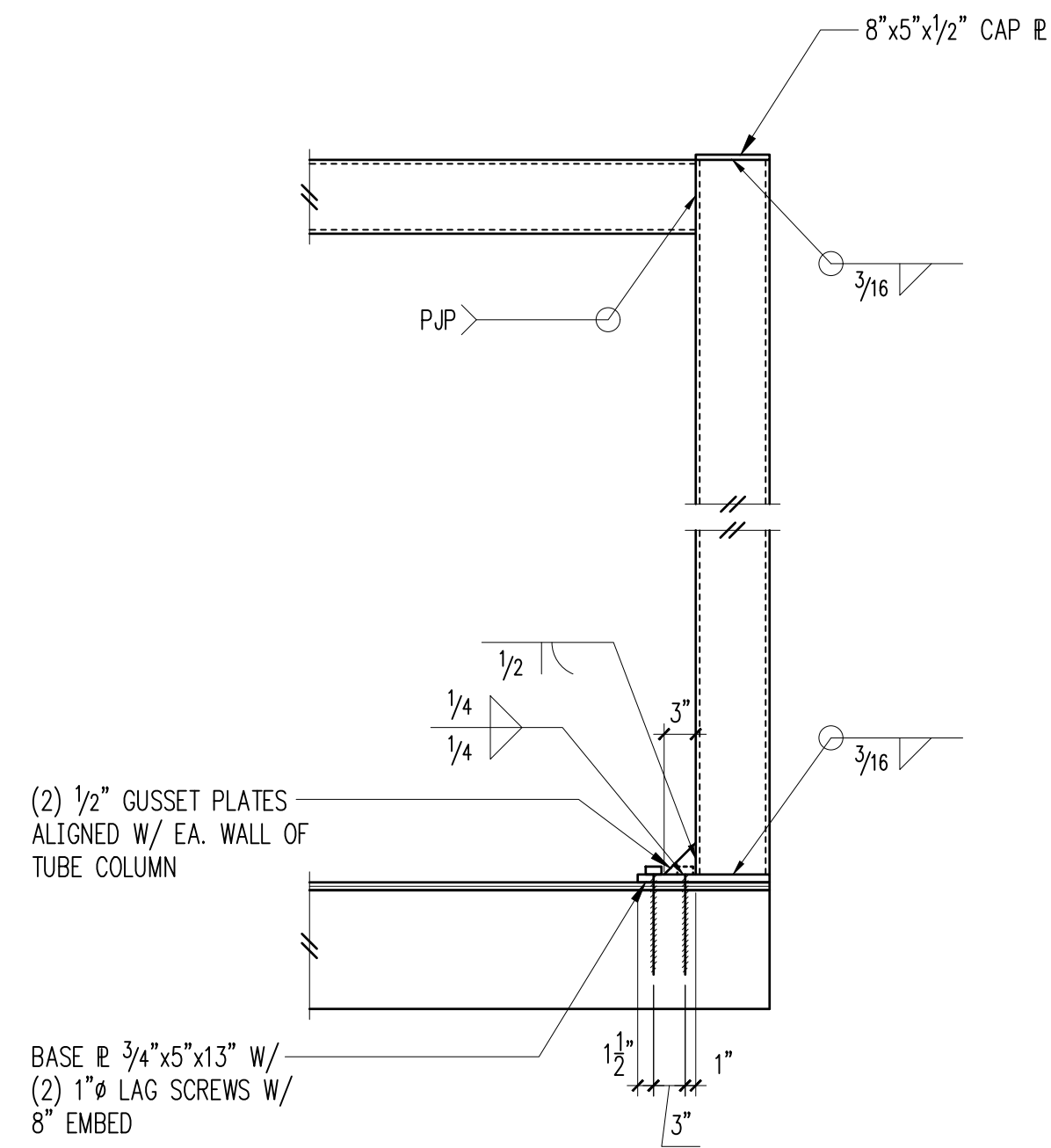
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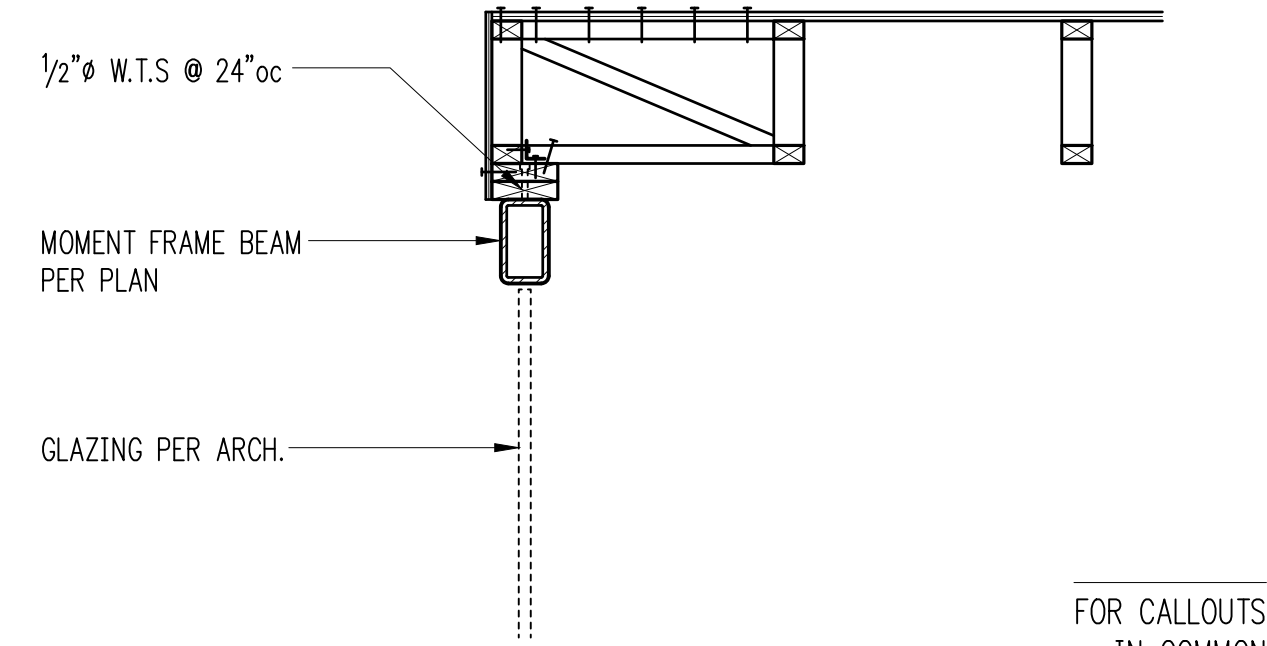
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SCALE: 3/4" = 1'-0" U.N.O.
 DATE: May 30, 2025
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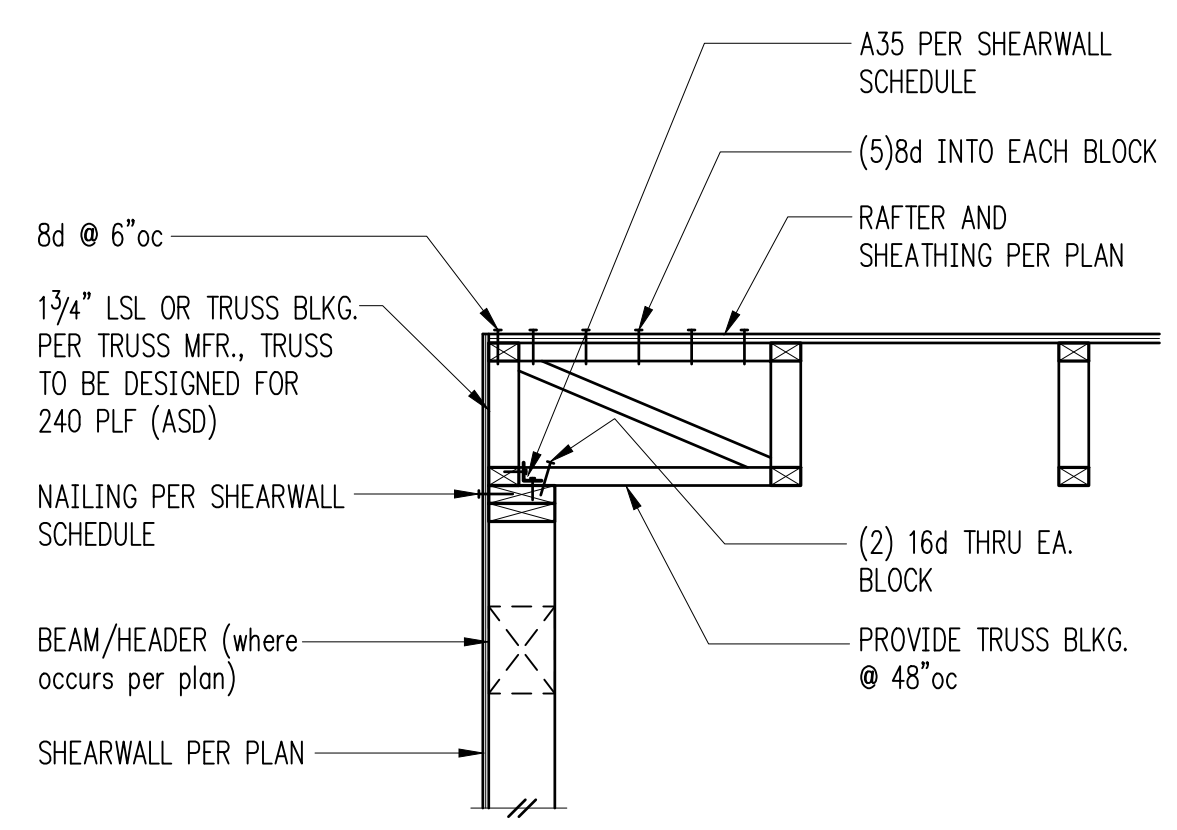


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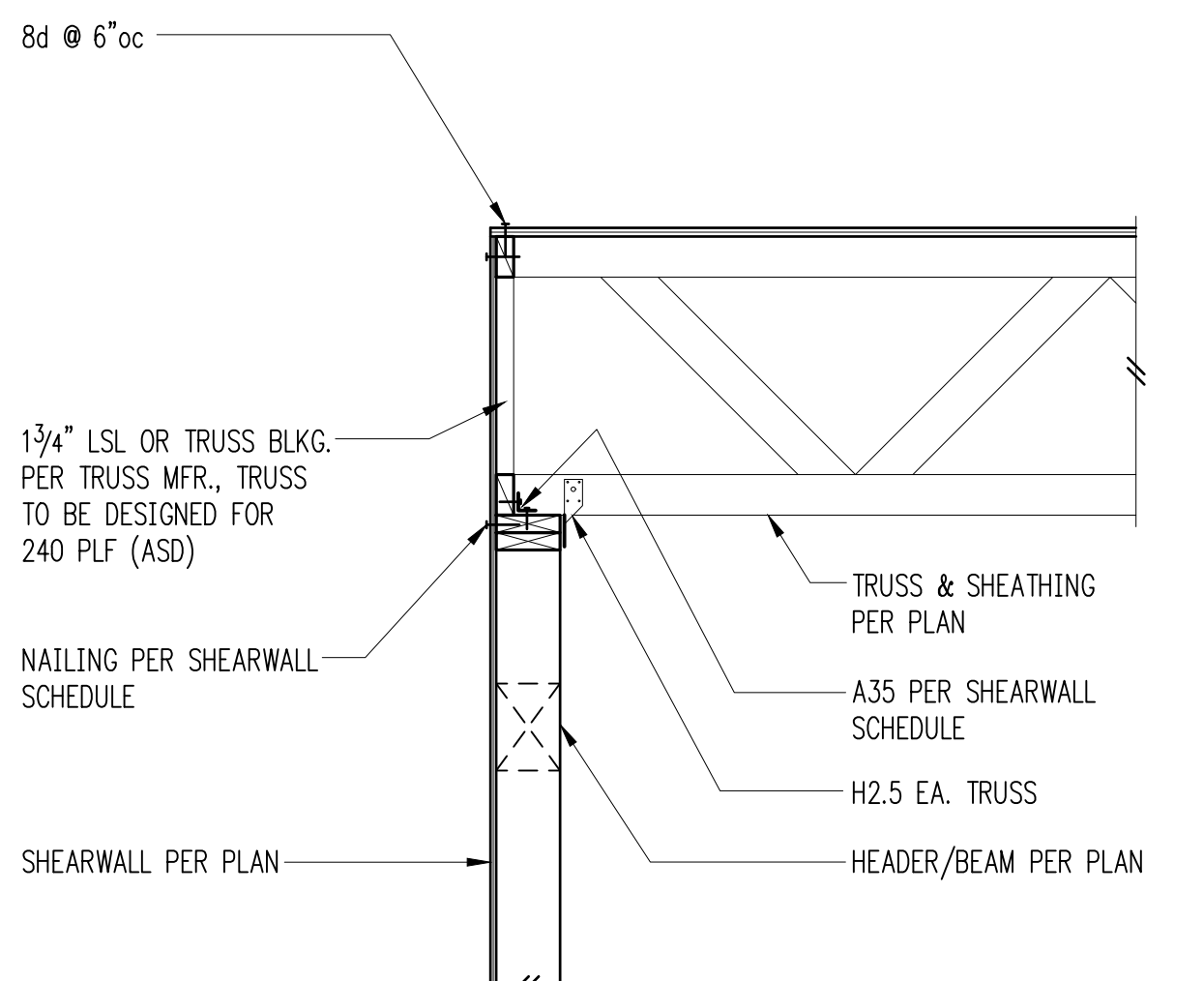


FOR CALLOUTS
IN COMMON
SEE 3/S4.3

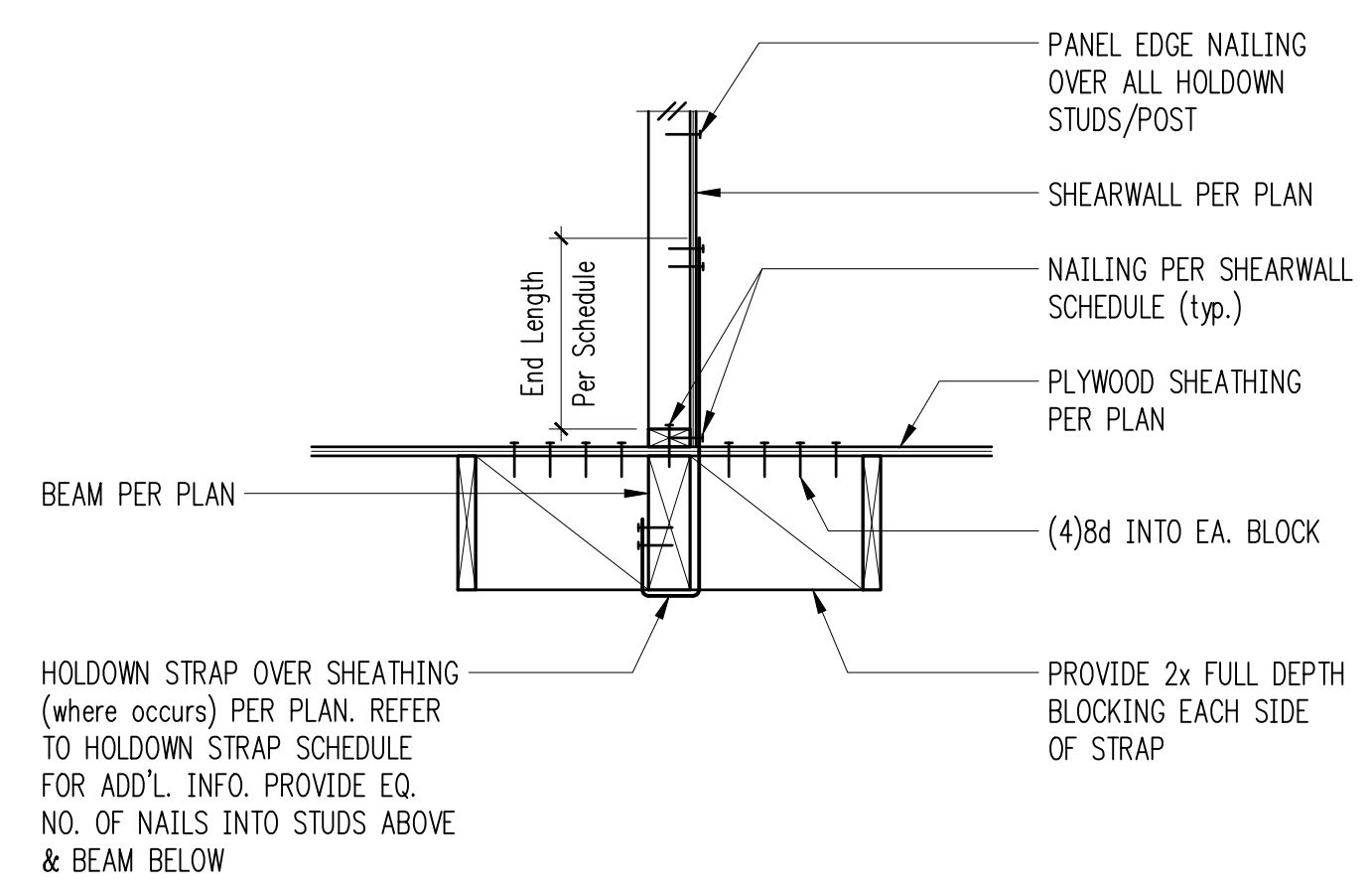
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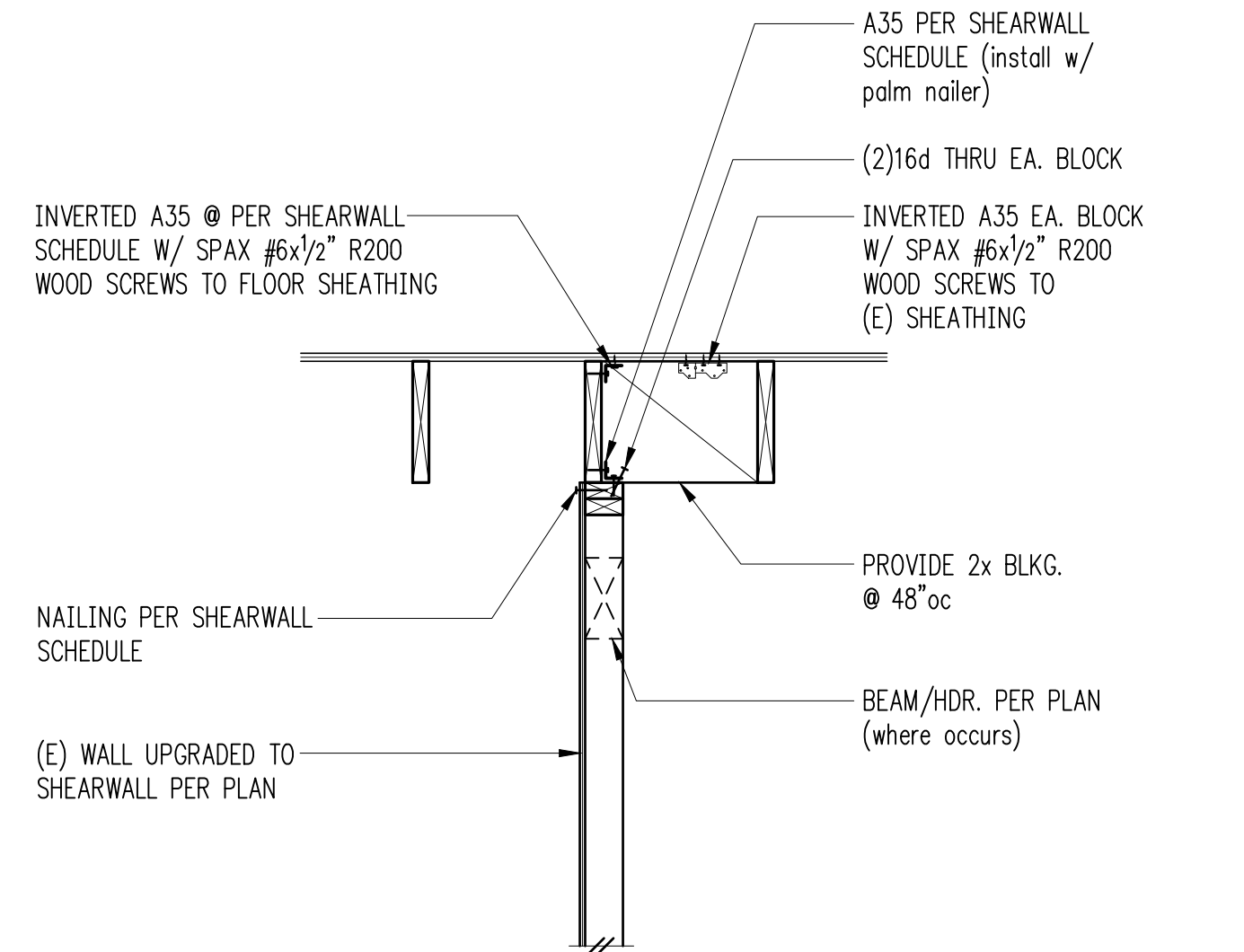
Rafters Parallel to Exterior Wall 3



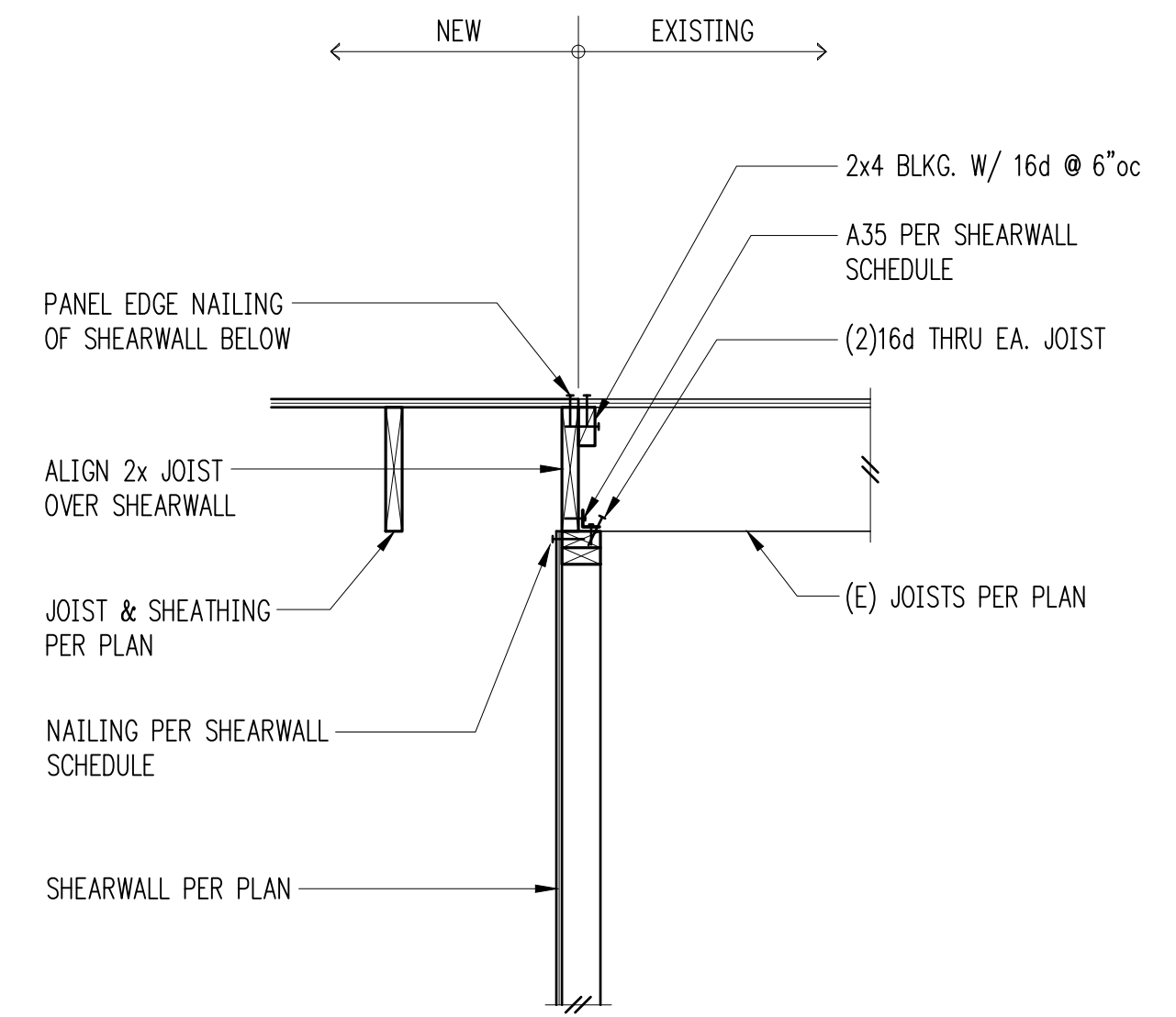
Truss Perpendicular to Exterior Wall 4



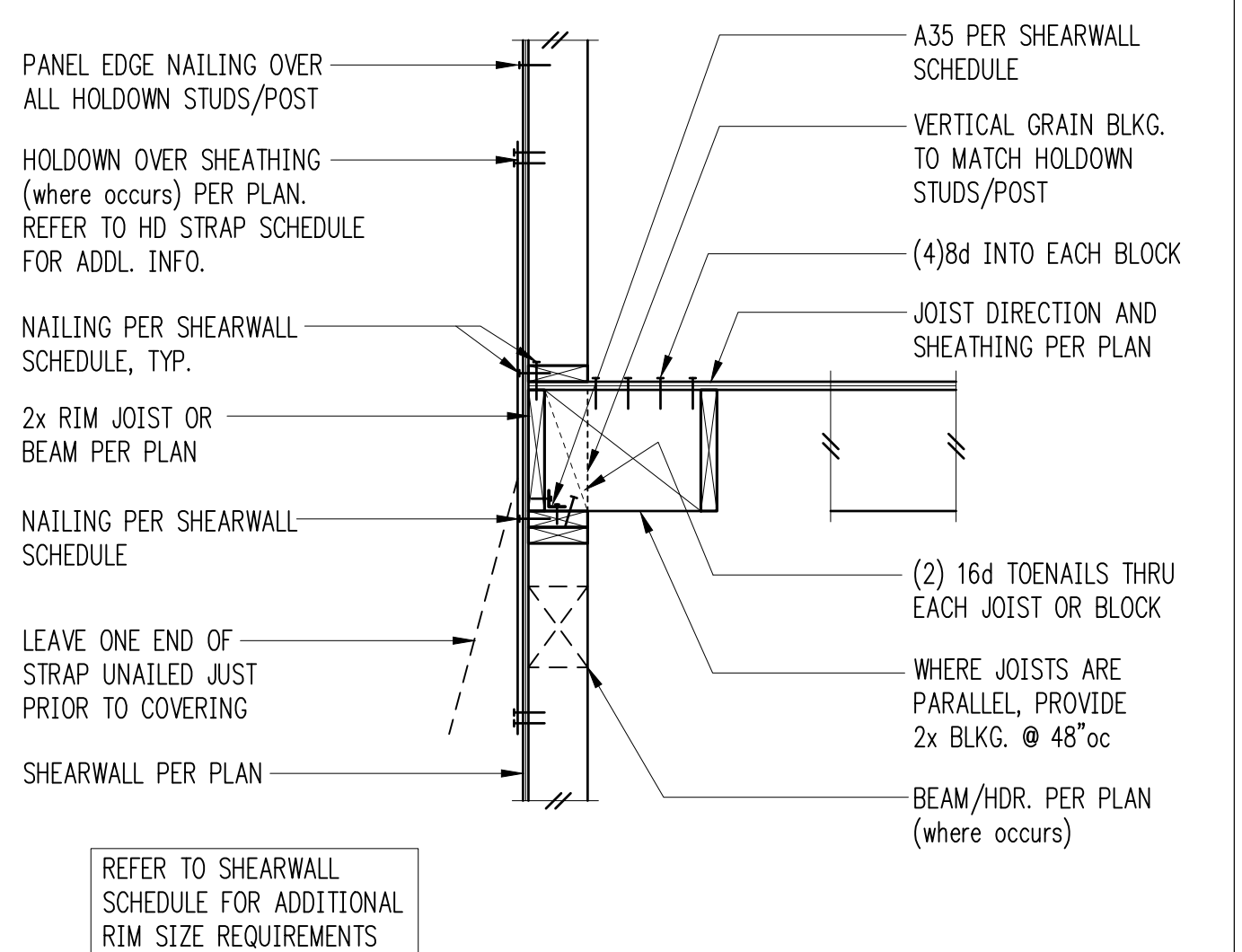
CS/CMST Holdown at Floor Beam Parallel 5



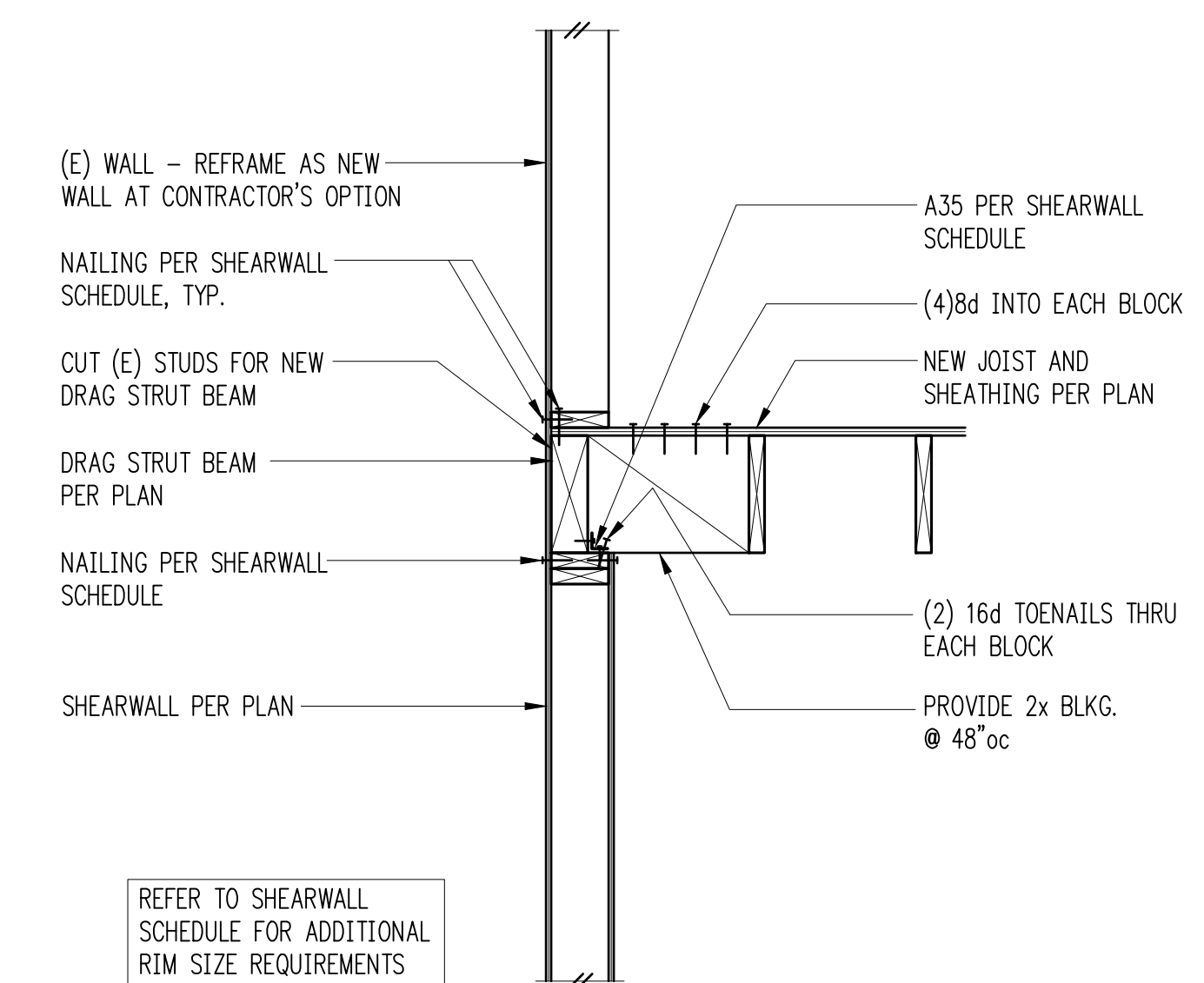
Interior Shearwall Below Existing Floor 6



Interior Shearwall Below Floor 7

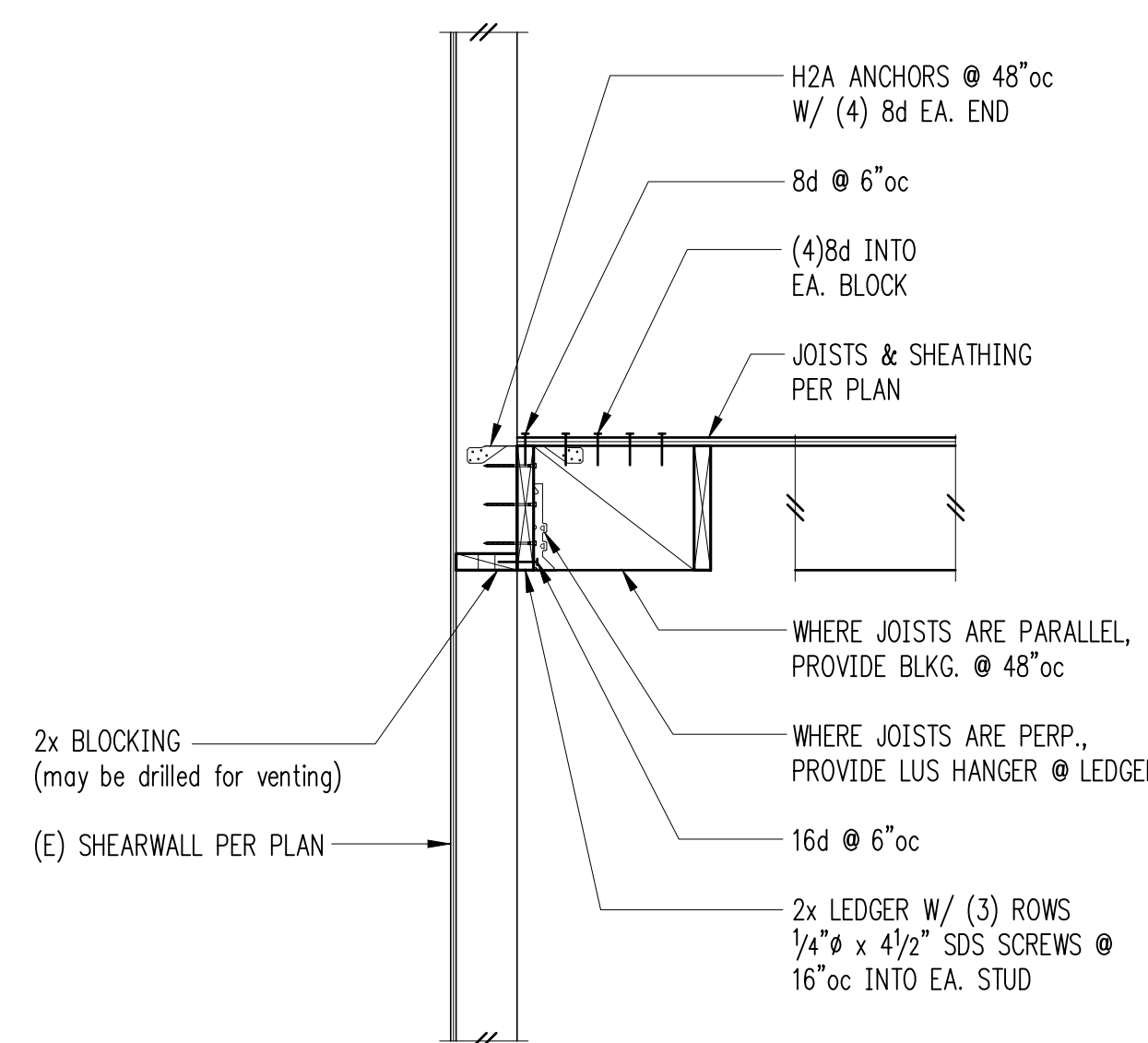


Exterior Floor Framing 8

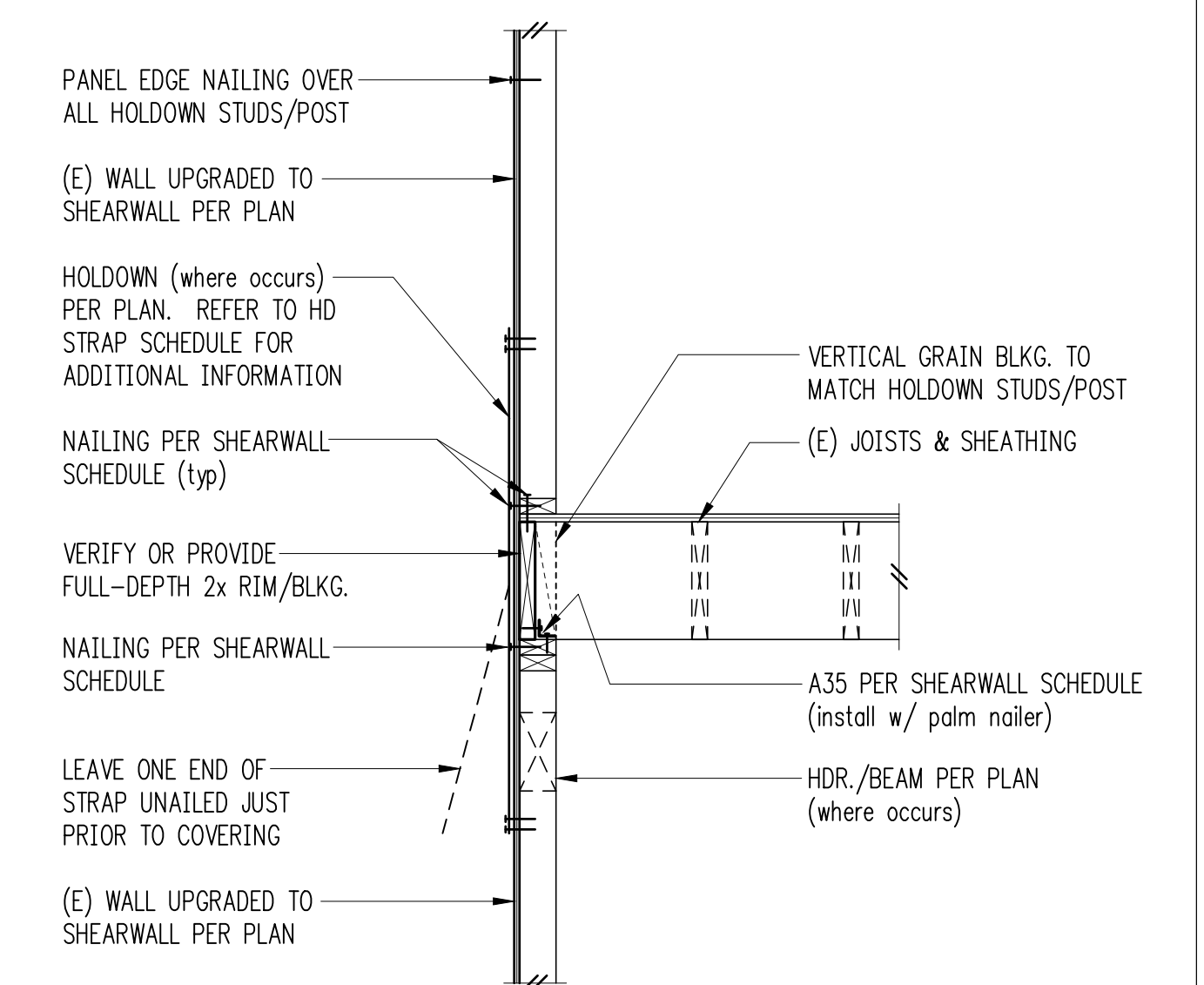


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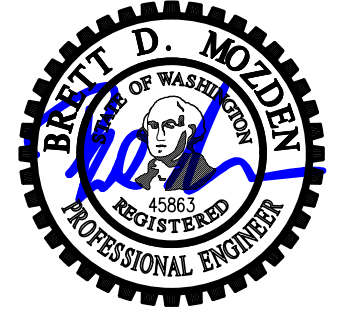
Exterior Floor Framing 10



11



Existing Exterior Floor Framing 12



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 APPROVED: BDM

REVISIONS:

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S4.3