

BASIS OF BEARINGS:

THE CENTERLINE OF BUTTERWORTH ROAD, BEING NORTH 20°10'45" EAST PER THE PLAT OF TONJA ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 77 OF PLATS, PAGE 64, IN KING COUNTY, WASHINGTON.

VERTICAL DATUM:

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

BENCHMARK:

LAKE WASHINGTON WATER SURFACE ELEVATION PER U.S. ARMY CORPS OF ENGINEERS, SEATTLE DISTRICT, WATER MANAGEMENT, ELEVATION = 17.17 NAVD 88 ON MARCH 1, 2024 AT 10:30 A.M.

CONTOUR INTERVAL:

2 FEET

LEGAL DESCRIPTION:

(PER CHICAGO TITLE COMPANY OF WASHINGTON COMMITMENT NO. 0246999-ETU, THIRD, DATED JANUARY 11, 2024)

LOTS 3 AND 4, TONJA ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 77 OF PLATS, PAGE 64, IN KING COUNTY, WASHINGTON.

EXCEPT THAT PORTION OF SAID LOT 3, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 3;

THENCE SOUTH 01°35'04" WEST ALONG THE EASTERLY LINE OF LOT 3 A DISTANCE OF 75.31 FEET;

THENCE NORTH 10°03'02" WEST A DISTANCE OF 74.73 FEET;

THENCE NORTH 76°21'57" WEST A DISTANCE OF 10.15 FEET, MORE OR LESS, TO THE NORTH LINE OF SAID LOT 3;

THENCE SOUTH 88°24'56" EAST ALONG SAID NORTH LINE 25.00 FEET TO THE POINT OF BEGINNING, AND THE END OF THIS EXCEPTION;

TOGETHER WITH AN UNDIVIDED 1/7TH INTEREST IN LOT 1 OF SAID PLAT; AND

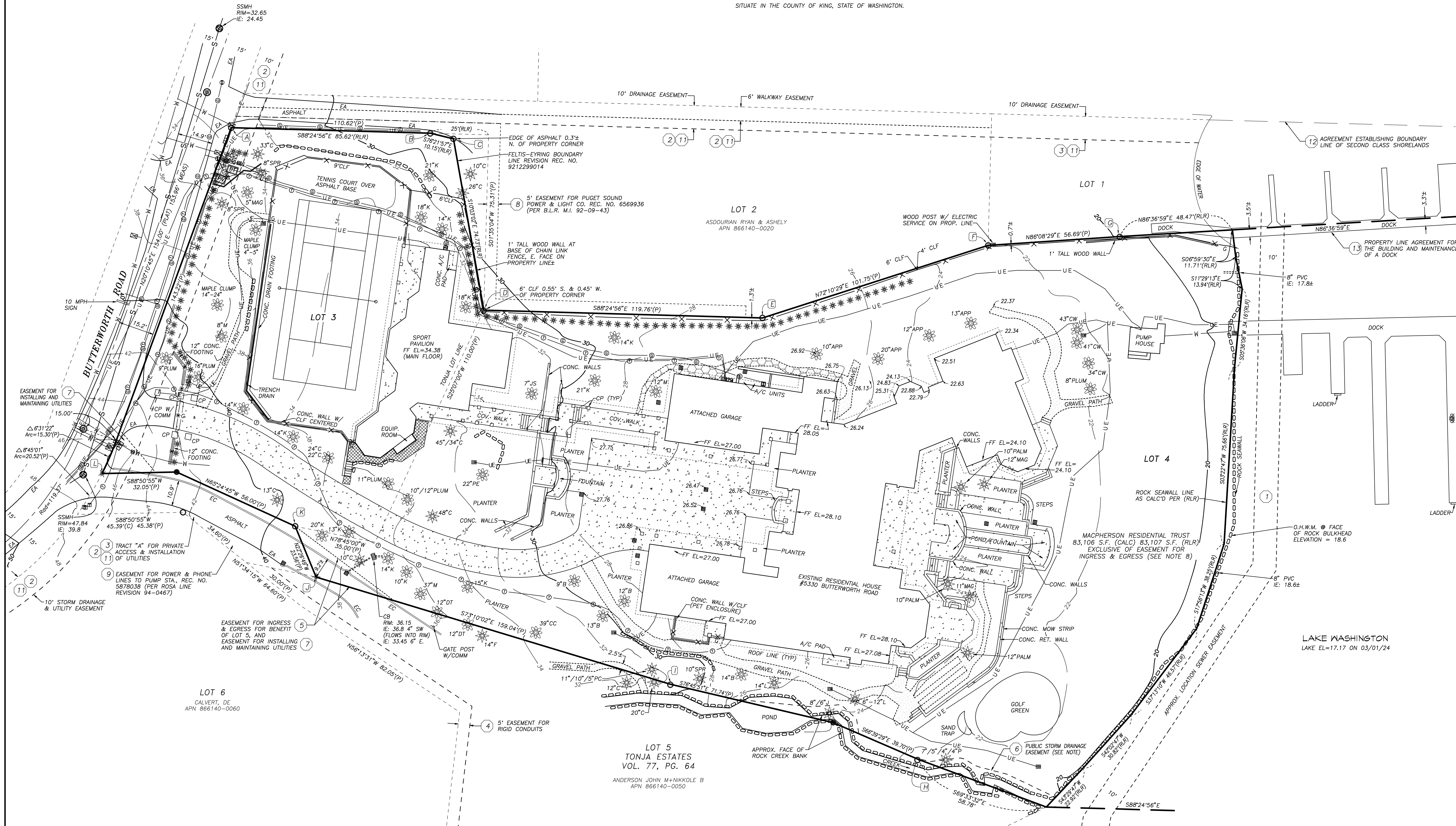
TOGETHER WITH AN UNDIVIDED 1/2 INTEREST IN TRACT A OF SAID PLAT;

(ALSO KNOWN AS THE ROSA LINE REVISION, CITY OF MERCER ISLAND FILE NO. 94-0467, RECORDED UNDER RECORDING NUMBER 9606139004).

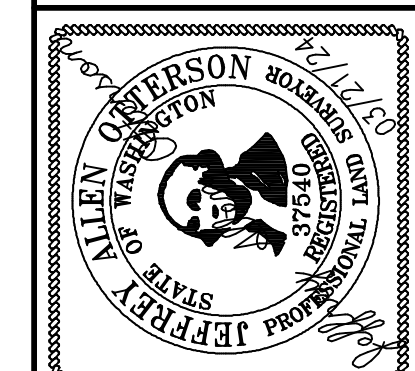
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

FOUND/SET PROPERTY CORNER LEGEND:

- (A) FOUND 3/4" IRON PIPE & CAP "LS 20764" S49°E 0.09'
- (B) FOUND 3/4" IRON PIPE & CAP W/TACK "LS 20764" S38°W 0.09'
- (C) FOUND 1/2" REBAR & CAP "TERRANE 15025 56664 52088 57176"
- (D) FOUND 3/4" IRON PIPE & CAP W/TACK "LS 20764" S26°W 0.16'
- (E) FOUND 1/2" REBAR & CAP "TERRANE 15025 56664 52088 57176"
- (F) FOUND 3/4" IRON PIPE & CAP W/TACK "LS 20764" S51°E 0.08'
- (G) FOUND 3/4" IRON PIPE & CAP W/TACK "LS 20764" S4°W 0.17'
- (H) FOUND 3/4" IRON PIPE & CAP W/TACK "LS 20764" S34°W 0.41'
- (J) FOUND 3/4" IRON PIPE & CAP W/TACK "LS 20764" S22°W 0.22'
- (V) FOUND MAG NAIL & WASHER "37427" N49°E 0.09'
- (K) FOUND 1/2" REBAR & CAP "TRIAD ASSOC 19620 22335 21402 18094"
- (L) SET MAG NAIL & I.D. WASHER "LS 37540"



SURVEYOR'S CERTIFICATE
 THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF ROGER MACPHERSON RESIDENTIAL TRUST IN AND NANCY MACPHERSON RESIDENTIAL TRUST
 Jeffrey Allen Otterson
 P.L.S. CERTIFICATE NO. 37540



ALTA/NSPS LAND TITLE SURVEY
FOR: MACPHERSON RESIDENTIAL TRUST
5330 BUTTERWORTH ROAD
MERCER ISLAND, WA 98040

CASCADE LAND SURVEYING
 Complete Land Surveying Services
 16009 AP TUBBS RD E, BUCKLEY, WA 98321
 PHONE: (253) 820-4016
 Email: jeff@cascadelands.com
 CHECKED BY: JAO
 SCALE: 1"=20'
 DRAWN BY: JAO
 JOB NO.: 2024-003
 DATE: Thu., Mar. 21, 2024
 SHEET: 2 OF 2

TREE RETENTION (MICC 19.10.060)

THE FOLLOWING TREES SHALL BE PRIORITIZED FOR RETENTION:

- A. EXCEPTIONAL TREES
- B. TREES WITH A DIAMETER OF MORE THAN 24 INCHES;
- C. TREES THAT HAVE A GREATER LIKELIHOOD OF LONGEVITY; AND
- D. TREES THAT ARE PART OF A HEALTHY GROVE.

DEFINITION OF EXCEPTIONAL TREE (MICC 19.10.16):

A TREE OR GROUP OF TREES THAT BECAUSE OF ITS UNIQUE HISTORICAL, ECOLOGICAL, OR AESTHETIC VALUE CONSTITUTES AN IMPORTANT COMMUNITY RESOURCE. AN EXCEPTIONAL TREE IS A TREE THAT IS RARE OR EXCEPTIONAL BY VIRTUE OF ITS SIZE, SPECIES, CONDITION, CULTURAL/HISTORIC IMPORTANCE, AGE, AND/OR CONTRIBUTION AS PART OF A TREE GROVE. TREES WITH A DIAMETER OF MORE THAN 36 INCHES, OR WITH A DIAMETER THAT IS EQUAL TO OR GREATER THAN THE DIAMETER LISTED IN THE EXCEPTIONAL TREE TABLE, ARE CONSIDERED EXCEPTIONAL TREES.

REGULATED TREES (TREES 10" OR GREATER) 32 EXISTING TREES

REQUIRED RETENTION 10 TREES (30%)

PROPOSED RETENTION (10 REMOVED) 22 TREES (70%)

TREE REPLACEMENT (MICC 19.10.070)

- <10" 2
- 10" - 24" 14
- 24" - 36" 0
- >36" OR EXCEPTIONAL TREES 0

TOTAL REPLACEMENTS 16

NOTE - SEE TREE INVENTORY & REPLACEMENT FORM

REPLANTING REQUIREMENTS:

- 50% OF THE TREES NEED TO BE PACIFIC NORTHWEST NATIVE, PER THE KING COUNTY NATIVE PLANT GUIDE FOR WESTERN WASHINGTON.
- REPLACEMENT TREES NEED TO BE AT LEAST 10' APART FROM EACH OTHER, STRUCTURES, FENCES AND UTILITIES.
- CONIFERS SHALL BE AT LEAST 6' TALL.
- DECIDUOUS TREES SHALL BE AT LEAST 1.5" CALIPER.
- IF REQUESTED AND YOU CAN SHOW NO ROOM EXISTS ON SITE FOR ALL THE TREES, THE REMAINDER CAN BE A FEE IN LIEU IF REQUESTED.
- A TREE WATERING PLAN MUST BE IMPLEMENTED TO ENSURE THE TREES SURVIVE LONG TERM.

LEGEND

- TREE PROTECTION FENCING (PER ARBORIST REPORT)
- CLEARING LIMITS (PER CIVIL PLANS)
- ⊗ DEAD, SICK, DYING TREE, PROPOSED FOR REMOVAL
- ⊗ REGULATED TREE, PROPOSED FOR REMOVAL
- ⊗ REPLACEMENT TREE UNDER THIS PERMIT (16 TOTAL)
- ⊗ REPLACEMENT TREE FOR PERMIT 2503-110 (15 TOTAL)



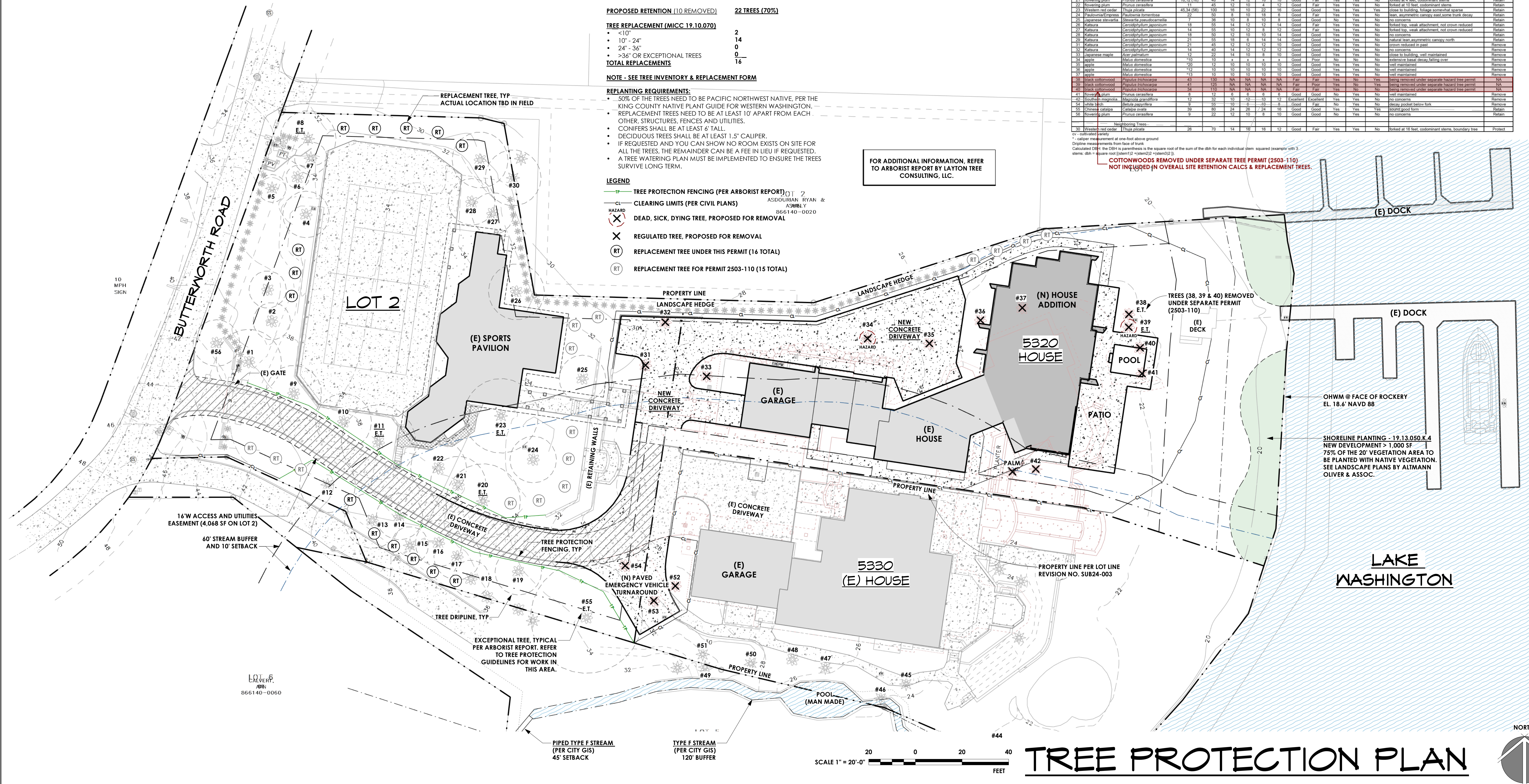
Layton Tree Consulting LLC
For: MacPherson Construction
Site: 5320 Butterworth RD - Mercer Island
Tree Inventory Table
Date: 2/29/2024

| Tree # | Species Common Name | Species Scientific Name | DBH (inches) | Height (feet) | Dignity (feet) | | | Health Condition | Structural Condition | Regulated | Valuable | Exceptional | Comments | Proposal | |
|--------|---------------------|----------------------------|--------------|---------------|----------------|----|----|------------------|----------------------|-----------|----------|-------------|----------------------------------------------------|--------------------------------------------------------|--------|
| | | | | | N | W | E | | | | | | | | |
| 1 | Evergreen gum | Phytolacca americana | 18 | 40 | 12 | 14 | 18 | Good | Good | No | Yes | No | lean, asymmetric canopy east | Retain | |
| 2 | Japanese maple | Acer palmatum | 8 | 26 | 8 | 8 | 14 | Good | Good | No | Yes | No | no concerns | Retain | |
| 3 | Japanese maple | Acer palmatum | 14 | 24 | 10 | 10 | 12 | Fair | Fair | Yes | Yes | Yes | large cluster, extensive soil rot fungus | Remove | |
| 4 | Japanese maple | Acer palmatum | 5.5 & 4 (tr) | 18 | 12 | 10 | 12 | Good | Good | No | Yes | No | no concerns | Retain | |
| 5 | Berberis aquifolium | Phytolacca americana | 18 | 45 | 4 | 6 | 8 | Good | Good | No | Yes | No | no concerns | Retain | |
| 6 | Southern magnolia | Magnolia grandiflora | 6 | 20 | 4 | 4 | 8 | Good | Fair | No | Yes | No | lean, asymmetric canopy east | Retain | |
| 7 | Redwood | Sequoia sempervirens | 18 | 45 | 4 | 6 | 8 | Good | Good | No | Yes | No | no concerns | Retain | |
| 8 | Western red cedar | Thuja plicata | 33 | 70 | 14 | 10 | 18 | Good | Good | Yes | Yes | Yes | no concerns | Retain | |
| 9 | Katana | Camptotheca acuminata | 14 | 36 | 10 | 18 | 12 | Good | Fair | Yes | Yes | No | old broken top | Retain | |
| 10 | Katana | Camptotheca acuminata | 16 | 45 | 12 | 14 | 8 | Good | Fair | Yes | Yes | No | no concerns | Retain | |
| 11 | Western red cedar | Thuja plicata | 24.22 (32) | 70 | 18 | 18 | 18 | Excellent | Good | Yes | Yes | Yes | trunk fork at 8 feet, crown reduced | Retain | |
| 12 | Alaska cedar | Chamaecyparis nootkanensis | 13 | 20 | 12 | 14 | 12 | Excellent | Excellent | Yes | Yes | No | no concerns | Retain | |
| 13 | Katana | Camptotheca acuminata | 20 | 45 | 18 | 10 | 8 | Good | Fair | Yes | Yes | No | trunk fork at 8 feet, crown reduced | Retain | |
| 14 | Katana | Camptotheca acuminata | 13 | 35 | 12 | 8 | 8 | Fair | Fair | Yes | Yes | No | upside down crown, hollowed | Retain | |
| 15 | Alaska cedar | Chamaecyparis nootkanensis | 10 | 40 | 8 | 8 | 8 | Excellent | Floor | Yes | Yes | No | rotted at 10 feet, codominant stems | Remove | |
| 16 | Katana | Camptotheca acuminata | 14 | 40 | 12 | 10 | 8 | Good | Fair | Yes | Yes | No | rotted top, crown reduced | Retain | |
| 17 | Katana | Camptotheca acuminata | 10 | 40 | 10 | 12 | 8 | Good | Good | Yes | Yes | No | no concerns | Retain | |
| 18 | Sacred maple | Acer macrophyllum | 37 | 85 | 12 | 16 | 20 | 4 | Floor | Fair | Yes | Yes | Yes | extensive soil rot fungus | Remove |
| 19 | Katana | Camptotheca acuminata | 10 | 40 | 12 | 8 | 8 | Good | Good | Yes | Yes | No | crown reduced | Retain | |
| 20 | Western red cedar | Thuja plicata | 41 | 80 | 12 | 16 | 20 | 10 | Good | Fair | Yes | Yes | Yes | significant trunk decay, forked top, slight lean south | Retain |
| 21 | Evergreen gum | Phytolacca americana | 18.12 (15) | 40 | 14 | 12 | 10 | Good | Fair | Yes | Yes | No | rotted at 4 feet, codominant stems | Retain | |
| 22 | Evergreen gum | Phytolacca americana | 11 | 45 | 12 | 10 | 4 | Good | Fair | Yes | Yes | Yes | rotted at 10 feet, codominant stems | Retain | |
| 23 | Western red cedar | Thuja plicata | 45.34 (56) | 100 | 18 | 10 | 22 | 18 | Good | Good | Yes | Yes | Yes | close to building, bridge somewhat sparse | Retain |
| 24 | Pacific yew | Taxus canadensis | 10 | 50 | 10 | 10 | 18 | Good | Fair | Yes | Yes | No | lean, asymmetric canopy east, some trunk decay | Retain | |
| 25 | Japanese sycamore | Shorea pauciflorata | 7 | 36 | 10 | 8 | 10 | Good | Good | No | Yes | No | no concerns | Retain | |
| 26 | Katana | Camptotheca acuminata | 10 | 55 | 14 | 12 | 14 | Good | Fair | Yes | Yes | No | rotted top, weak attachment, rot crown reduced | Retain | |
| 27 | Katana | Camptotheca acuminata | 14 | 55 | 10 | 12 | 8 | Good | Fair | Yes | Yes | No | rotted top, weak attachment, rot crown reduced | Retain | |
| 28 | Katana | Camptotheca acuminata | 18 | 55 | 12 | 10 | 14 | Good | Fair | Yes | Yes | No | no concerns | Retain | |
| 29 | Katana | Camptotheca acuminata | 21 | 55 | 18 | 8 | 14 | Good | Good | Yes | Yes | No | rotted top, weak attachment, rot crown reduced | Retain | |
| 30 | Katana | Camptotheca acuminata | 21 | 45 | 12 | 12 | 12 | Good | Good | Yes | Yes | No | rotted top, weak attachment, rot crown reduced | Retain | |
| 31 | Katana | Camptotheca acuminata | 10 | 40 | 14 | 14 | 14 | Good | Good | Yes | Yes | No | no concerns | Retain | |
| 32 | Japanese maple | Acer palmatum | 10 | 22 | 14 | 10 | 8 | Good | Good | Yes | Yes | No | close to building, well maintained | Remove | |
| 33 | Japanese maple | Acer palmatum | 10 | 22 | 14 | 10 | 8 | Good | Good | Yes | Yes | No | close to building, well maintained | Remove | |
| 34 | Apple | Malus domestica | 10 | 10 | 4 | 4 | 4 | Good | Floor | No | No | No | extensive basal decay, falling over | Remove | |
| 35 | Apple | Malus domestica | 20 | 12 | 10 | 10 | 10 | Good | Good | Yes | Yes | No | well maintained | Remove | |
| 36 | Apple | Malus domestica | 12 | 10 | 10 | 10 | 10 | Good | Good | Yes | Yes | No | well maintained | Remove | |
| 37 | Apple | Malus domestica | 13 | 10 | 10 | 10 | 10 | Good | Good | Yes | Yes | No | well maintained | Remove | |
| 38 | Black cottonwood | Populus nigra | 41 | 120 | NA | NA | NA | Fair | Floor | Yes | No | Yes | being removed under separate hazard tree permit | NA | |
| 39 | Black cottonwood | Populus nigra | 31 | 120 | NA | NA | NA | Fair | Floor | Yes | No | Yes | being removed under separate hazard tree permit | NA | |
| 40 | Black cottonwood | Populus nigra | 34 | 110 | NA | NA | NA | Fair | Floor | Yes | No | Yes | being removed under separate hazard tree permit | NA | |
| 41 | Evergreen gum | Phytolacca americana | 4 | 12 | 8 | 6 | 8 | Good | Good | No | Yes | No | well maintained | Remove | |
| 42 | Southern magnolia | Magnolia grandiflora | 19 | 32 | 10 | 12 | 10 | Excellent | Excellent | Yes | Yes | No | no concerns | Remove | |
| 43 | Latin yew | Taxus latifolia | 8 | 35 | 10 | 10 | 10 | Good | Fair | No | Yes | No | rotted pocket below fork | Remove | |
| 44 | Chinese catalpa | Catalpa bignonioides | 39 | 80 | 24 | 26 | 24 | 18 | Good | Good | Yes | Yes | Yes | rotted good form | Remove |
| 45 | Western red cedar | Thuja plicata | 8 | 22 | 12 | 10 | 8 | Good | Good | No | Yes | No | no concerns | Retain | |
| 46 | Western red cedar | Thuja plicata | 26 | 70 | 14 | 16 | 18 | Good | Fair | Yes | Yes | No | rotted at 18 feet, codominant stems, boundary tree | Protect | |

FOR ADDITIONAL INFORMATION, REFER TO ARBORIST REPORT BY LAYTON TREE CONSULTING, LLC.

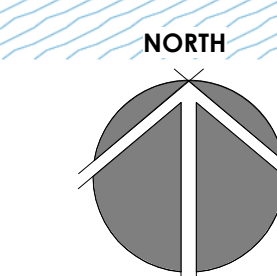
COTTONWOODS REMOVED UNDER SEPARATE TREE PERMIT (2503-110) NOT INCLUDED IN OVERALL SITE RETENTION CALC'S & REPLACEMENT TREES.

SCALE THIS DRAWING, IN FEET
0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48



SCALE 1" = 20'-0" FEET

TREE PROTECTION PLAN



MacPherson
Construction & Design
22605 SE 56th St Suite 140, Issaquah, WA 98029
PH. 425.391.3333 FAX 425.557.2841

MACPHERSON RESIDENCE
5320 BUTTERNORTH RD.
MERCER ISLAND, WA 98040
PARCEL #: 866140-0040
TREE SITE PLAN

| DATE | REV. | BY | DESCRIPTION |
|--------|------|-----|------------------|
| 4/1/25 | | DAN | PERMIT SUBMITTAL |
| | | | |
| | | | |
| | | | |

SHEET NUMBER
A1.0

DEMOLITION NOTES

REMOVAL OF EXISTING STRUCTURES:
 ANY EXISTING STRUCTURE IDENTIFIED ON THE PLAN FOR DEMOLITION, IS TO BE COMPLETELY DEMOLISHED DOWN TO THE FOUNDATION. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL WALLS, ROOFING, FLOORS, FIXTURES, AND UTILITIES WITHIN THE DESIGNATED DEMOLITION AREA.
 ALL DEBRIS, INCLUDING CONSTRUCTION MATERIALS, WASTE, AND HAZARDOUS SUBSTANCES, MUST BE PROPERLY REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS AND ENVIRONMENTAL GUIDELINES.

PROTECTION OF ADJACENT STRUCTURES AND AREAS:
 PRIOR TO DEMOLITION, ENSURE THAT ALL ADJACENT STRUCTURES AND AREAS NOT DESIGNATED FOR DEMOLITION ARE ADEQUATELY PROTECTED TO PREVENT ANY DAMAGE. ERECT TEMPORARY BARRIERS AND SAFETY FENCING AS NEEDED TO SECURE THE DEMOLITION SITE AND PROTECT WORKERS.

UTILITY DISCONNECTIONS AND SAFETY MEASURES:
 ALL UTILITIES (ELECTRICAL, GAS, WATER, SEWAGE, ETC.) MUST BE SAFELY DISCONNECTED OR CAPPED OFF BEFORE THE COMMENCEMENT OF DEMOLITION WORK. FOLLOW ALL SAFETY PROTOCOLS AND GUIDELINES AS PER OSHA AND LOCAL SAFETY STANDARDS TO ENSURE A SAFE DEMOLITION PROCESS.

SITE RESTORATION:
 UPON COMPLETION OF DEMOLITION, THE SITE MUST BE CLEARED OF ALL DEBRIS AND WASTE MATERIALS. THE SITE MUST BE GRADED AS NECESSARY AND RESTORED TO MATCH THE EXISTING SURROUNDINGS, INCLUDING ANY LANDSCAPING FEATURES. THIS INCLUDES ENSURING PROPER DRAINAGE AND PREVENTING EROSION BY STABILIZING THE SOIL.

HARDSCAPE

DESCRIPTION: THE SOLID, HARD, ELEMENTS OR STRUCTURES THAT ARE INCORPORATED INTO LANDSCAPING, THE HARDSCAPE INCLUDES, BUT IS NOT LIMITED TO, STRUCTURES, PAVED AREAS, STAIRS, WALKWAYS, DECKS, PATIOS, ROCKERIES AND RETAINING WALLS, AND SIMILAR CONSTRUCTED ELEMENTS THAT DO NOT HAVE A ROOF. BUILDINGS, ROOFS AND DRIVEWAY EXCLUDED.

| | |
|---------------------|-----------|
| NET LOT AREA | 59,029 SF |
| UNUSED LOT COVERAGE | 3,135 SF |
| 9% OF LOT AREA | 5,313 SF |
| ALLOWED HARDSCAPE | 8,448 SF |

EXISTING HARDSCAPE

| | |
|----------------------------|----------|
| TENNIS COURT | 6,171 SF |
| PATIOS & DECKS (UNCOVERED) | 1,023 SF |
| WALKWAYS, STAIRS, WALLS | 1,458 SF |
| TOTAL | 8,652 SF |

REMOVED HARDSCAPE

| | |
|-------|----------|
| TOTAL | 1,778 SF |
|-------|----------|

NEW HARDSCAPE

| | |
|-------------------------|----------|
| PATIOS (UNCOVERED) | 882 SF |
| WALKWAYS, STAIRS, WALLS | 880 SF |
| TOTAL | 1,762 SF |

TOTAL PROJECT HARDSCAPE

| | |
|-------|------------------|
| TOTAL | 8,348 SF (14.1%) |
|-------|------------------|

NOTE: EXISTING HARDSCAPE IS LEGALLY NON-CONFORMING. PROJECT PROPOSES A NET DECREASE IN HARDSCAPE.

LOT COVERAGE

DESCRIPTION: TOTAL AREA OF A LOT THAT MAY BE COVERED BY A COMBINATION OF THE BUILDINGS AND VEHICULAR DRIVING SURFACES, BASED ON NET LOT AREA, DRIVEWAYS

| | |
|----------------------------|-----------|
| NET LOT AREA | 59,029 SF |
| ALLOWED LOT COVERAGE (40%) | 23,612 SF |

EXISTING LOT COVERAGE

| | |
|-------------------------------------|-----------|
| MAIN STRUCTURE (ROOF) | 5,930 SF |
| ACCESSORY BUILDING (ROOF) | 4,684 SF |
| VEHICULAR USE (DRIVEWAY, & PARKING) | 3,170 SF |
| COVERED PATIOS | 0 SF |
| TOTAL | 14,084 SF |

REMOVED LOT COVERAGE

| | |
|-------------------------------------|----------|
| MAIN STRUCTURE (ROOF) | 2,806 SF |
| ACCESSORY BUILDING (ROOF) | 430 SF |
| VEHICULAR USE (DRIVEWAY, & PARKING) | 301 SF |
| COVERED PATIOS | 0 SF |
| TOTAL | 3,537 SF |

NEW LOT COVERAGE

| | |
|-------------------------------------|-----------|
| MAIN STRUCTURE (ROOF) | 3,520 SF |
| ACCESSORY BUILDING (ROOF) | 0 SF |
| VEHICULAR USE (DRIVEWAY, & PARKING) | 5,960 SF |
| COVERED PATIOS | 750 SF |
| TOTAL | 10,230 SF |

TOTAL PROJECT LOT COVERAGE

| | |
|-------|-------------------|
| TOTAL | 20,477 SF (34.7%) |
|-------|-------------------|

UNUSED LOT COVERAGE

| | |
|-------|----------|
| TOTAL | 3,135 SF |
|-------|----------|

GROSS FLOOR AREA

DESCRIPTION: TOTAL SQUARE FOOTAGE OF FLOOR AREA, BOUNDED BY THE EXTERIOR FACES OF THE BUILDING.

EXISTING FLOOR AREA:

| | |
|-------------------------------|----------|
| MAIN | 3,995 SF |
| UPPER | 1,225 SF |
| GARAGE | 1,130 SF |
| SPORTS PAVILION (ACCY. BLDG.) | 2,480 SF |
| MODIFIER (12'-16" = 150%) | 0 SF |
| MODIFIER (12'-16" = 200%) | 0 SF |
| TOTAL | 8,830 SF |

REMOVED FLOOR AREA:

| | |
|---------------------------|----------|
| MAIN | 1,905 SF |
| UPPER | 1,170 SF |
| GARAGE | 305 SF |
| MODIFIER (12'-16" = 150%) | 0 SF |
| MODIFIER (12'-16" = 200%) | 0 SF |
| TOTAL | 2,380 SF |

NEW/ADDITION FLOOR AREA:

| | |
|---------------------------|----------|
| MAIN | 3,148 SF |
| UPPER | 1,468 SF |
| DECKS (COVERED) | 250 SF |
| GARAGE | 0 SF |
| MODIFIER (12'-16" = 150%) | 514 SF |
| MODIFIER (12'-16" = 200%) | 65 SF |
| TOTAL | 5,445 SF |

TOTAL PROPOSED AREA:

| | |
|-------|-------------------|
| TOTAL | 11,895 SF (21.2%) |
|-------|-------------------|

PROJECT NARRATIVE

GENERAL DESCRIPTION: THIS PROJECT PROPOSES TO DEMOLISH A PORTION OF EXISTING HOUSE & GARAGE, THEN REMODEL THE EXISTING HOUSE AND EXPAND TO THE NORTHWEST.

DEMOLITION: INCLUDES REMOVING A PORTION OF THE EXISTING GARAGE, AN EXISTING TRELIS, ROOF SUPPORT COLUMNS AND ROOF OVERHANGS, AND A LARGE PORTION OF THE EXISTING HOUSE.

NEW CONSTRUCTION: EXPANSION OF THE EXISTING LOWER AND UPPER FLOORS, A NEW COVERED PATIO AND DRIVEWAY.

BUILDING HEIGHT

30' MAX FROM AVERAGE BUILDING ELEVATION (ABE)
 30' MAX FROM TOP OF PLATE ON DOWNHILL SLOPE
NOTE: SEE SHEET A3.0 - EAST ELEVATION FOR HEIGHT COMPLIANCE

LOT ZONING

(MICC 19.02.020)

LOT ZONING: R-15

GROSS LOT AREA: 59,029 sf (PER SURVEY)
NET LOT AREA: 59,029 sf (ACCESS EASEMENT & DRIVEWAY IS SHARED)

MAX LOT COVERAGE: 23,612 sf MAX40% (<15% LOT SLOPE) = (IMPERVIOUS SURFACES)

GROSS FLOOR AREA: 12,000 SF OR 40% LOT AREA (WHICHEVER IS LESS)

MAX BUILDING HEIGHT: 30' (FROM AVG. BLDG. ELEV.)
 30' MAX TO PLATE ON DOWNHILL SLOPE
 5.4% (46.0' HIGH) - 19.0' (LOW) / 496' (DISTANCE)

SETBACKS/YARDS

FRONT YARD: 20'-0" MIN

SHORELINE: 25'-0" BUFFER FROM OHWM
 25'-0" SETBACK

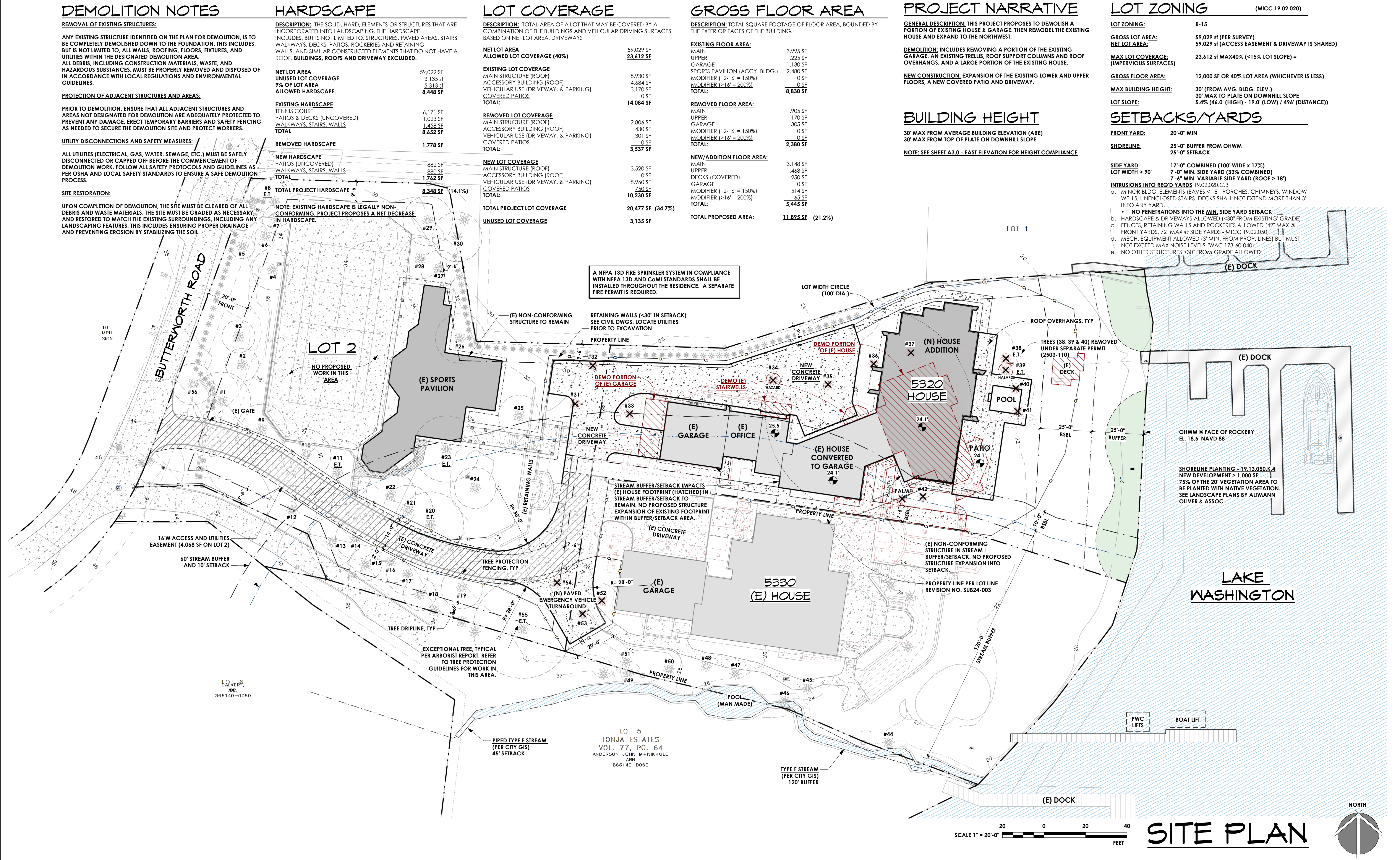
SIDE YARD: 17'-0" COMBINED (100' WIDE x 17%)
LOT WIDTH > 90': 7'-0" MIN. SIDE YARD (33% COMBINED)
 7'-6" MIN. VARIABLE SIDE YARD (ROOF > 18')

INTRUSIONS INTO REQ'D YARDS 19.02.020.C.3

- MINOR BLDG. ELEMENTS (EAVES < 18", PORCHES, CHIMNEYS, WINDOW WELLS, UNENCLOSED STAIRS, DECKS SHALL NOT EXTEND MORE THAN 3' INTO ANY YARD)
- NO PENETRATIONS INTO THE MIN. SIDE YARD SETBACK
- HARDSCAPE & DRIVEWAYS ALLOWED (<30' FROM EXISTING GRADE)
- FENCES, RETAINING WALLS AND ROCKERIES ALLOWED (42" MAX @ FRONT YARDS, 72" MAX @ SIDE YARDS - MICC 19.02.050)
- MECH. EQUIPMENT ALLOWED (3' MIN. FROM PROP. LINES) BUT MUST NOT EXCEED MAX NOISE LEVELS (WAC 173-60-040)
- NO OTHER STRUCTURES >30' FROM GRADE ALLOWED

SCALE THIS DRAWING, IN FEET

0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48



A NFPA 13D FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 13D AND CoMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.

RETAINING WALLS (<30" IN SETBACK) SEE CIVIL DWGS. LOCATE UTILITIES PRIOR TO EXCAVATION

STREAM BUFFER/SETBACK IMPACTS (E) HOUSE FOOTPRINT (HATCHED) IN STREAM BUFFER/SETBACK TO REMAIN. NO PROPOSED STRUCTURE EXPANSION OF EXISTING FOOTPRINT WITHIN BUFFER/SETBACK AREA.

EXCEPTIONAL TREE, TYPICAL PER ARBORIST REPORT. REFER TO TREE PROTECTION GUIDELINES FOR WORK IN THIS AREA.

PROPERTY LINE PER LOT LINE REVISION NO. SUB24-003

SHORELINE PLANTING - 19.13.050.K.4 NEW DEVELOPMENT > 1,000 SF - 75% OF THE 20' VEGETATION AREA TO BE PLANTED WITH NATIVE VEGETATION. SEE LANDSCAPE PLANS BY ALTMANN OLIVER & ASSOC.

OHWM @ FACE OF ROCKERY EL. 18.6' NAVD 88

PROPERTY LINE PER LOT LINE REVISION NO. SUB24-003

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MACPHERSON RESIDENCE

5320 BUTTERWORTH RD.
 MERCER ISLAND, WA 98040
 PARCEL #: 866140-0040

SITE PLAN

| DATE | REV. | BY | DESCRIPTION |
|--------|------|-----|------------------|
| 4/1/25 | | DAN | PERMIT SUBMITTAL |
| | | | |
| | | | |
| | | | |

SHEET NUMBER

A1.1

MacPherson
 Construction & Design
 22605 SE 56th St Suite 140, Issaquah, WA 98029
 PH. 425.391.3333 FAX 425.557.2841