

SYMBOL LEGEND

	NEW WOOD FRAME WALL		DATUM
	CONCRETE WALL		COMBINATION ALARM
	EXISTING WALL		EXHAUST FAN
	WALL TO BE REMOVED		HOSE BIB
	WOOD FRAMING		GAS STUB
	SHIM OR BLOCKING		DOWNSPOUT
	BEAM		OVERHEAD ELECTRICAL
	BEAM OR JOIST HANGER		UNDERGROUND ELECTRICAL
	EXTERIOR GLAZING SYMBOL		NATURAL GAS LINE
	INTERIOR ELEVATION		WATER LINE
	CROSS SECTION		SANITARY SEWER
	DETAIL		STORM DRAIN
			PHONE LINE
			CABLE

ABBREVIATIONS

&	AND	MAX	MAXIMUM
@	AT	MECH	MECHANICAL
#	POUND / NUMBER	MEMBR	MEMBRANE
AB	ANCHOR BOLT	MET	METAL
ABV	ABOVE	MFR	MANUFACTURER
ADJ	ADJUSTABLE / ADJACENT	MGMT	MANAGEMENT
AFG	ABOVE FINISH FLOOR	MIN	MINIMUM
AFG	ABOVE FINISH GRADE	MW	MICROWAVE
ALT	ALTERNATE		
ALUM	ALUMINUM	NIC	NOT IN CONTRACT
APPROX	APPROXIMATE	NOM	NOMINAL
AVG	AVERAGE		
AWN	AWNING	O/	OVER
		OC	ON CENTER
BB	BOTTOM OF BEAM	OH	OVERHEAD
BD	BOARD	OPNG	OPENING
BDRM	BEDROOM	OPP	OPPOSITE
BL	BOTTOM OF LEDGER	OPT'L	OPTIONAL
BLDG	BUILDING		
BLKG	BLOCKING	PBS	PER BUILDERS SELECTION
BM	BEAM	POS	PER OWNERS SELECTION
BMP	BEST MANAGEMENT PRACTICES	PICT	PICTURE
BOT	BOTTOM	PL	PLATE
BOF	BOTTOM OF FOOTING	PL	PROPERTY LINE
BRG	BEARING	PLTR	PLANTER
BW	BOTTOM OF WALL	PLYVD	PLYWOOD
B&B	BOARD & BATTEN	PNL	PANEL
		PNT	PAINT
CAB	CABINET	PSL	PARALLEL STRAND LUMBER
CB	CATCH BASIN	PT	PRESSURE TREATED
CL	CENTER LINE		
CL	CLOSET	R	RISER
CLG	CEILING	RD	ROOF DRAIN
CLR	CLEAR	REF	REFERENCE
CMT	CASEMENT	REFN	REFINISH
CMU	CONCRETE MASONRY UNIT	REFRIG	REFRIGERATOR
CNTR	COUNTER	REINF	REINFORCE
COL	COLUMN	REQ'D	REQUIRED
CONC	CONCRETE	RH	RIGHT HAND
CONSTR	CONSTRUCTION	RM	ROOM
CONT	CONTINUOUS	RO	ROUGH OPENING
CONTR	CONTRACTOR		
COORD	COORDINATE	SB	SETBACK
COVD	COVERED	SCHED	SCHEDULE
CPT	CARPET	SECT	SECTION
		SF	SQUARE FEET
D	DRYER	SHT	SHEET
DBL	DOUBLE	SHTG	SHEETING
DIA	DIAMETER	SIM	SIMILAR
DIM	DIMENSION		
DH	DOUBLE HUNG		
DN	DOWN		
DP	DEEP	SG	SLAB ON GRADE
DR	DOOR	SS	STAINLESS STEEL
DS	DOWNSPOUT	STD	STANDARD
DW	DISHWASHER	STL	STEEL
DWG	DRAWING	STOR	STORAGE
		STRUCT	STRUCTURAL
(E)	EXISTING	SQ	SQUARE
EA	EACH	SUBFLR	SUBFLOOR
EL	ELEVATION	SUSP	SUSPENDED
ELEC	ELECTRIC / ELECTRICAL		
EQ	EQUAL	T	TREAD
EXT	EXTERIOR	T&B	TOP & BOTTOM
		T&G	TONGUE & GROOVE
FD	FLOOR DRAIN	TEMP	TEMPORARY
FDN	FOUNDATION	TB	TOP OF BEAM
FG	FIBERGLASS	THK	THICK
FIN	FINISH	TL	TOP OF LEDGER
FLR	FLOOR	TOP	TOP OF PARAPET
FP	FIREPLACE	TOP OF	TOP OF PLATE
FT	FOOT	T,PLT	TOP OF SLAB / SHTG
FTG	FOOTING	TS	TOP OF WALL
FX	FIXED	TW	TOP OF WALL
FZR	FREEZER	TYP	TYPICAL
GA	GAUGE	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	UON	UNLESS OTHERWISE NOTED
GL	GLU-LAM		
GRD	GRADE	VERT	VERTICAL
GWB	GYPSUM WALL BOARD	VOL	VOLUME
HDR	HOSE BIB	W	WASHER
HDWD	HEADER	W/	WITH
HORZ	HARDWOOD	W/	WOOD
HT	HORIZONTAL	WDW	WINDOW
HW	HEIGHT	WH	WATER HEATER
		WIC	WALK IN CLOSET
		W/O	WITH OUT
INSUL	INSULATION	WP	WATER / WEATHERPROOF
INT	INTERIOR	WWM	WELDED WIRE MESH
LF	LINEAR FEET		
LM	LAMINATE		
LH	LEFT HAND		
LP	LIQUID PROPANE		
LSL	LAMINATED STRAND LUMBER		
LVL	LAMINATED VENEER LUMBER		

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
- THE CONTRACTOR WILL VERIFY CONDITIONS AT THE SITE AND NOTIFY THE ARCHITECT AND OWNER OF ANY DISCREPANCIES BETWEEN THE ACTUAL CONDITIONS AND THE DRAWINGS PRIOR TO MAKING ANY CHANGES.
- ALL WORK SHALL CONFORM TO THE CURRENT LOCAL BUILDING CODES AND ALL APPLICABLE MECHANICAL, ELECTRICAL, AND ENERGY CODES.

ENERGY NOTES

THIS PROJECT SHALL COMPLY WITH THE 2021 WASHINGTON STATE ENERGY CODE SECTIONS R401-R404.

MINIMUM BUILDING INSULATION:

CEILING	R-60
CEILING, SINGLE RAFTER OR JOIST VAULTED	R-38
WOOD FRAME WALL	R-20+5, OR R-13+10
DOOR & WINDOW HEADERS	R-10
BELOW-GRADE WALL	101/5/21 INT + 5TB
FLOOR	R-30
FENESTRATION U-FACTOR	0.30
SKYLIGHT U-FACTOR	0.50
SLAB R-VALUE & DEPTH	10, 4FT

- ALLOW 1" MINIMUM AIR SPACE OVER INSULATION WHEN BATTS ARE USED WITH RAFTERS. ALL WALL & ROOF INSULATION APPLIED DIRECTLY TO EXTERIOR FRAMING MEMBERS SHALL BE PROVIDED WITH A VAPOR BARRIER ON HEATED SIDE.
- BATT INSULATION TEARS & JOINTS TO BE SEALED WITH TAPE.
- HEATING UNIT TO MAINTAIN 70 DEGREES F. AT 3' ABOVE FLOOR WHEN 10 DEGREES F. OUTSIDE AIR TEMPERATURE.
- ALL OPENINGS (DOORS, WINDOWS, ETC.) TO BE CAULKED, SEALED, OR WEATHER STRIPPED.
- MINIMUM 75% OF ALL INTERIOR LUMINARIES SHALL BE HIGH EFFICACY LUMINARIES. ALL EXTERIOR LIGHTING SHALL BE HIGH EFFICACY LUMINARIES.
- DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION PER WSEC 101.3.2.6. MAXIMUM AIR TEST LEAKAGE RATE WILL BE REDUCED TO 3.0 CHANGES PER HOUR
- BUILDING AIR LEAKAGE TESTING, DEMONSTRATING THE "AIR LEAKAGE FOR THE DWELLING UNIT SHALL NOT EXCEED 2.0 AIR CHANGES / HOUR", IS REQUIRED PRIOR TO FINAL INSPECTION. THE TEST RESULTS SHALL BE POSTED ON THE RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE. (WSEC 105.4)
- DWELLING UNIT TO BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE PER WSEC 503.8.1.
- BUILDER SHALL COMPLETE AND POST AN "INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION" WITHIN 3' OF ELECTRICAL PANEL PRIOR TO FINAL INSPECTION

MECHANICAL VENTILATION

- PROVIDE WHOLE HOUSE VENTILATION SYSTEM PER M1505
- USE THE EXHAUST FAN LOCATED IN THE **BATH #1 & BATH #3** AS THE CONTINUOUS WHOLE-HOUSE FAN
- THE SYSTEMS SHALL BE DESIGNED AND INSTALLED TO EXHAUST AND/OR SUPPLY THE MINIMUM OUTDOOR AIRFLOW RATES PER M1505.4.3 AS MODIFIED BY THE WHOLE-HOUSE VENTILATION SYSTEM COEFFICIENTS IN M1504.5.3.1 WHERE APPLICABLE
- THE WHOLE-HOUSE VENTILATION SYSTEM SHALL OPERATE CONTINUOUSLY AT THE MINIMUM VENTILATION RATE DETERMINED PER M1505.4.2
- VENTILATION FANS SHALL BE RATED FOR SOUND AT A MAXIMUM OF 1.0 SONE.
- EXHAUST FANS SHALL BE DUCTED DIRECTLY TO THE OUTSIDE PER M1505.4.1.2
- EXHAUST DUCT SIZING PER TABLE M1504.4(2)
- THE EXHAUST FAN SHALL BE CONTROLLED TO OPERATE AS SPECIFIED IN M1505.4.2
- ALL INTERIOR DOORS SHALL BE UNDERCUT FOR MINIMUM 1/2" CLEARANCE ABOVE FINISHED FLOOR MATERIALS.

MECHANICAL VENTILATION AIRFLOW RATE = **90 CFM** PER TABLE M1505.4.3(1)
SYSTEM COEFFICIENT = 1.5 (NOT BALANCED, NOT DISTRIBUTED) PER TABLE M1505.4.3(2)
RUN TIME FACTOR = 1 (100%) PER TABLE M1505.4.3(3)

DESIGN AIRFLOW RATE = AIRFLOW x COEFFICIENT x RUN TIME = **135 CFM / 2 FANS = 67.5 CFM**

PROVIDE TWO ZONES. ZONE 1 AT MAIN LEVEL, ZONE 2 AT LOWER LEVEL.

ENERGY CODE COMPLIANCE SUMMARY

TABLE R406.2 ENERGY EQUALIZATION CREDITS	CREDITS
SYSTEM TYPE 1 FOR COMBUSTION HEATING EQUIPMENT MEETING MINIMUM FEDERAL EFFICIENCY STANDARDS FOR THE EQUIPMENT LISTED IN TABLE C403.3.2(5) OR C403.3.2(6)	0

R406.3—ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS.

- ADDITIONS 150 SQUARE FEET TO 500 SQUARE FEET

TABLE 406.3 ENERGY CREDITS

- EFFICIENT BUILDING ENVELOPE OPTIONS**
2. PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.3 WITH THE FOLLOWING MODIFICATIONS:
 - 1.0 VERTICAL FENESTRATION U = 0.25
 - FLOOR R-38
 - SLAB ON GRADE R-10 PERIMETER AND UNDER ENTIRE SLAB
 - BELOW GRADE SLAB R-10 PERIMETER AND UNDER ENTIRE SLA

- HIGH EFFICIENCY HVAC EQUIPMENT OPTIONS**
- 3.1 FOR A SYSTEM TYPE 1 IN TABLE R406.2: ENERGY STAR RATED (U.S. NORTH) GAS OR PROPANE FURNACE WITH MINIMUM AFUE OF 95% OR ENERGY STAR RATED (U.S. NORTH) GAS OR PROPANE BOILER WITH MINIMUM AFUE OF 90%

TOTAL CREDITS 2.0

FIRE

- A NFPA 72- CHAPTER 29 MONITORED FIRE ALARM SYSTEM IN COMPLIANCE WITH NFPA 72 AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.

LOT COVERAGE CALCULATIONS

LOT COVERAGE CALCULATIONS

A. Gross Lot Area	11,972	Square Feet
B. Net Lot Area	11,972	Square Feet
C. Allowed Lot Coverage Area	4,789	Square Feet
D. Allowed Lot Coverage	40	% of Lot
E. Existing Lot Coverage:		
1. Main Structure Roof Area	1,998	Square Feet
2. Accessory Building Roof Area	412	Square Feet
3. Vehicular Use (driveway, paved access easements [portion used by the lot for access], parking)	2,084	Square Feet
4. Covered Patios and Covered Decks	774	Square Feet
5. Total Existing Lot Coverage Area (E1+E2+E3+E4)	5,268	Square Feet
F. (Total Lot Coverage Area Removed)	1,000	Square Feet
G. Proposed Adjustment for Single Story (Area)	0	Square Feet
H. Proposed Adjustment for Flag Lot	0	Square Feet
I. Total New Lot Coverage Area:		
1. Main Structure Roof Area	443	Square Feet
2. Accessory Structure Roof Area	0	Square Feet
3. Vehicular Use (driveway, paved access easement [portion used by the lot for access], parking)	0	Square Feet
4. Covered Patios and Covered Decks	0	Square Feet
5. Total New Lot Coverage Area (I1 + I2 + I3 + I4)	443	Square Feet
J. Total Project Lot Coverage Area = (E5 - F) + I5	4,711	Square Feet
K. Proposed Lot Coverage Area = (I/B) x 100	39	% of Lot
Lot coverage calculations shown on Plan Sheet #	A0.1	

GROSS FLOOR AREA

Building Area	Existing Area	Removed Area	New/Addition Area	Total
Upper Floor	0	0	0	0
Main Floor	1980	0	264	2244
Gross Basement Area	900	0	0	900
Garage/ Carport	420	0	0	420
Total Floor Area	3300	0	264	3564
Accessory Buildings	0	0	0	0
Accessory Dwelling Unit	900	0	0	900
2 nd & 3 rd Story Roofed Decks	0	0	0	0
Basement Area	0	0	0	0
Excluded	0	0	0	0
150% GFA Modifier* (main and upper floor x2)	0	0	0	0
200% GFA Modifier* (main and upper floor x2)	0	0	0	0
Staircase GFA Modifier* (x2 for a three story staircase, x3 for a four story staircase)	0	0	0	0
TOTAL Building Area	4200	0	264	4464

*Enter the actual room area

A. Lot Area	11,972	Square Feet
B. Zone R-8.4	R-12	Square Feet
C. Allowed Gross Floor Area (refer to "allowed GFA")	4788	Square Feet
D. Allowed Gross Floor Area	40	% of Lot
E. Proposed Gross Floor Area	4464	Square Feet
F. Proposed Gross Floor Area	37	% of Lot

HARDSCAPE CALCULATIONS

HARDSCAPE CALCULATIONS

A. Gross Lot Area	11,972	Square Feet
B. Net Lot Area	11,972	Square Feet
C. Area Borrowed from Lot Coverage	0	Square Feet
D. Allowed Hardscape Area = 9% of lot area + C	9	% of Lot
E. Allowed Hardscape Area	1,077	Square Feet
F. Total Existing Hardscape Area:		
1. Uncovered Decks	0	Square Feet
2. Uncovered Patios	337	Square Feet
3. Walkways	36	Square Feet
4. Stairs	0	Square Feet
5. Rockeries and Retaining Walls	217	Square Feet
6. Other none	0	Square Feet
7. Total Existing Hardscape Area (F1+F2+F3+F4+F5+F6)	590	Square Feet
G. (Total Hardscape Area Removed)	0	Square Feet
H. Total New Hardscape Area:		
1. Uncovered Decks	0	Square Feet
2. Uncovered Patios	0	Square Feet
3. Walkways	0	Square Feet
4. Stairs	0	Square Feet
5. Rockeries and Retaining Walls	0	Square Feet
6. Other none	0	Square Feet
7. Total New Hardscape Area (H1+H2+H3+H4+H5+H6)	0	Square Feet
I. Total Project Hardscape Area = (F7 - G) + H7	590	Square Feet
J. Total Project Hardscape Area = (I/B)x100	5	% of Lot

LOT SLOPE CALCULATIONS

Lot Slope Calculations		
Highest Elevation Point of Lot:	324	Feet
Lowest Elevation Point of Lot:	306	Feet
Elevation Difference:	18	Feet
Horizontal Distance Between High and Low Points:	160	Feet
Lot Slope*	11.25	%

PROJECT INFORMATION

CLIENT:
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SURVEYOR:
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MILL CREEK, WA 98082
425.512.7099

ASSESSORS PARCEL FILE #: 182405-9074
NAME: SIM PAUL & CHENG ANN
SITE ADDRESS: 4226 85TH AVE SE 98040
QUARTER-SECTION-TOWNSHIP-RANGE: NW-18-24-5
LEGAL DESCRIPTION:
POR OF SW 1/4 OF NW 1/4 LY W OF LN 135 FT W OF W MGN 85TH AVE SE & E OF LN 270 FT W OF SD AVE MGN & N OF LN 934.18 FT N OF S LN SD SUB & S OF LN 1023.02 FT N OF S LN SD SUB
LOT SIZE: 11,972 SF
ACRES: 0.28 AC
ZONING: R-9.6
SEWER/SEPTIC: PUBLIC
ELECTRIC: OHP
GAS: IN STREET
WATER: WATER DISTRICT
ROAD ACCESS: PUBLIC
PARKING: ADEQUATE
HEAT SOURCE: GAS
HEAT SYSTEM: FORCED AIR

CONTRACTOR:
MERCER BUILDERS
3026 78TH AVE SE, MERCER ISLAND, WA 98040
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206.719.0069
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BAS@B2ENGINEERS.COM
425-318-0031

AUTHORITY HAVING JURISDICTION: MERCER ISLAND

BUILDING CODES:
2021 INTERNATIONAL BUILDING CODE (IBC)
2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
2021 INTERNATIONAL MECHANICAL CODE (IMC)
2021 INTERNATIONAL FUEL GAS CODE (IFGC)
2021 UNIFORM PLUMBING CODE (UPC)
2021 INTERNATIONAL FIRE CODE (IFC)
2021 INTERNATIONAL EXISTING BUILDING CODE
2021 INTERNATIONAL SWIMMING POOL AND SPA CODE
2021 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE
WASHINGTON STATE ENERGY CODE (WSEC)
WASHINGTON CITIES ELECTRICAL CODE (WCCEC)
IC/ANSI A117.1-17, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH STATEWIDE AND CITY AMENDMENTS

PROJECT DESCRIPTION

SINGLE FAMILY RESIDENCE ADDITION AND REMODEL.

ZONING CODE ANALYSIS

ZONING	R9.6	SINGLE-FAMILY RESIDENCE	CONFORMS
LAND-USE	9,600 SF		CONFORMS
19.02.20 MINIMUM LOT SIZE:	75 FT		CONFORMS

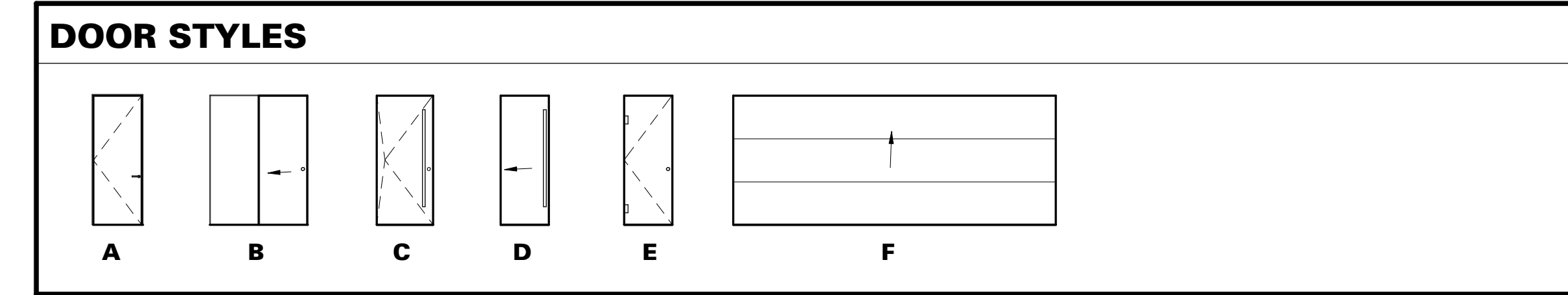
MATERIAL SCHEDULE		PRODUCT INFORMATION			
MATERIAL CATEGORY	MARK	SUPPLIER	TYPE	MATERIAL FINISH	
03 - CONCRETE					
03 330 ARCHITECTURAL CONCRETE	CONC-3	BY CONTRACTOR	SAND BLAST, CUT: SHALLOW, STAIN: NONE, SELAER: NONE	SANDBLAST	
03 330 ARCHITECTURAL CONCRETE	CONCRETE	BY CONTRACTOR	CAST-IN-PLACE CONCRETE FOUNDATION WALLS		
06 - WOODS, PLASTICS, COMPOSITES					
06 110 HEAVY TIMBER FRAMING	SAND & STAIN (E) WOOD STRUCTURE	BY CONTRACTOR	GLULAM BEAMS, STAIN COLOR TO MATCH EXISTING BEAMS		
06 210 CASEWORK	CW-1	TBD	SPECIES: WHITE OAK, VERTICAL GRAIN, SEMI-TRANSPARENT WHITE-WASH STAIN		
06 210 CASEWORK	PT-1	TBD	PAINT FINISH OR MELAMINE FINISH		
07 - THERMAL & MOISTURE PROTECTION					
07 160 METAL FABRICATIONS	SHEET STEEL	TBD	STEEL SCREEN		
07 410 PVC	METAL FASCIA		PVC	BLACK	
07 500 WOOD SIDING	PAINT WOOD SIDING	BY CONTRACTOR	MATCH EXISTING		
07 600 FLASHING AND TRIM	METAL FASCIA		METAL ROOF FASCIA		
09 - FINISHES					
	CONCRETE COUNTER	BY CONTRACTOR	CUSTOM CONCRETE COUNTERTOP		
09 410 CERAMIC AND STONE TILING	CORK	TBD	CERAMIC TILE		
09 410 CERAMIC AND STONE TILING	TILE-1	TBD	CERAMIC TILE		
09 430 QUARTZ	CT-1	DALTILE	QUARTZ, 2CM	HONED	
09 700 PAINTING		TBD	EXTERIOR WOOD SIDING STAIN, COLOR TBD		
09 700 PAINTING	PAINT-1	TBD	PAINT		

LOCATION		SPECIFICATIONS				QTY
ROOM	DESCR.	MANUF.	MODEL			
BATH #1	FAUCET	BRIZO	ODIN, SINGLE-HANDLE LAVATORY FAUCET 1.5 GPM, BRUSHED NICKEL			1
BATH #1	ACTUATOR PLATE	TOTO	BASIC ROUND PUSH PLATE - DUAL BUTTON, Y1930#MS			1
BATH #1	UNDERMOUNT LAVATORY	KOHLER	BRAZN RECTANGLE UNDERMOUNT BATHROOM SINK, K-21058-0			1
BATH #1	WALL-HUNG TOILET	TOTO	RP COMPACT WALL-HUNG TOILET & IN-WALL TANK SYSTEM - 1.28 - 0.9 GPF, CWT427227CMFG#WH			1
BATH #2	66inch x 32inch alcove bath with integral apron and left-hand drain	KOHLER Co.	K-847-0			1
BATH #2	FAUCET	BRIZO	ODIN, SINGLE-HANDLE LAVATORY FAUCET 1.5 GPM, BRUSHED NICKEL			2
BATH #2	FLOOR DRAIN	INFINITY DRAIN	TILE ISNERT FRAME			1
BATH #2	HYDRORAIL S COLUMN KIT - 1.75GPM HANDSHOWER & SHOWERHEAD	KOHLER Co.	K-27119-2MB			1
BATH #2	SHOWER THERMOSTAT	BRIZO	ODIN, TEMPASSURE® THERMOSTATIC SHOWER ONLY T60275-PC, MULTICHOICE® UNIVERSAL TUB/SHOWER ROUGH WITH PEX CONNECTIONS, R60000-PX			1
BATH #2	UNDERMOUNT LAVATORY	KOHLER	BRAZN RECTANGLE UNDERMOUNT BATHROOM SINK, K-21058-0			2
BATH #2	TOILET	TOTO	ECO ULTRAMAX® ONE-PIECE TOILET, 1.28 GPF, ROUND BOWL, MS853113E#01			1
BATH #3	FAUCET	BRIZO	ODIN, SINGLE-HANDLE LAVATORY FAUCET 1.5 GPM, BRUSHED NICKEL			2
BATH #3	FLOOR DRAIN	TBD	TBD			1
BATH #3	HYDRORAIL S COLUMN KIT - 1.75GPM HANDSHOWER & SHOWERHEAD	KOHLER Co.	K-27119-2MB			1
BATH #3	UNDERMOUNT LAVATORY	KOHLER	BRAZN RECTANGLE UNDERMOUNT BATHROOM SINK, K-21058-0			2
BATH #3	TOILET	TOTO	ECO ULTRAMAX® ONE-PIECE TOILET, 1.28 GPF, ROUND BOWL, MS853113E#01			1
BATH #3	ROBE HOOK	BRIZO	ODIN, SINGLE ROBE HOOK, 693575-PC			2
BATH #4	UNDERMOUNT LAVATORY	KOHLER	BRAZN RECTANGLE UNDERMOUNT BATHROOM SINK, K-21058-0			1
BATH #5	SHOWER FAUCET	BRIZO	ODIN, TEMPASSURE® THERMOSTATIC SHOWER ONLY T60275-PC, MULTICHOICE® UNIVERSAL TUB/SHOWER ROUGH WITH PEX CONNECTIONS, R60000-PX			1
BATH #5	UNDERMOUNT LAVATORY	KOHLER	BRAZN RECTANGLE UNDERMOUNT BATHROOM SINK, K-21058-0			1
KITCHEN & DINING	Bar Faucet	BRIZO Kitchen and Bath Company	61044LF-BLGL			1
KITCHEN & DINING	KITCHEN FAUCET	BRIZO	LITZE, PULL-DOWN FAUCET WITH ARC SPOUT AND INDUSTRIAL HANDLE, 63044LF-PC			1
KITCHEN & DINING	UNDERMOUNT LAVATORY	KOHLER	BRAZN RECTANGLE UNDERMOUNT BATHROOM SINK, K-21058-0			1
KITCHEN & DINING	UNDERMOUNT SINK	KOHLER	VAULT, 33" X 22" X 9-5/16" TOP-MOUNT/UNDERMOUNT LARGE SINGLE-BOWL KITCHEN SINK WITH 3 FAUCET HOLES			1
MUD ROOM	KITCHEN FAUCET	BRIZO	LITZE, PULL-DOWN FAUCET WITH ARC SPOUT AND INDUSTRIAL HANDLE, 63044LF-PC			1
MUD ROOM	UNDERMOUNT SINK	KOHLER	VAULT, 33" X 22" X 9-5/16" TOP-MOUNT/UNDERMOUNT LARGE SINGLE-BOWL KITCHEN SINK WITH 3 FAUCET HOLES			1
MUD ROOM	ROBE HOOK	BRIZO	ODIN, SINGLE ROBE HOOK, 693575-PC			2

LOCATION		SPECIFICATIONS				NOTES
ROOM	#	DESCR.	MANUF.	MODEL	QTY	
KITCHEN & DINING	4	DISHWASHER	COVE	DW2450 QUICK REFERENCE GUIDE - 24" OPENING	1	
KITCHEN & DINING	4	OVEN & RANGE	WOLF	48" GAS RANGE - 6 BURNERS AND INFRARED CHARBROILER	1	
KITCHEN & DINING	4				1	
KITCHEN & DINING	4	UC REFRIGERATOR (EXTERIOR)	SUBZERO	24" OUTDOOR UNDERCOUNTER REFRIGERATOR - PANEL READY, DEU2450RO, TUBULAR HANDLES	1	
KITCHEN & DINING	4	VENT HOOD	ZEPHYR	MONSOON II, AK8346BS	1	250 CFM
MUD ROOM	1	STACKED WD	TBD	TBD	1	

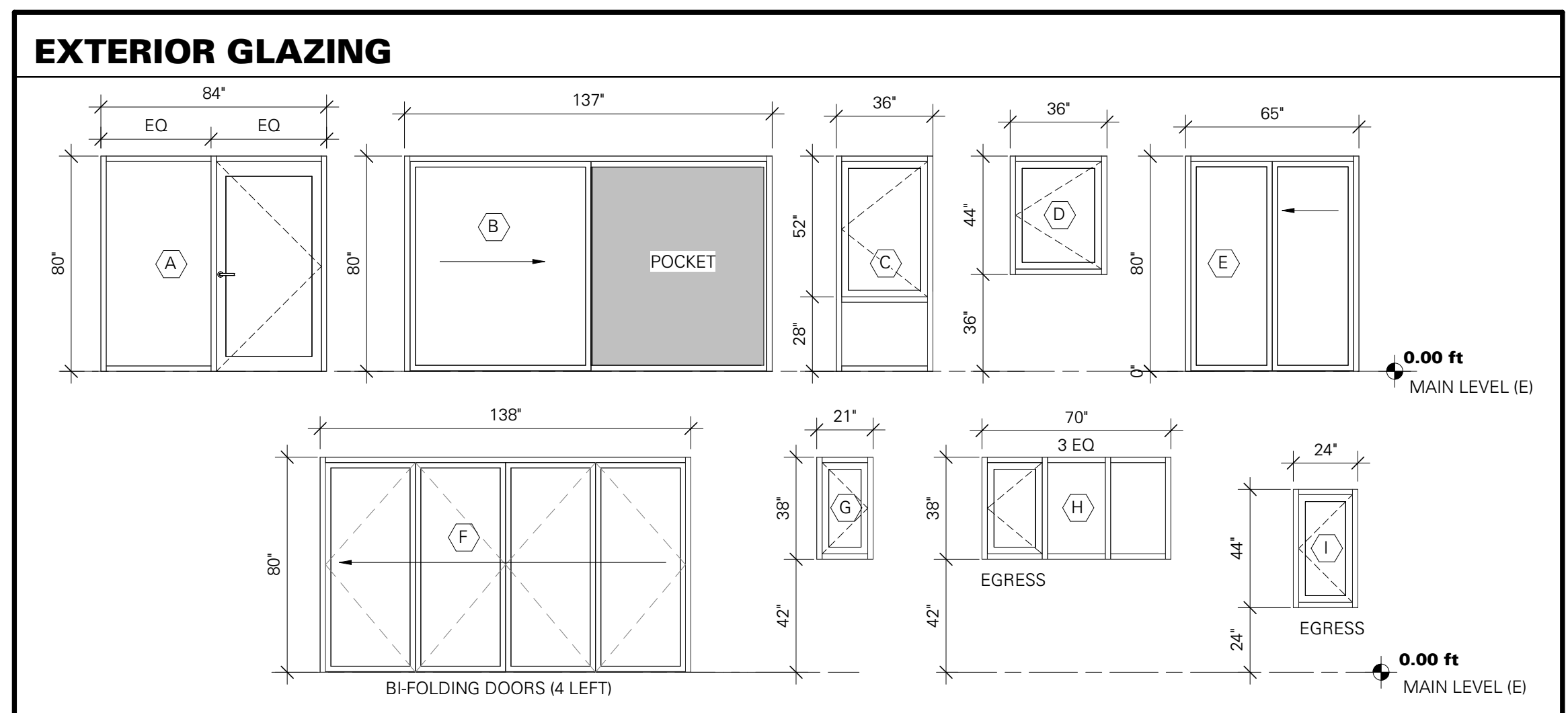
LOCATION		SPECIFICATIONS				NOTES
RM	DESCRIPTION	MFR	MODEL	QTY.		
	RECESSED CAN	LUMENS / LOTUS LED LIGHTS	TYPE: 4 INCH REGRESSED PLENUM GIMBAL ROUND LED TRIM, COLOR: WHITE, COLOR TEMP: 2700K	32		
BATH #1	RECESSED CAN	LUMENS / LOTUS LED LIGHTS	TYPE: 4 INCH REGRESSED PLENUM GIMBAL ROUND LED TRIM, COLOR: WHITE, COLOR TEMP: 2700K	1		
BATH #1	RECESSED CAN	LUMENS / LOTUS LED LIGHTS	TYPE: 4 INCH REGRESSED PLENUM GIMBAL ROUND LED TRIM, COLOR: WHITE, COLOR TEMP: 2700K	1		
BATH #2	LED STRIP	Q-TRAN	ATOM-FLAT (01)	1		
BATH #2	WALL SCONCE	TBD	TBD	3		
BATH #3	WALL SCONCE	TBD	TBD	3		
BATH #3	RECESSED CAN	LUMENS / LOTUS LED LIGHTS	TYPE: 4 INCH REGRESSED PLENUM GIMBAL ROUND LED TRIM, COLOR: WHITE, COLOR TEMP: 2700K	4		
BED #1				4		
CLOSET		LUMENS / LOTUS LED LIGHTS	TYPE: 4 INCH REGRESSED PLENUM GIMBAL ROUND LED TRIM, COLOR: WHITE, COLOR TEMP: 2700K	2		
ENTRY	RECESSED CAN	LUMENS / LOTUS LED LIGHTS	TYPE: 4 INCH REGRESSED PLENUM GIMBAL ROUND LED TRIM, COLOR: WHITE, COLOR TEMP: 2700K	3		
KITCHEN & DINING	LED STRIP	Q-TRAN	ATOM-FLAT (01)	2		
KITCHEN & DINING	LED STRIP	LUMSN/ ALLOY LED	POLARA LED PUCK LIGHT KIT, FINISH: BLACK, COLOR TEMP, 2700K	2		
LIVING				3		
MAIN ENTRY		LUMENS / LOTUS LED LIGHTS	TYPE: 4 INCH REGRESSED PLENUM GIMBAL ROUND LED TRIM, COLOR: WHITE, COLOR TEMP: 2700K	2		
MAIN ENTRY	RECESSED CAN	LUMENS / LOTUS LED LIGHTS	TYPE: 4 INCH REGRESSED PLENUM GIMBAL ROUND LED TRIM, COLOR: WHITE, COLOR TEMP: 2700K	3		
MUD ROOM	RECESSED CAN	LUMENS / LOTUS LED LIGHTS	TYPE: 4 INCH REGRESSED PLENUM GIMBAL ROUND LED TRIM, COLOR: WHITE, COLOR TEMP: 2700K	3		

LOCATION		DIMENSIONS			TYPE	STYLE	MATERIAL & FINISH		HARDWARE	REMARKS
MARK	ROOM	WIDTH	HEIGHT	THICKNESS			PANEL	FINISH	TYPE	
(E) MAIN LEVEL										
1	MUD ROOM	3' - 0"	6' - 8"	1 3/4"	SWING	A	MTL	PAINT	A-2	
3	ENTRY	3' - 10"	8' - 0"	1 3/4"	SLIDING	D	WD	STAIN	D-1	
4	ENTRY	2' - 6"	6' - 7"	1 3/4"	SWING	I	WD	STAIN	TBD	
5	BED #1	2' - 8"	6' - 8"	1 3/4"	SWING	BB	WD	PAINT	B-2	
6	BED #1	2' - 6"	6' - 8"	1 3/4"	POCKET	B				
7	BATH #2	2' - 6"	6' - 8"	1 3/4"	POCKET	B				
9	BED #2	2' - 6"	6' - 8"	1 3/4"	SWING	A	WD	PAINT	A-2	
10	BED #3	2' - 6"	6' - 8"	1 3/4"	SWING	A	WD	PAINT	A-2	
11	BATH #3	2' - 6"	6' - 8"	1 3/4"	POCKET	B	WD	PAINT	B-2	
12	BATH #3	2' - 0"	6' - 8"	1 3/4"	SWING	A	WD	PAINT	A-2	
13	BATH #3	2' - 2"	7' - 0"	3/8"	GLASS SWING	E	GLASS	NA	E-1	
14	BATH #2	2' - 6"	6' - 8"	1 3/4"	GLASS SWING	E				
15	BED #1	2' - 8"	6' - 8"	1 3/4"	POCKET	B	PAINT	PAINT	B-2	
33	BED #3	6' - 2"	8' - 1"	1 3/4"		S				
41	BED #3	6' - 2"	8' - 1"	1 3/4"		S				
42	BATH #2	2' - 4"	6' - 8"	1 3/4"	SWING	M				
62	DECK	5' - 0 1/2"	6' - 5 3/4"			G				



DOOR HARDWARE LEGEND

<p>SWING DOORS</p> <p>(A-1) PASSAGE - EMTEK STUTTGART LEVER PASSAGE SET, WITH CF MECHANISM, DISK ROSETTE, OIL RUBBED BRONZE FINISH, MODEL STU5109US10B - 3-1/2" X 3-1/2", SQUARE CORNERS, SQUARE BARREL HEAVY DUTY HINGES, SOLID BRASS - 0.125" THICKNESS, OIL RUBBED BRONZE FINISH, MODEL 96313US10B</p> <p>(A-2) PRIVACY - EMTEK STUTTGART LEVER PRIVACY SET, WITH CF MECHANISM, DISK ROSETTE, OIL RUBBED BRONZE FINISH, MODEL STU5209US10B - 3-1/2" X 3-1/2", SQUARE CORNERS, SQUARE BARREL HEAVY DUTY HINGES, SOLID BRASS - 0.125" THICKNESS, OIL RUBBED BRONZE FINISH, MODEL 96313US10B</p> <p>(A-3) PRIVACY - NO LEVER - 3-1/2" X 3-1/2", SQUARE CORNERS, SQUARE BARREL HEAVY DUTY HINGES, SOLID BRASS - 0.125" THICKNESS, OIL RUBBED BRONZE FINISH, MODEL 96313US10B - MODERN DISC DEADBOLT, OIL RUBBED BRONZE FINISH, MODEL 8423US10B</p> <p>POCKET DOORS</p> <p>(B-1) PASSAGE - EMTEK NARROW MODERN RECTANGULAR POCKET DOOR MORTISE, PASSAGE, OIL RUBBED BRONZE FINISH, MODEL 2154US10B - POCKET DOOR TRACK HARDWARE</p> <p>(B-2) PRIVACY - EMTEK NARROW MODERN RECTANGULAR POCKET DOOR MORTISE, PRIVACY, OIL RUBBED BRONZE FINISH, MODEL 2155US10B - POCKET DOOR TRACK HARDWARE</p>	<p>PIVOT DOORS</p> <p>(C-1) PRIVACY - SUGATSUNE DSI-4251-45-BL: 120MM X 45MM SLIDING DOOR HANDLE - BLACK, SUGA-DSI-4251-45-BL - MODERN DISC SINGLE SIDED DEADBOLT, MODEL 8523US10B - FRITSJURGENSEN PIVOT HARDWARE, SYSTEM M +70.A</p> <p>SLIDING DOORS</p> <p>(D-1) PRIVACY - SUGATSUNE DSI-4251-45-BL: 120MM X 45MM SLIDING DOOR HANDLE - BLACK - HAFELE SLIDO DOOR TRACK</p> <p>GLASS SWING DOORS</p> <p>(E-1) (2) CRL OIL RUBBED BRONZE GENEVA 044 SERIES WALL MOUNT OFFSET BACK PLATE HINGE, MODEL GEN0440RB (1) CRL BACK-TO-BACK E-Z GRIP STYLE KNOBS, OIL RUBBED BRONZE FINISH, MODEL SDK1400RB</p> <p>GARAGE DOORS</p> <p>(F-1) - OVERHEAD DOOR, TRACK AND OPENER</p>
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ASSEMBLIES:

W1 - CONCRETE STEM WALL

- PREPARED SUBGRADE
- FILTER FABRIC
- DRAINAGE COURSE
- COMPOSITE DRAINAGE PANELS
- BENTONITE WATERPROOFING
- CAST-IN-PLACE CONCRETE, PER STRUCTURAL

W2 - EXTERIOR WALL (R 20+5)

- EXTERIOR FINISH, PER PLANS
- PT FURRING STRIPS
- AIR WEATHER BARRIER & FLASHING SYSTEM
- ZIP SHEATHING, (R-5)
- ROUGH CARPENTRY WOOD FRAMING (2x6)
- INSULATION, R-21
- GYPSUM WALL BOARD
- INTERIOR FINISH, PER PLANS

F1 - SLAB ON GRADE (INTERIOR) (R-10)

- FLOOR FINISH
- ELECTRIC RADIANT
- CAST-IN-PLACE CONCRETE
- REINFORCING BARS, PER STRUCTURAL
- SUB SLAB VAPOR RETARDER
- RIGID FOAM INSULATION (2"), R-10
- ENGINEERED FILL
- PREPARED SUBGRADE

F2 - SLAB ON GRADE (EXTERIOR)

- CAST-IN-PLACE CONCRETE, SANDBLAST
- ENGINEERED FILL
- PREPARED SUBGRADE

R1 - ROOF (R-38)

- PVC ROOFING MEMBRANE
- MEMBRANE SEPARATION SLIP SHEET
- GYPSUM SUBSTRATE, COVER BOARD (1/2")
- RIGID INSULATION, SLOPE TO DRAIN (1", MINI R-5
- VAPOR RETARDER
- SHEATHING, PER STRUCTURAL
- RAFTERS, PER STRUCTURAL
- INSULATION, FULL INSULATION DEPTH EXTENDS OVER THE TOP PLATE OF THE EXTERIOR WALL (R-30)
- FINISH, PER PLANS

P1 - INTERIOR PARTITIONS

- FINISH, PER PLANS
- GYPSUM WALL BOARD
- WOOD STUD, 2X6
- GYPSUM WALL BOARD
- FINISH, PER PLANS

C1 - FINISHED CEILING

- WOOD FRAMING, AS REQUIRED
- GYPSUM BOARD
- FINISH, PER PLANS



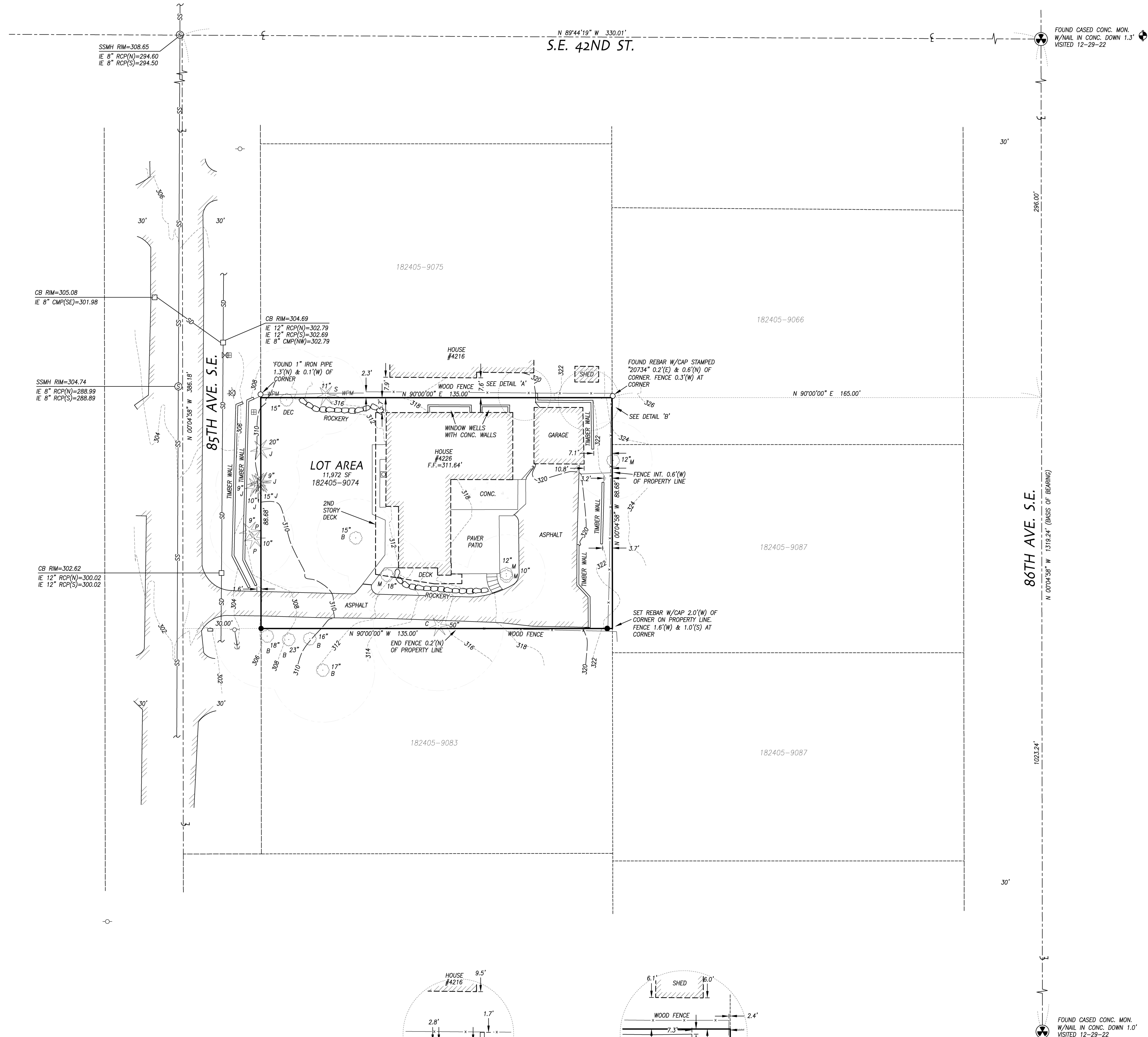
4 PROJECT DESIGN 100% 3/15/24
5 FOR PERMIT 4/15/24

SIM RESIDENCE
4226 85TH AVE SE, MERCER ISLAND, WA 98040

PROJECT #: 24.03

ASSEMBLIES & SCHEDULES

A0.4



EQUIPMENT & PROCEDURES

METHOD OF SURVEY:
SURVEY PERFORMED BY FIELD TRAVERSE

INSTRUMENTATION:
LEICA TS16 ROBOTIC ELECTRONIC TOTAL STATION

PRECISION:
MEETS OR EXCEEDS STATE STANDARDS WAC 332-130-090

BASIS OF BEARING:
THE MONUMENTED CENTERLINE OF 86TH AVENUE S.E., AS THE BEARING OF N 0°04'58" W.

LEGAL DESCRIPTION

THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE EAST LINE OF 84TH AVENUE SOUTHEAST WITH THE NORTH LINE OF SOUTHEAST 44TH STREET, SAID POINT BEING 30.00 FEET EAST AND 30.00 FEET NORTH OF THE SOUTHWEST CORNER OF SAID SUBDIVISION; THENCE EAST ALONG SAID NORTH LINE 600.00 FEET MORE OR LESS, TO THE WEST LINE OF 86TH AVENUE SOUTHEAST; THENCE NORTH ALONG SAID WEST LINE 993.02 FEET; THENCE WEST 135.00 FEET, TO THE TRUE POINT OF BEGINNING; THENCE WEST 135.00 FEET; THENCE SOUTH PARALLEL WITH THE WEST LINE OF 86TH AVENUE SOUTHEAST, 88.68 FEET; THENCE EAST 135.00 FEET; THENCE NORTH 88.68 FEET, TO THE TRUE POINT OF BEGINNING;

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

VERTICAL DATUM

NAVD 88

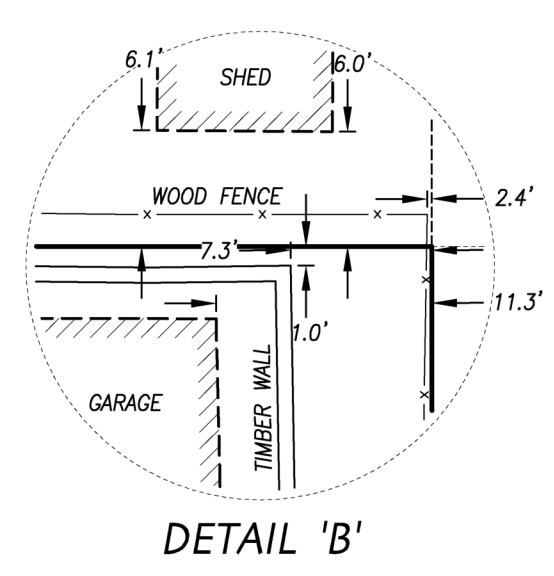
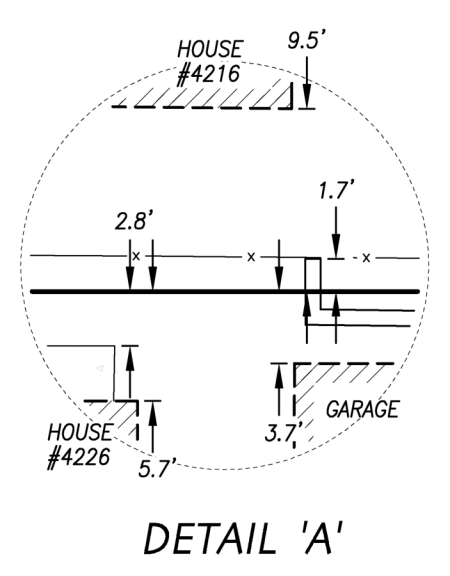
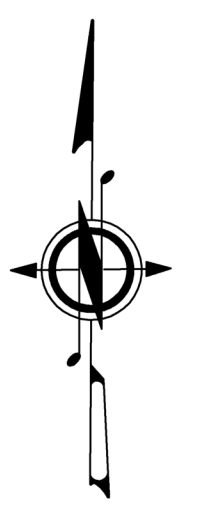
FOUND CASED CONC. MON. W/NAIL IN CONC. AT THE INTERSECTION OF S.E. 42ND ST. & 86TH AVE. S.E.
WCS SURVEY DATA WAREHOUSE I.D.#47111
ELEV. = 338.87'

SURVEY REFERENCES

(R1) RECORD OF SURVEY - A.F.#20191014900010
(R2) KING CO. BOUNDARY LINE REVISION - A.F.#200105522900002

LEGEND

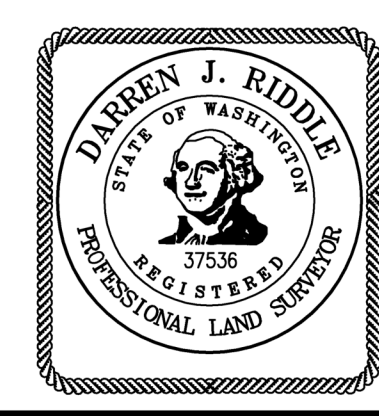
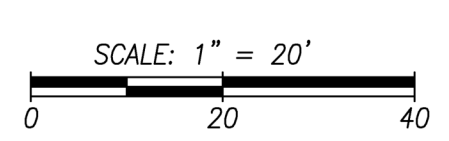
- SET 1/2" X 24" REBAR W/CAP STAMPED "PCS 37536"
- EXISTING REBAR W/CAP, AS NOTED
- ⊗ FOUND CONCRETE MONUMENT AS NOTED
- ⌒ RIGHT OF WAY CENTERLINE
- CATCH BASIN
- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ SANITARY SEWER MANHOLE
- MAILBOX
- ⊕ GAS METER
- ⊕ UTILITY/POWER POLE
- ⊕ GUY ANCHOR
- ★ CONIFEROUS TREE
- DECIDUOUS TREE
- J JUNIPER
- C CEDAR
- P PINE
- S SPRUCE
- M MAPLE
- B BIRCH



NOTES

1.) THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF PARTIES WHOSE NAMES APPEAR HEREON ONLY, AND DOES NOT EXTEND TO ANY UNNAMED THIRD PARTIES WITHOUT EXPRESS RECERTIFICATION BY THE LAND SURVEYOR OF RECORD.

2.) BOUNDARY LINES SHOWN AND CORNERS SET REPRESENT DEED LOCATIONS; OWNERSHIP LINES MAY VARY. NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND OCCUPATION WHICH MAY ENCUMBER TITLE OR USE OF SUBJECT PROPERTY.



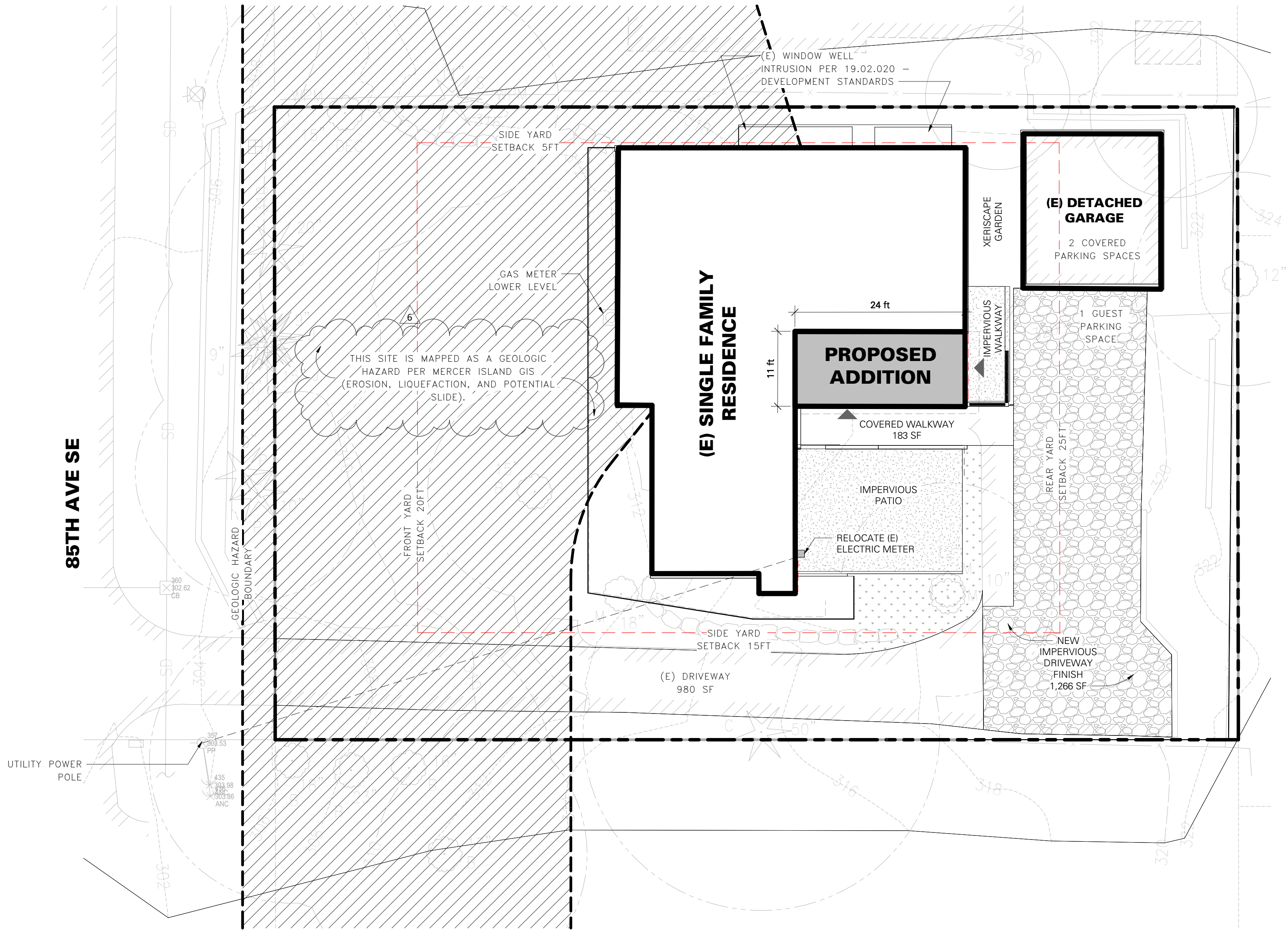
Pacific Coast Surveys, Inc.
LAND SURVEYING & MAPPING

P.O. BOX 13619
MILL CREEK, WA 98082
PH. 425-512-7099 FAX 425-357-3577
www.PCSurveys.net

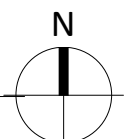
TOPOGRAPHIC SURVEY FOR:
PAUL SIM

SW 1/4, NW 1/4, SEC.18, T.24N., R.5E., W.M.

DRAWN BY	DATE	DRAWING FILE NAME	SCALE	JOB NO.
MAH	3.11.24	222901top.dwg	1" = 20'	22-2901



1 SITE PLAN
SCALE: 1" = 10'-0"



SIM RESIDENCE

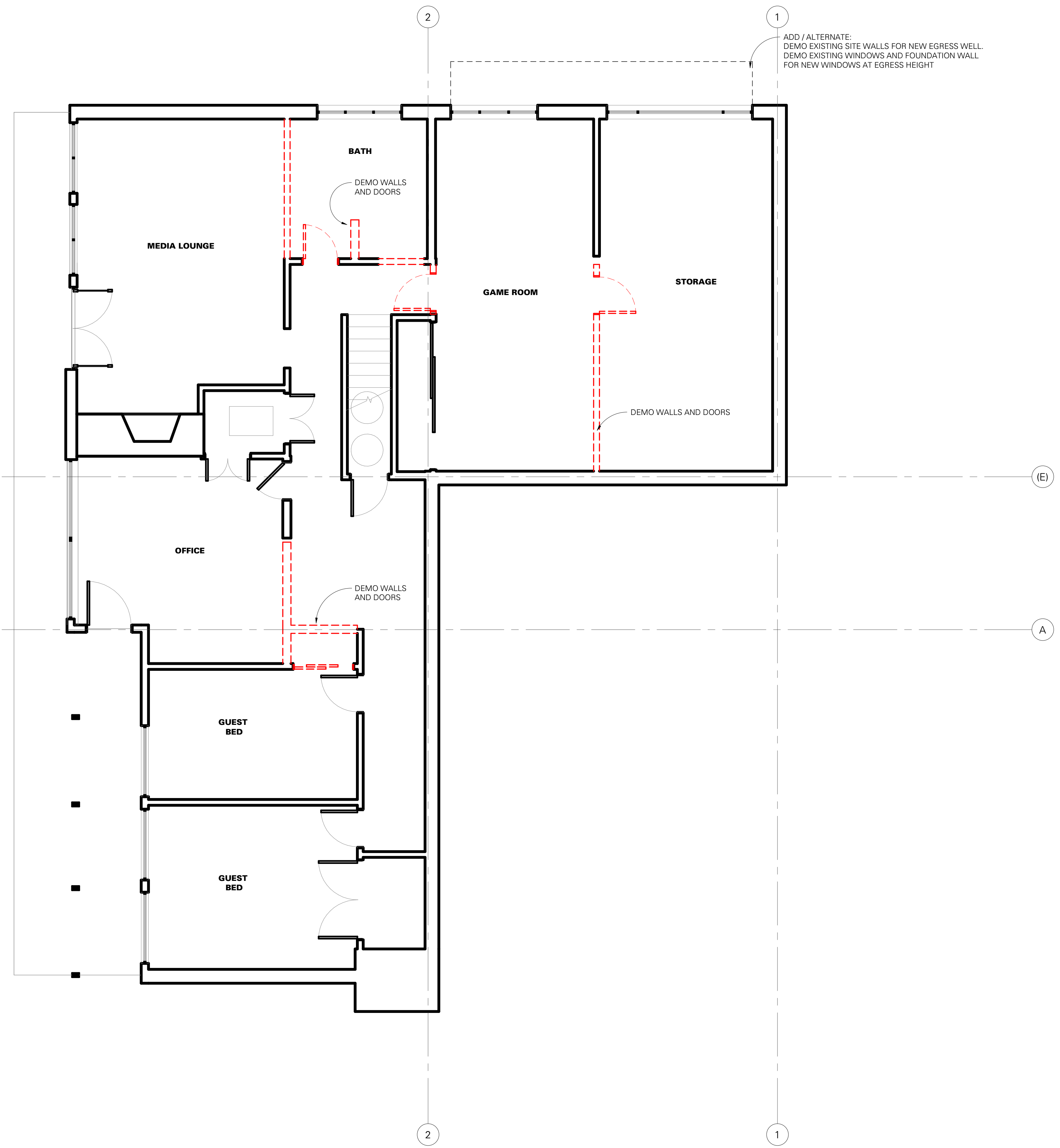
4226 85TH AVE SE, MERCER ISLAND, WA 98040

DEMOLITION PLAN LEGEND

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE DEMOLISHED

1
ADD / ALTERNATE:
DEMO EXISTING SITE WALLS FOR NEW EGRESS WELL.
DEMO EXISTING WINDOWS AND FOUNDATION WALL
FOR NEW WINDOWS AT EGRESS HEIGHT



1 LOWER LEVEL DEMO PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

- A. GENERAL:**
1. WALK-THROUGH: PRIOR TO ROUGH-IN OF ELECTRICAL SYSTEMS, CONDUCT WALK-THROUGH WITH THE ARCHITECT TO VERIFY LOCATIONS AND MOUNTING HEIGHTS OF CONTROLS, OUTLETS, AND OTHER EXPOSED TO VIEW DEVICES
- B. OUTLETS, POWER, DATA:**
1. WALL OUTLETS TO BE MOUNTED HORIZONTALLY.
 2. OUTLETS ABOVE COUNTERTOPS TO BE MOUNTED HORIZONTALLY WITH CENTERLINE OF RECEPTACLE @ 6" ABOVE COUNTER.
 3. ELECTRICAL APPLIANCE AND EQUIPMENT OUTLETS TO BE MOUNTED PER MANUFACTURER RECOMMENDATIONS.
 4. EXACT OUTLET LOCATIONS AT CASEWORK TO BE COORDINATED IN SHOP DRAWINGS.
 5. PROVIDE WATER-PROOF, CONCEALED JUNCTION BOXES IN EXTERIOR WALLS WHERE REQUIRED.
 6. DATA/TV OUTLET - VERIFY LOCATIONS, WIRING REQUIREMENTS AND MOUNTING HEIGHTS.
- C. SWITCHES:**
1. SWITCHES AND CONTROLS TO BE MOUNTED 36" FROM FINISH FLOOR TO CENTER OF CONTROL.
 2. ALL SWITCHES TO HAVE COMPANION DIMMER SWITCH WITH 3-WAY / 4-WAY COMPATIBILITY, RADIO CONTROL, 120V; LUTRON #RD-RD.
 3. LIGHTING CONTROL SWITCHES: SINGLE POLE, RADIO CONTROL, 120V; LUTRON #RD-BANS.
 4. LIGHTING CONTROL WALL KEYPAD WITH SIX (6) ZONE/SCENE PUSHBUTTONS AND RAISE / LOWER PUSHBUTTONS, RADIO CONTROL; 120V; LUTRON #RRD-W6BRL-XX
- D. DETECTORS / ALARMS:**
1. PROVIDE COMBINATION SMOKE & CARBON MONOXIDE ALARMS PER R315.3, R315.4 OUTSIDE OF EACH SEPARATE SLEEPING AREA, REFER TO PLAN FOR LOCATIONS.
 2. CARBON MONOXIDE DETECTOR/ALARM; 120V WITH BATTERY BACKUP; CEILING MOUNTED. INTERLOCK ALL DETECTORS/ALARMS WITHIN THE HOUSE FOR COMMON ALARM. ALL INTERLOCKED DETECTORS/ALARMS MUST BE CIRCUITED TO THE SAME BRANCH CIRCUIT.
 3. SMOKE DETECTOR/ALARM; 120V WITH BATTERY BACKUP; CEILING MOUNTED. INTERLOCK ALL DETECTORS/ALARMS WITHIN THE HOUSE FOR COMMON ALARM. ALL INTERLOCKED DETECTORS/ALARMS MUST BE CIRCUITED TO THE SAME BRANCH CIRCUIT.

LIGHTING NOTES:

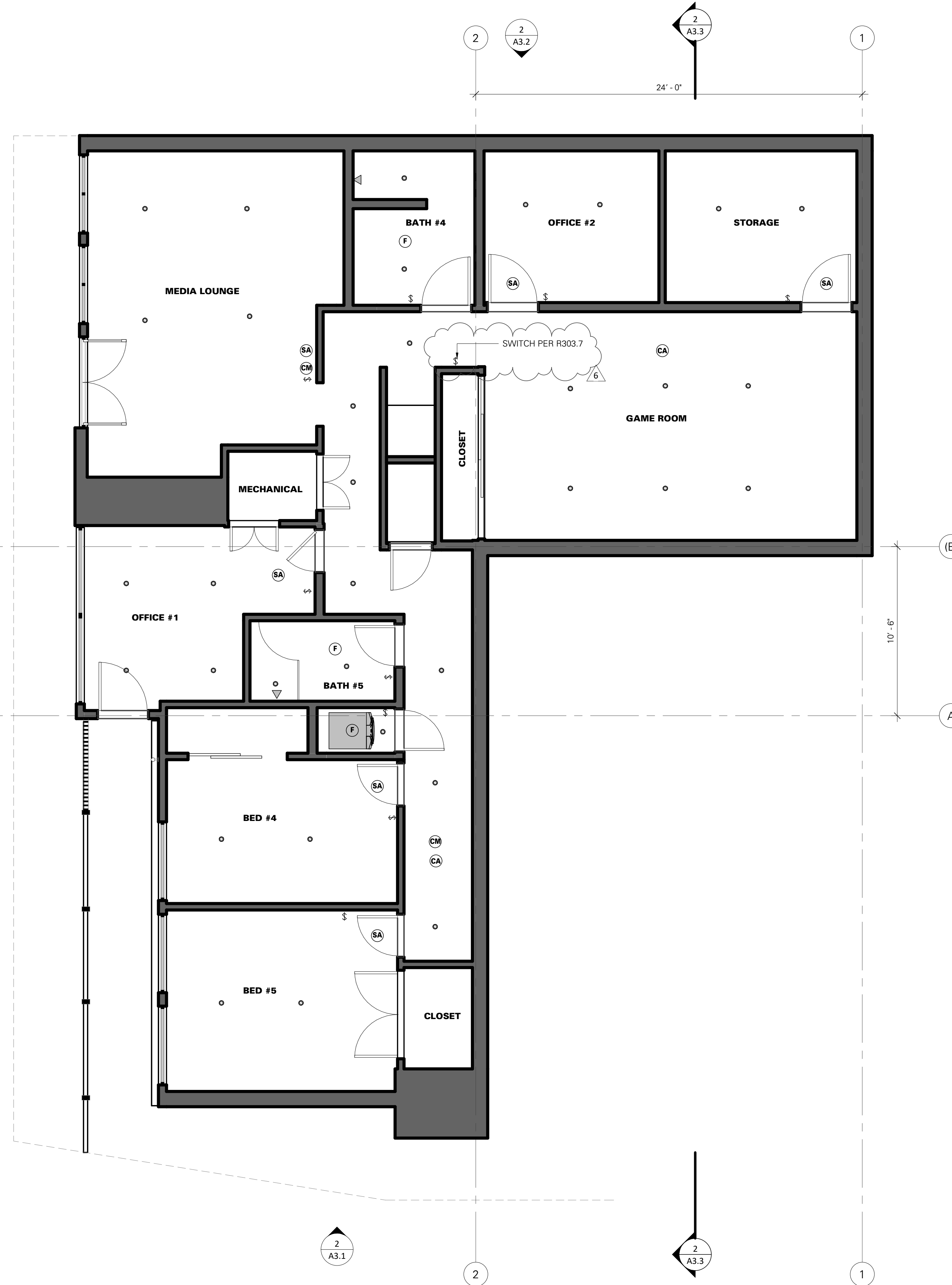
1. VERIFY MOUNTING HEIGHTS WITH ARCHITECT PRIOR TO INSTALL.
2. ALL LIGHTING TO BE 3,000K UNO.
3. VERIFY FINAL LUMINAIRE OUTPUT COLOR CORRECTED (CCT) TEMPERATURE AND EXPOSED FINISHES WITH THE ARCHITECT PRIOR TO ORDERING.
4. LUMINAIRE SUPPLIER/CONTRACTOR SHALL COORDINATE ALL LUMINAIRE DRIVER CONFIGURATIONS WITH THE CONTROLS AND PROVIDE ADEQUATE SHOP DRAWING SUBMITTALS CONFIRMING LUMINAIRE AND CONTROL COMPATIBILITY FOR ALL APPLICATIONS FOR THE PROJECT.
5. SPECIFICATION NUMBERS ARE MANUFACTURERS SERIES NUMBER AND MAY NOT BE COMPLETE. IT IS THE RESPONSIBILITY OF THE SUPPLIER/CONTRACTOR TO COMPLETE CATALOG NUMBERS TO MATCH THE LUMINAIRE DESCRIPTION, COMPLIANCE WITH SPECIFICATIONS AND INSTALLATION REQUIREMENTS.

MECHANICAL VENTILATION:

1. BATHROOMS MINIMUM: 50 CFM INTERMITTENT PER 1505.4.4(1).

ELECTRICAL & LIGHTING:

○	SURFACE MOUNT FIXTURE
○	WALL MOUNT FIXTURE
○	WALL MOUNT FIXTURE - SWITCHED
—	FLOURESCENT FIXTURE
⊕	120 VOLT OUTLET
⊕	120 VOLT OUTLET - SWITCHED
⊕	240 VOLT OUTLET
☎	TELEPHONE
•	DATA
Ⓜ	CABLE TV
Ⓢ	LIGHTING CONTROL WALL KEYPAD
Ⓢ	SWITCH
Ⓢ	SWITCH - 3 WAY
Ⓢ	SWITCH - DIMMER
Ⓢ	SWITCH - TIMER
ⓈA	SMOKE ALARM
ⓈF	EXHAUST FAN
ⓈT	THERMOSTAT
ⓈCM	CARBON MONOXIDE DETECTOR
ⓈCA	COMBINATION ALARM
Ⓢ⊕	PENDANT FIXTURE
Ⓢ⊕C	OUTLET - UNDER COUNTER
Ⓢ⊕G	OUTLET - GROUND FAULT PROTECTED
Ⓢ⊕H	OUTLET - SPECIFIC HEIGHT
Ⓢ⊕B	OUTLET - PLACE HORIZONTAL IN BASE
ⓈP	SPEAKER
ⓈⓈ	RECESSED LIGHTING - ART LIGHT (DIRECTIONAL)
ⓈⓈ	RECESSED LIGHTING - NUMBER = SIZE OF CAN
ⓈP	PUCK LIGHT
Ⓢ	EXISTING TO REMAIN
ⓈPM	PLUG MOLD
Ⓢ	RECESSED STAIR LIGHTING
ⓈLED	LED STRIP LIGHTING
ⓈLV	UNDER CABINET LIGHTING
Ⓢ	MOTORIZED SHADE
ⓈX	CEILING FAN

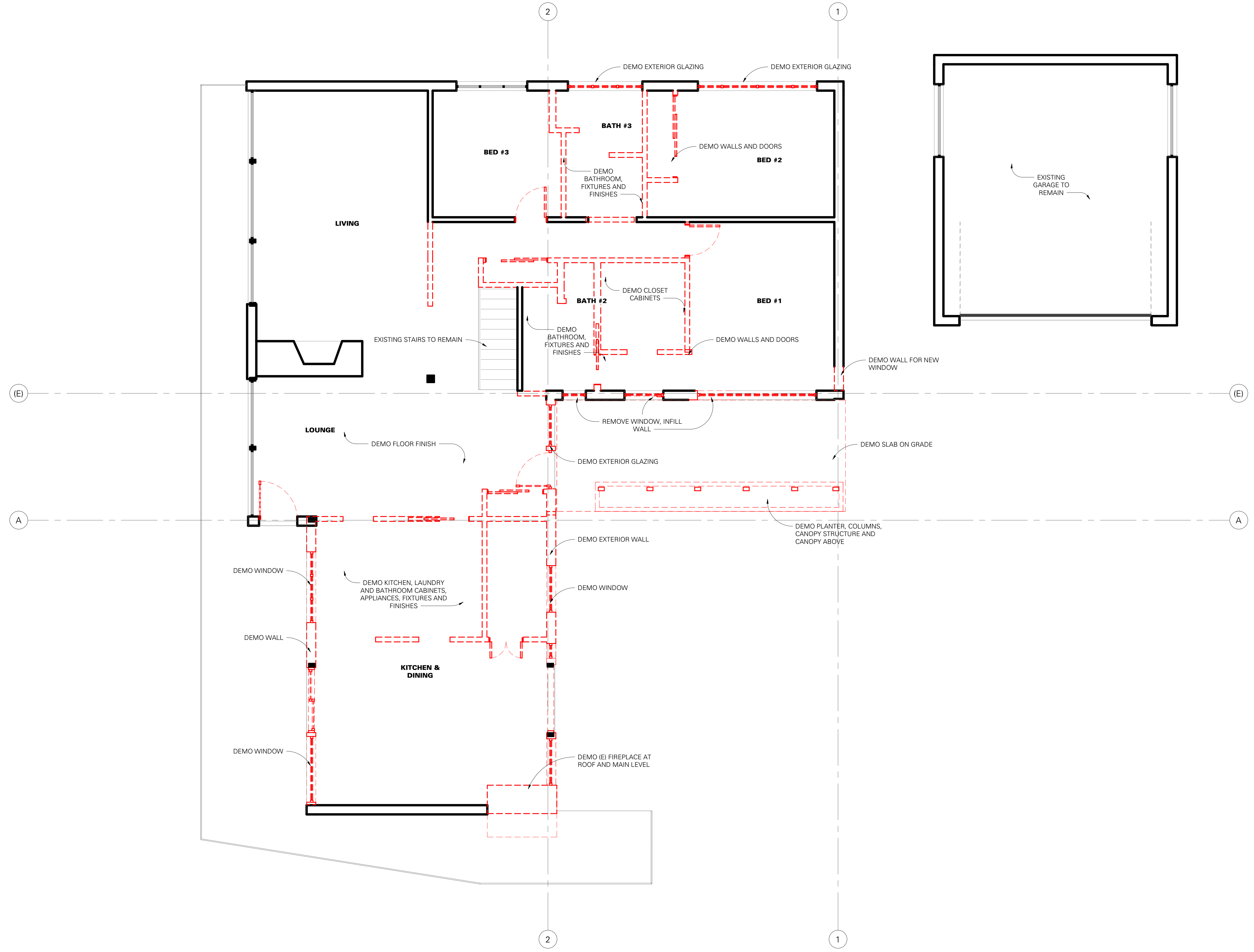


1 LOWER LEVEL
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN LEGEND

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE DEMOLISHED



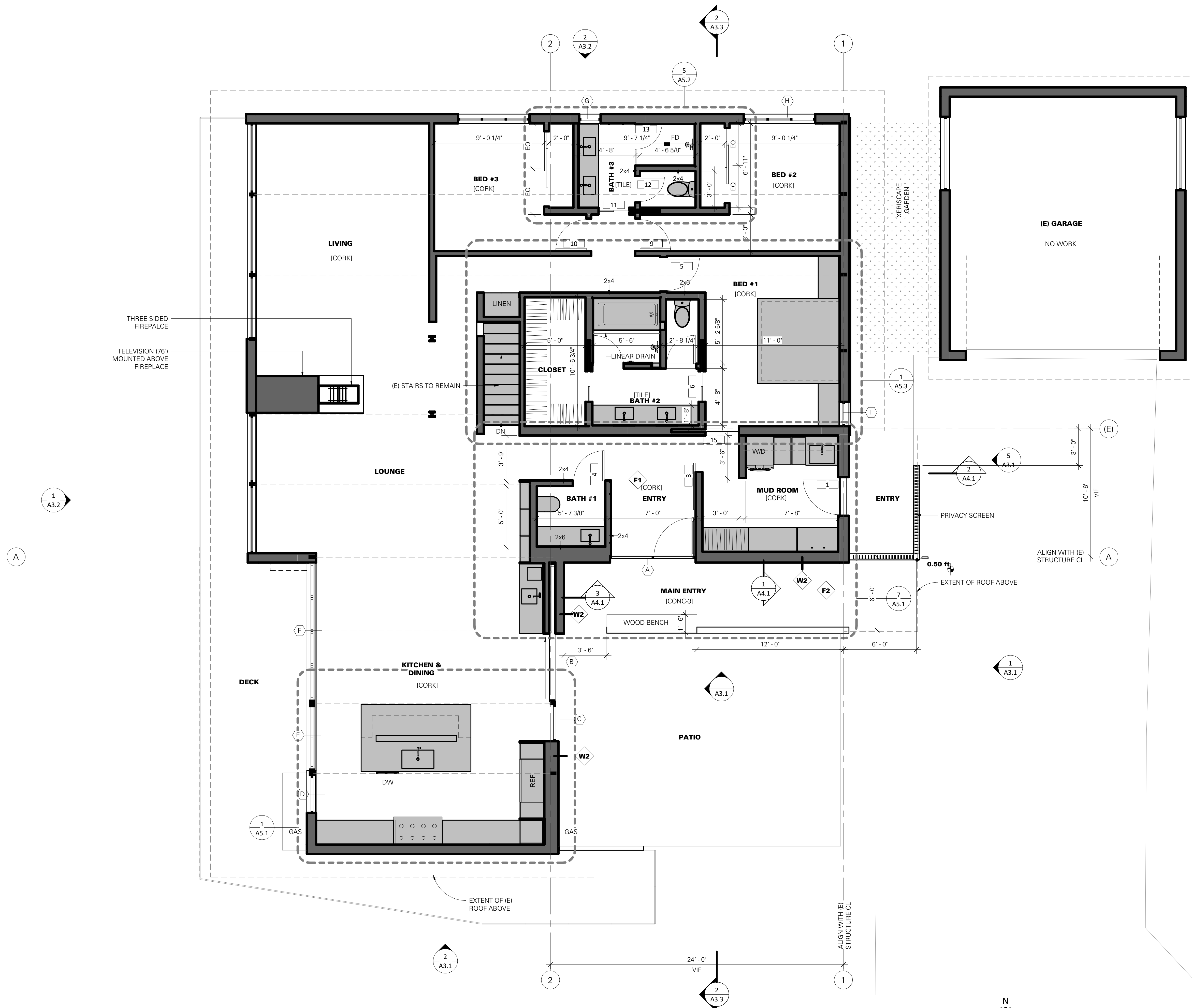
1 MAIN LEVEL DEMO PLAN
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND:

////// EXTENT OF ADU

FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE FROM FINISH FACE OF WALL, UNO
2. ALL NEW WALLS ARE 2X6 FRAMING, UNO
3. ELECTRIC FLOOR HEAT MAT IN BATH #2 AND BATH #3



1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

SIM RESIDENCE
4226 85TH AVE SE, MERCER ISLAND, WA 98040

ELECTRICAL NOTES:

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- B. OUTLETS, POWER, DATA:**
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 6. DATA/TV OUTLET - VERIFY LOCATIONS, WIRING REQUIREMENTS AND MOUNTING HEIGHTS.
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 3. LIGHTING CONTROL SWITCHES: SINGLE POLE, RADIO CONTROL, 120V; LUTRON #RD-BANS.
 4. LIGHTING CONTROL WALL KEYPAD WITH SIX (6) ZONE/SCENE PUSHBUTTONS AND RAISE / LOWER PUSHBUTTONS, RADIO CONTROL; 120V; LUTRON #RRD-W6BRLL-XX
- D. DETECTORS / ALARMS:**
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LIGHTING NOTES:

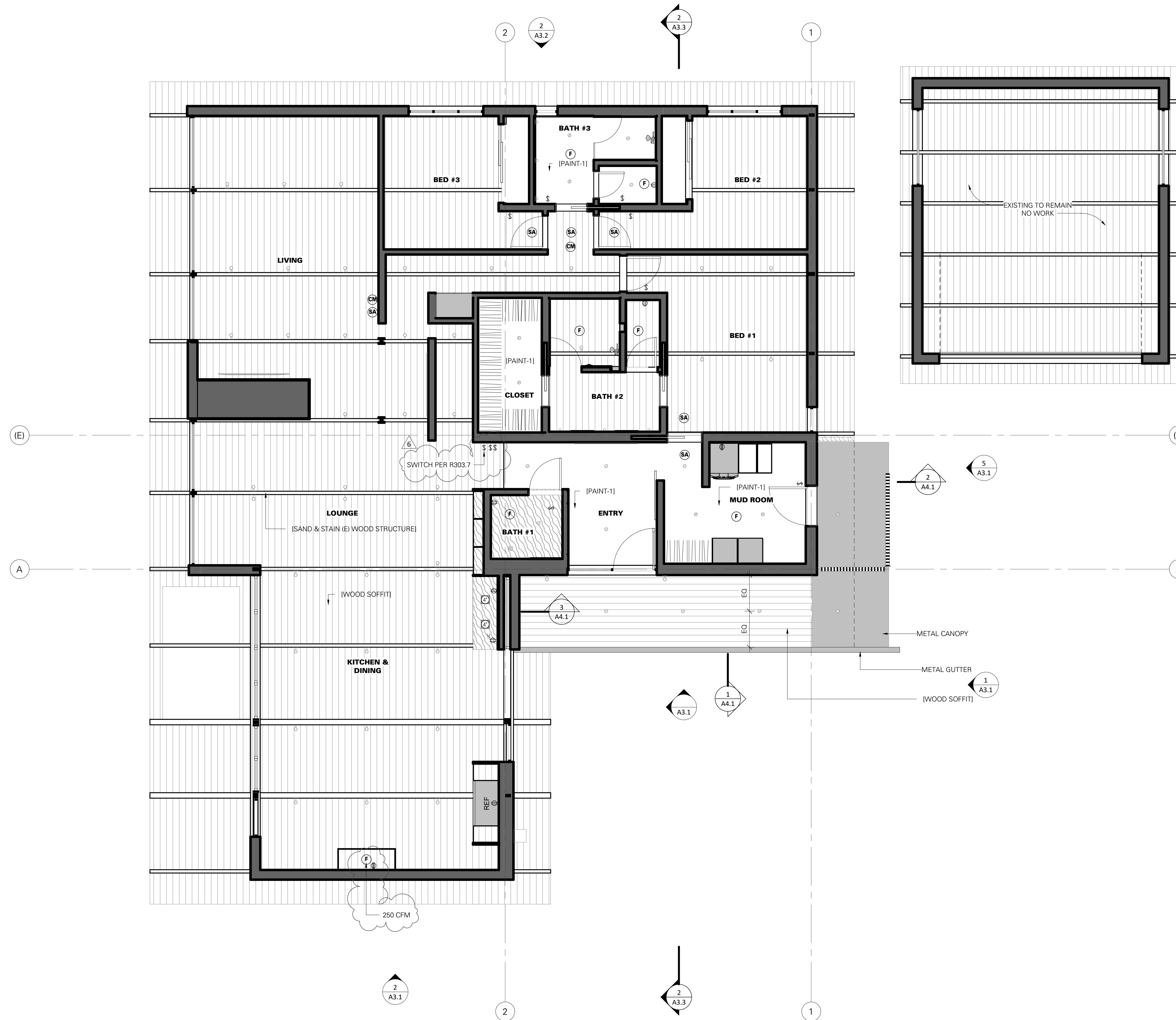
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2. ALL LIGHTING TO BE 3,000K UNO.
3. VERIFY FINAL LUMINAIRE OUTPUT COLOR CORRECTED (CCT) TEMPERATURE AND EXPOSED FINISHES WITH THE ARCHITECT PRIOR TO ORDERING.
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5. SPECIFICATION NUMBERS ARE MANUFACTURERS SERIES NUMBER AND MAY NOT BE COMPLETE. IT IS THE RESPONSIBILITY OF THE SUPPLIER/CONTRACTOR TO COMPLETE CATALOG NUMBERS TO MATCH THE LUMINAIRE DESCRIPTION, COMPLIANCE WITH SPECIFICATIONS AND INSTALLATION REQUIREMENTS.

MECHANICAL VENTILATION:

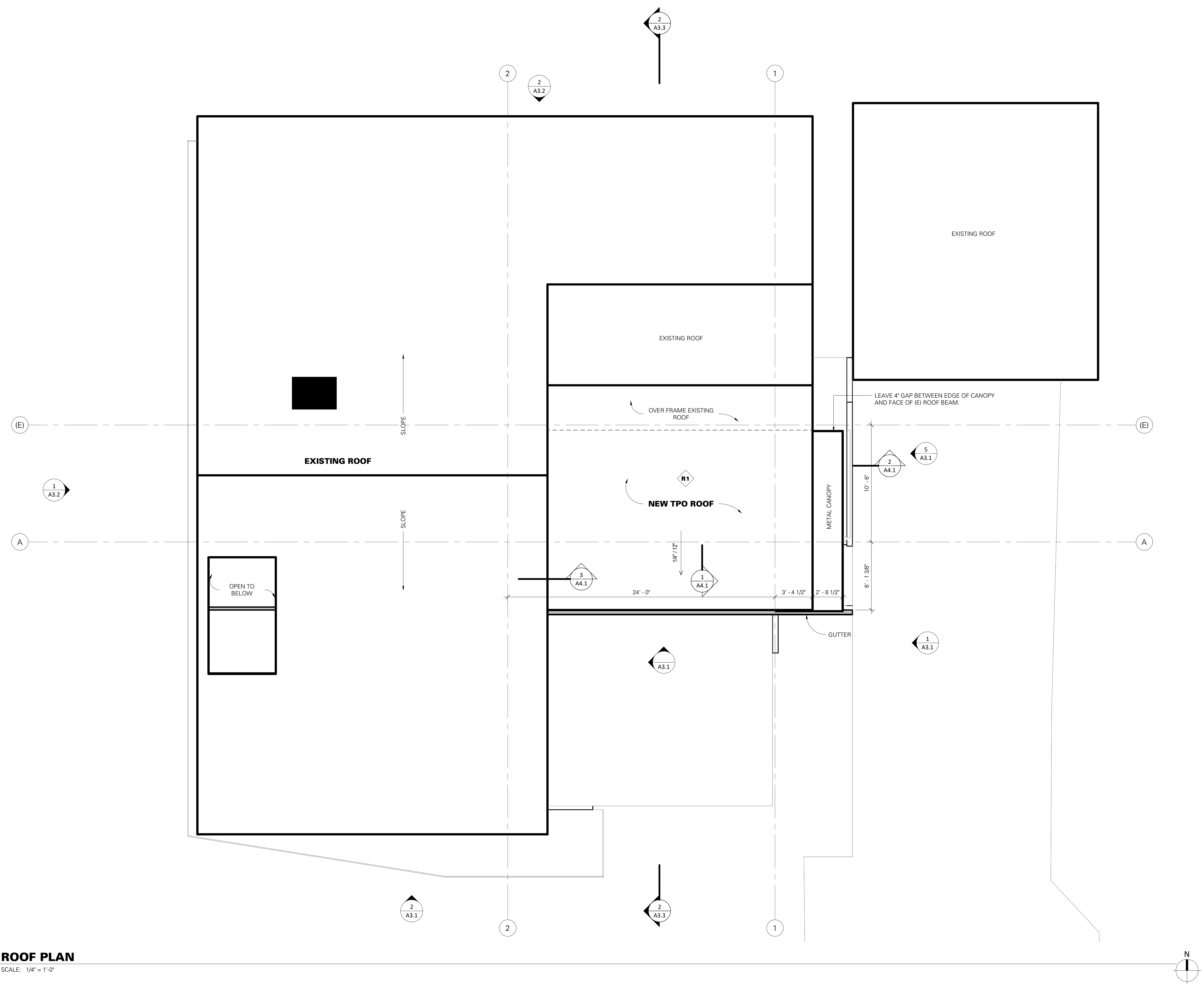
1. BATHROOMS MINIMUM: 50 CFM INTERMITTENT PER 1505.4.4(1).

ELECTRICAL & LIGHTING:

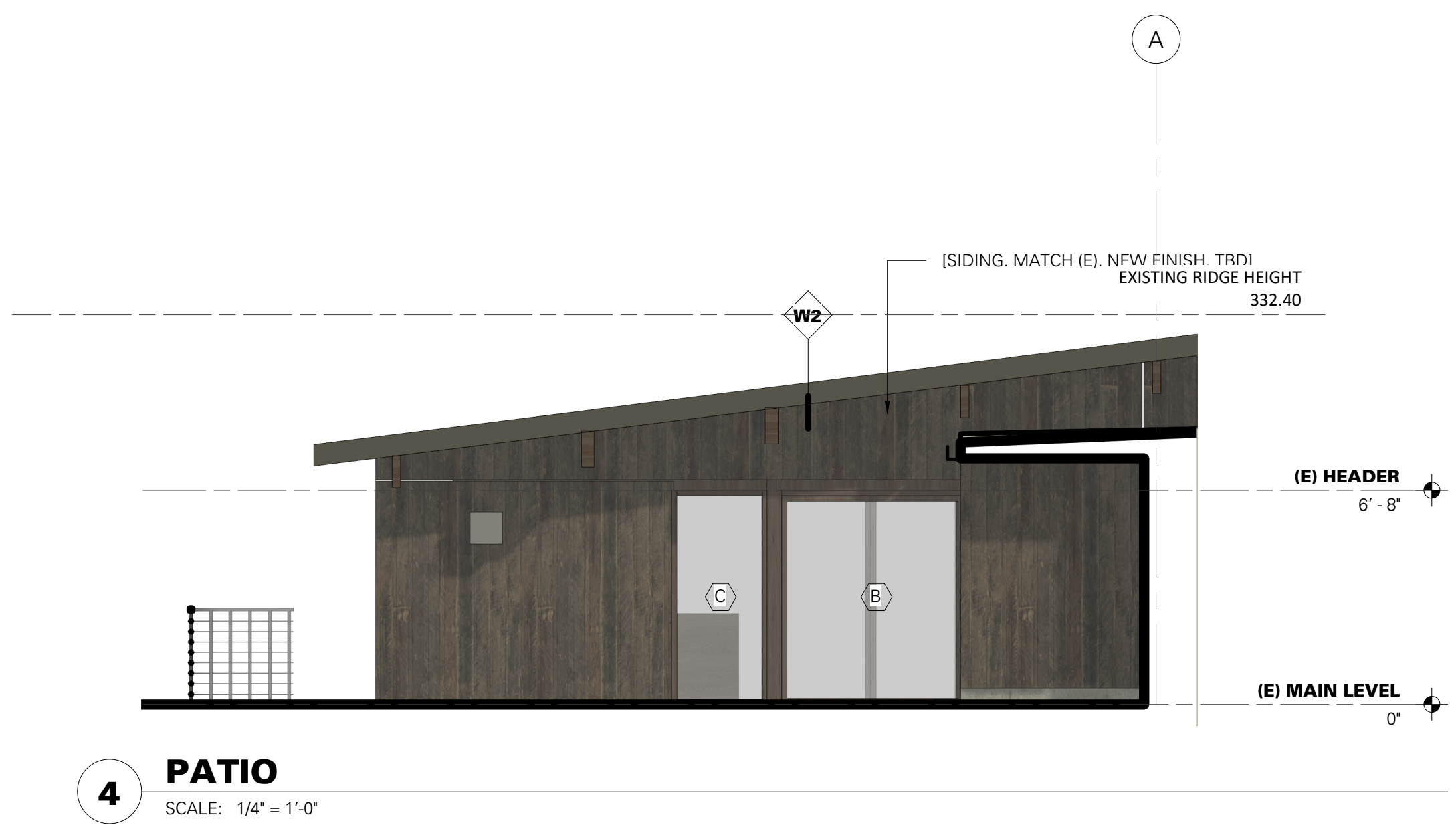
○	SURFACE MOUNT FIXTURE
○	WALL MOUNT FIXTURE
○	WALL MOUNT FIXTURE - SWITCHED
—	FLOURESCENT FIXTURE
⊕	120 VOLT OUTLET
⊕	120 VOLT OUTLET - SWITCHED
⊕	240 VOLT OUTLET
⊕	TELEPHONE
⊕	DATA
⊕	CABLE TV
⊕	LIGHTING CONTROL WALL KEYPAD
⊕	SWITCH
⊕	SWITCH - 3 WAY
⊕	SWITCH - DIMMER
⊕	SWITCH - TIMER
⊕	SMOKE ALARM
⊕	EXHAUST FAN
⊕	THERMOSTAT
⊕	CARBON MONOXIDE DETECTOR
⊕	COMBINATION ALARM
⊕	PENDANT FIXTURE
⊕	OUTLET - UNDER COUNTER
⊕	OUTLET - GROUND FAULT PROTECTED
⊕	OUTLET - SPECIFIC HEIGHT
⊕	OUTLET - PLACE HORIZONTAL IN BASE
⊕	SPEAKER
⊕	RECESSED LIGHTING - ART LIGHT (DIRECTIONAL)
⊕	RECESSED LIGHTING - NUMBER = SIZE OF CAN
⊕	PUCK LIGHT
⊕	EXISTING TO REMAIN
⊕	PLUG MOLD
⊕	RECESSED STAIR LIGHTING
⊕	LED STRIP LIGHTING
⊕	UNDER CABINET LIGHTING
⊕	MOTORIZED SHADE
⊕	CEILING FAN



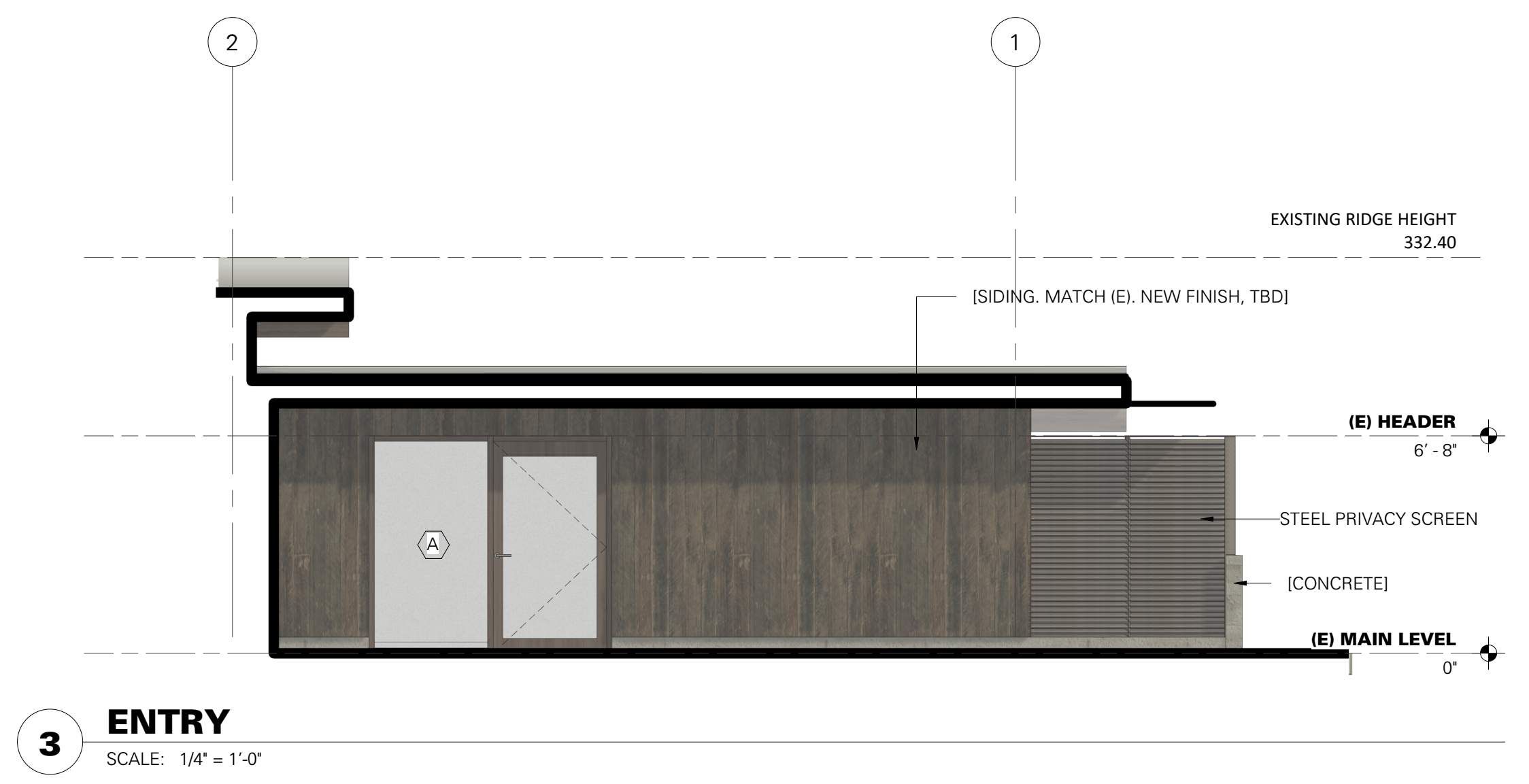
1 MAIN LEVEL
SCALE: 1/4" = 1'-0"



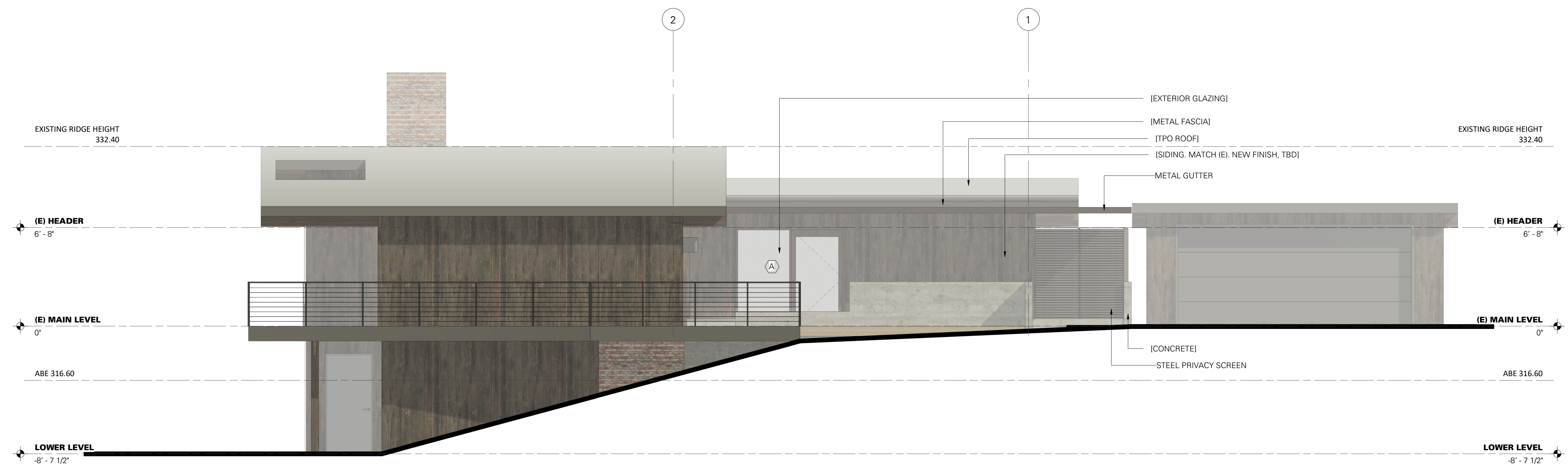
1 ROOF PLAN
SCALE: 1/4" = 1'-0"



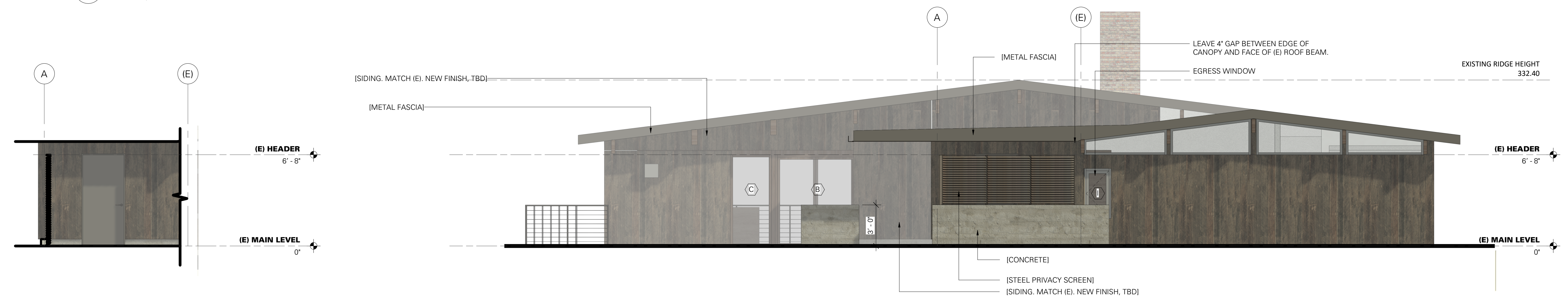
4 PATIO
 SCALE: 1/4" = 1'-0"



3 ENTRY
 SCALE: 1/4" = 1'-0"



2 SOUTH BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"



1 EAST BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"

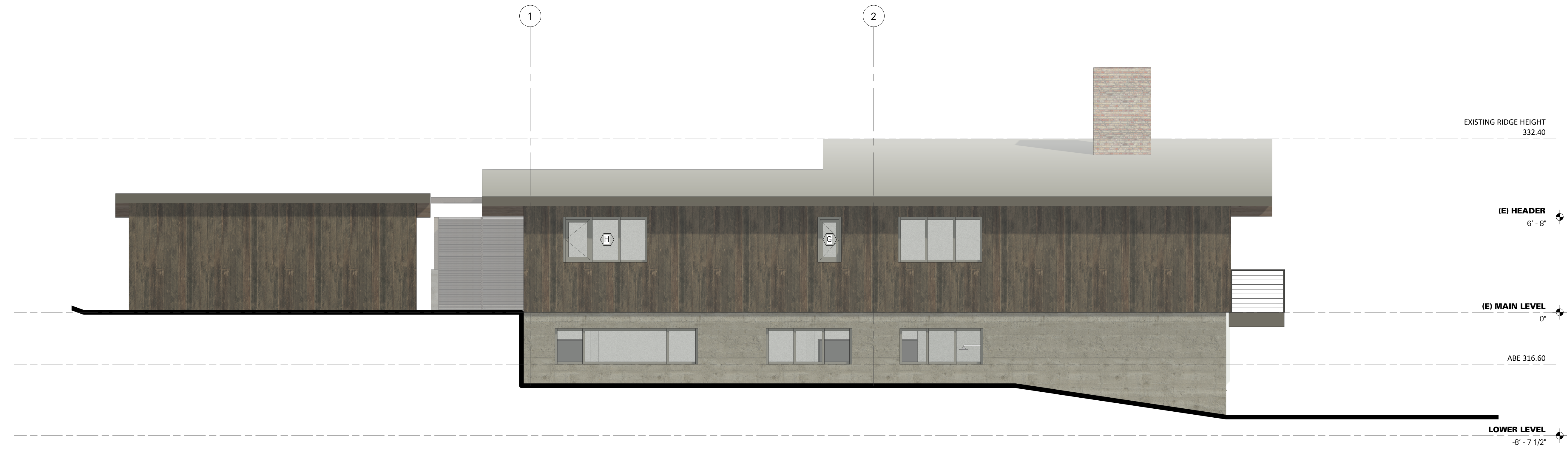
5 PRIVATE ENTRY
 SCALE: 1/4" = 1'-0"

SIM RESIDENCE
 4226 85TH AVE SE, MERCER ISLAND, WA 98040

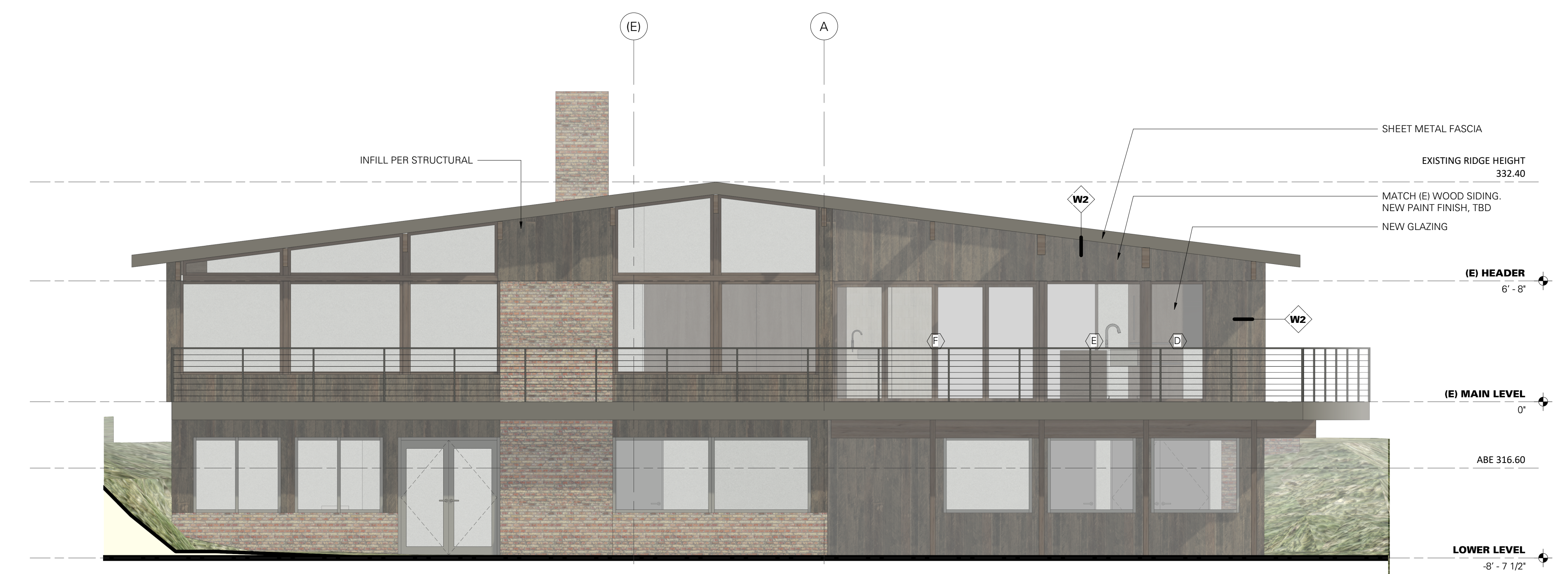
PROJECT #: 24.03

BUILDING ELEVATIONS

A3.1



2 NORTH BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



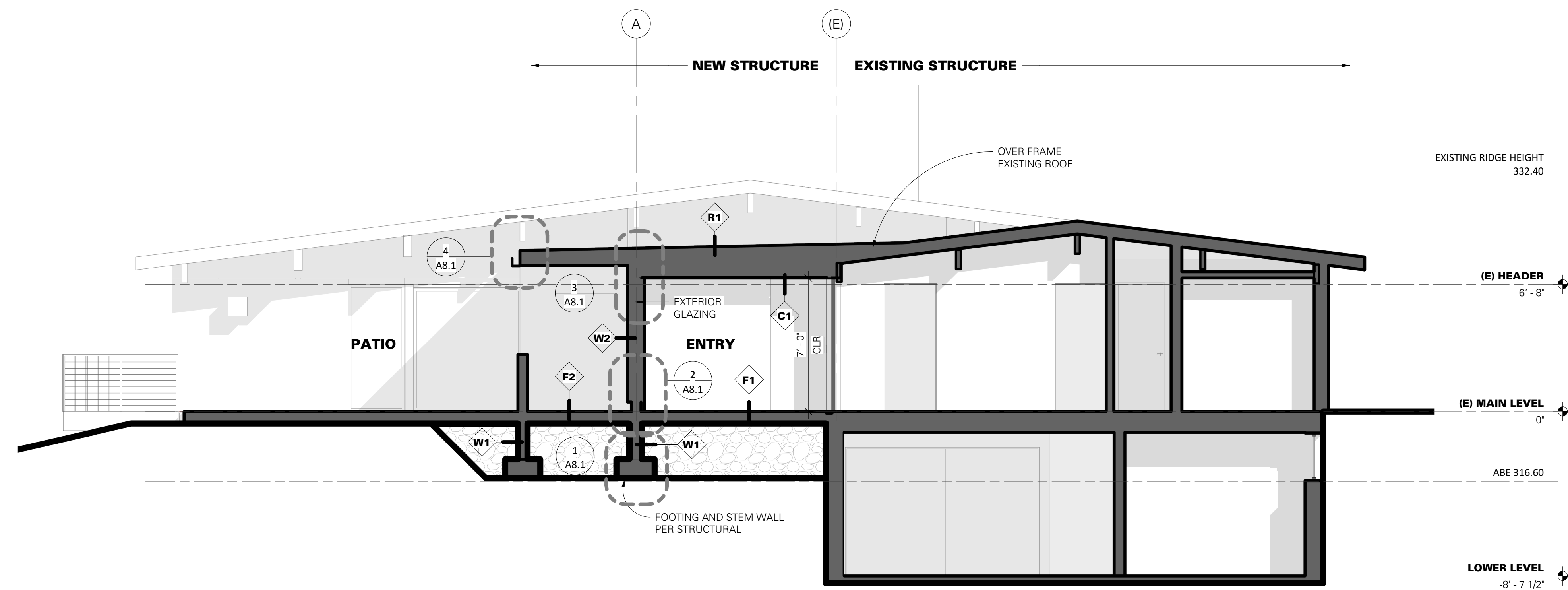
1 WEST BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

SIM RESIDENCE
4226 85TH AVE SE, MERCER ISLAND, WA 98040

PROJECT #:
24.03

BUILDING
ELEVATIONS

A3.2



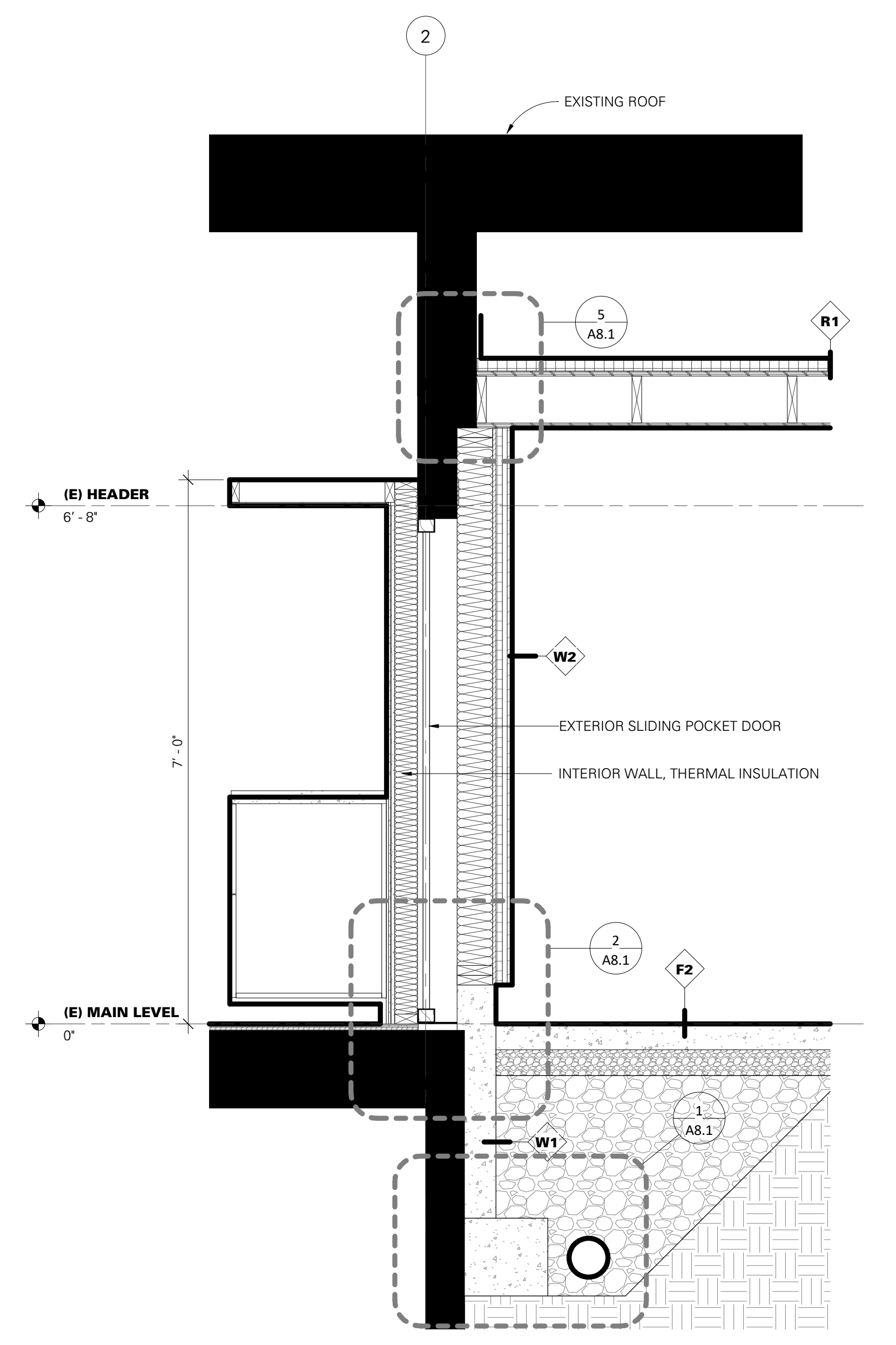
2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

SIM RESIDENCE
4226 85TH AVE SE, MERCER ISLAND, WA 98040

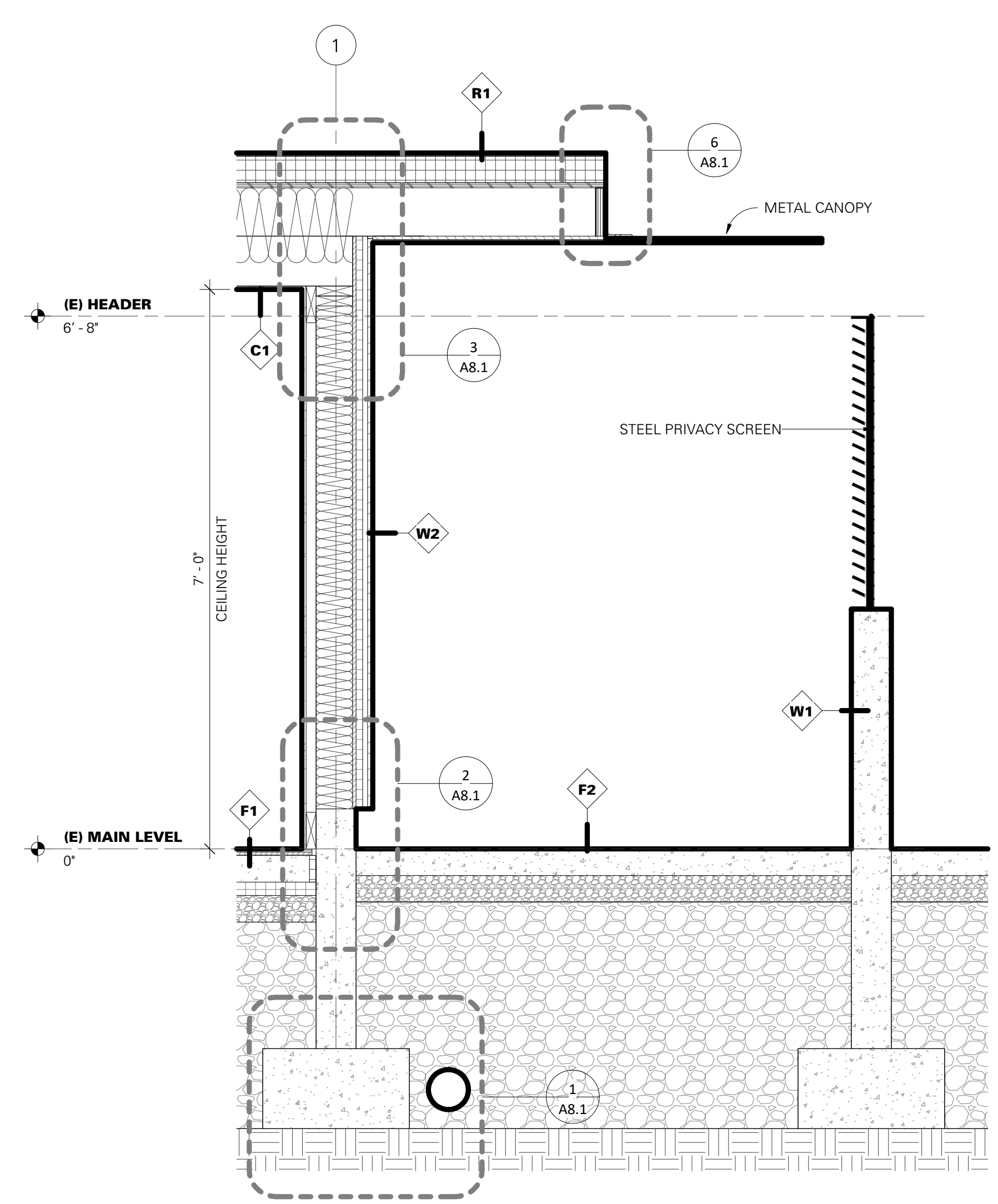
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24.03

BUILDING SECTIONS

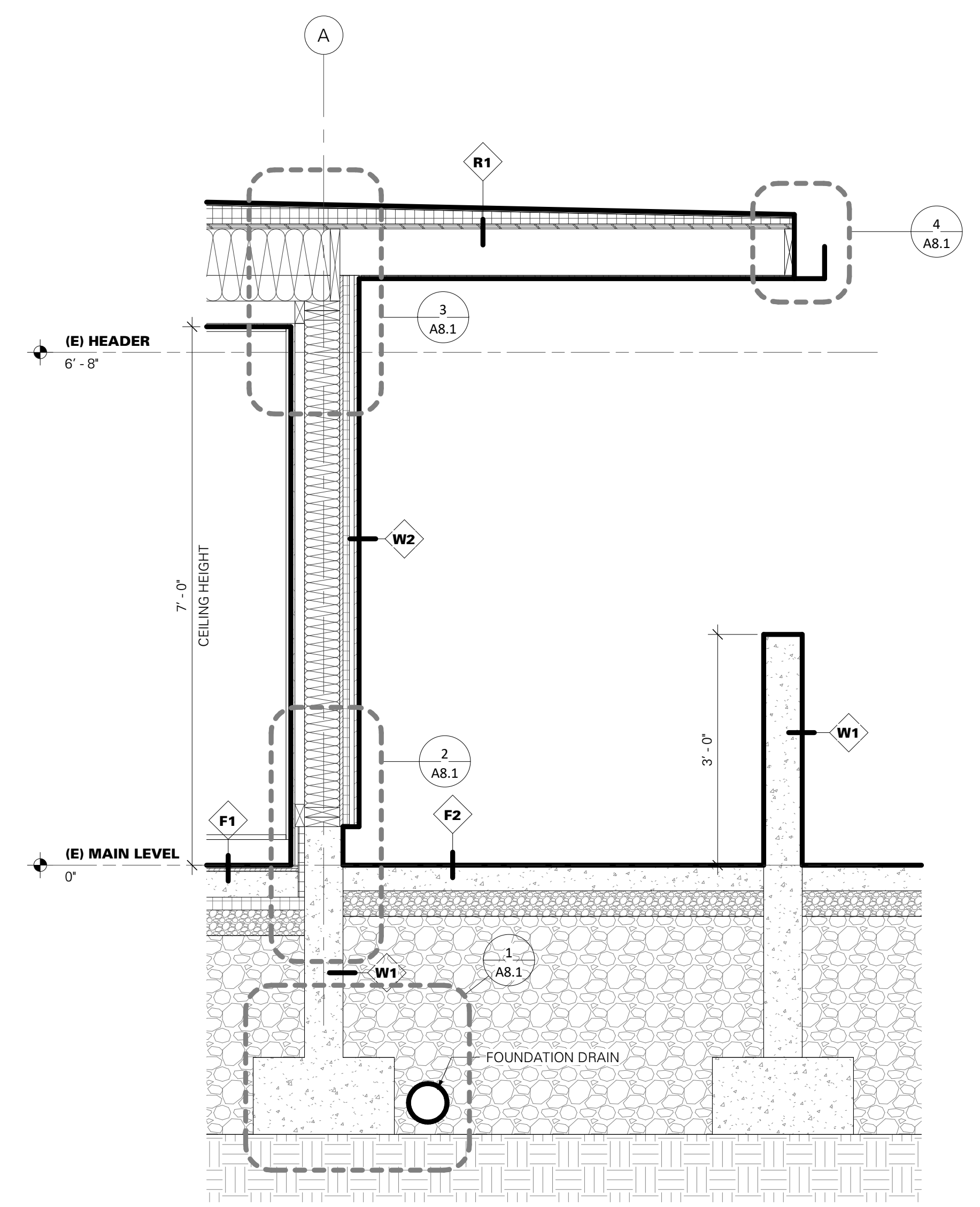
A3.3



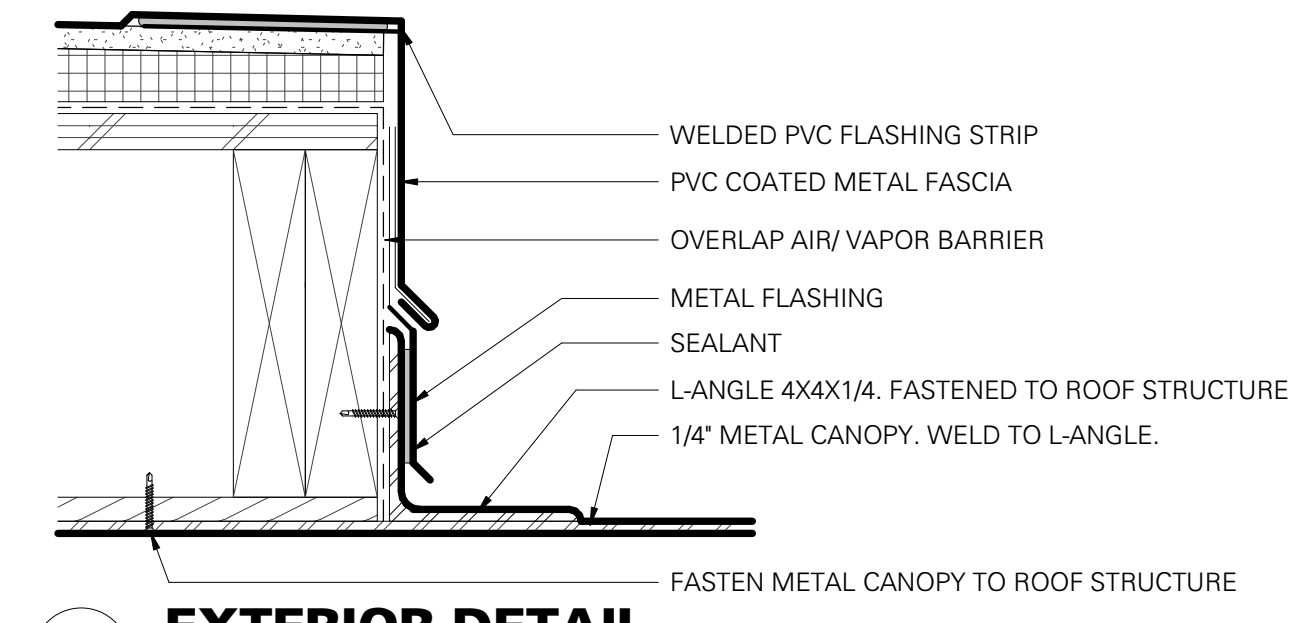
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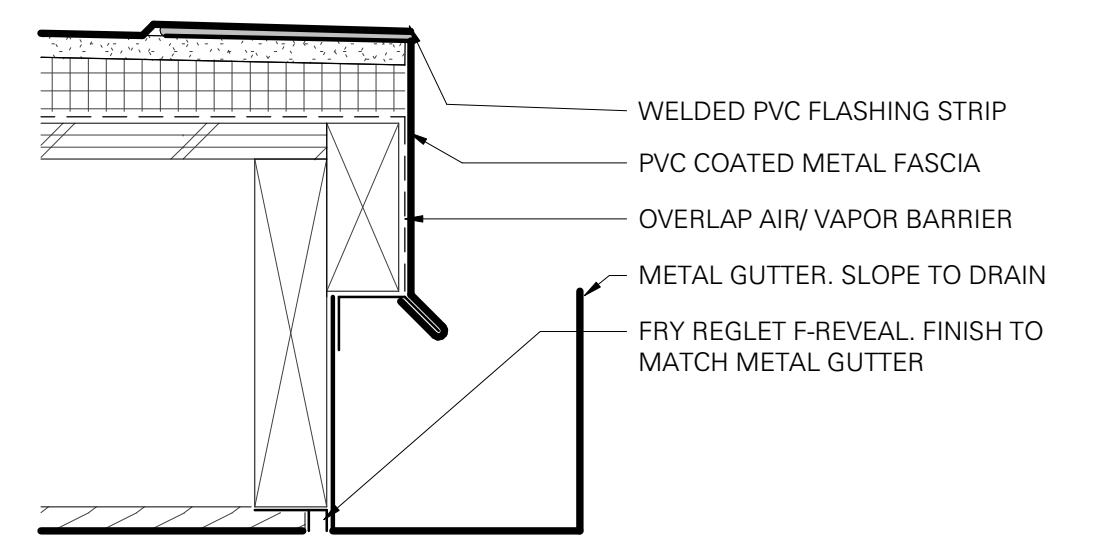
2 WALL SECTION
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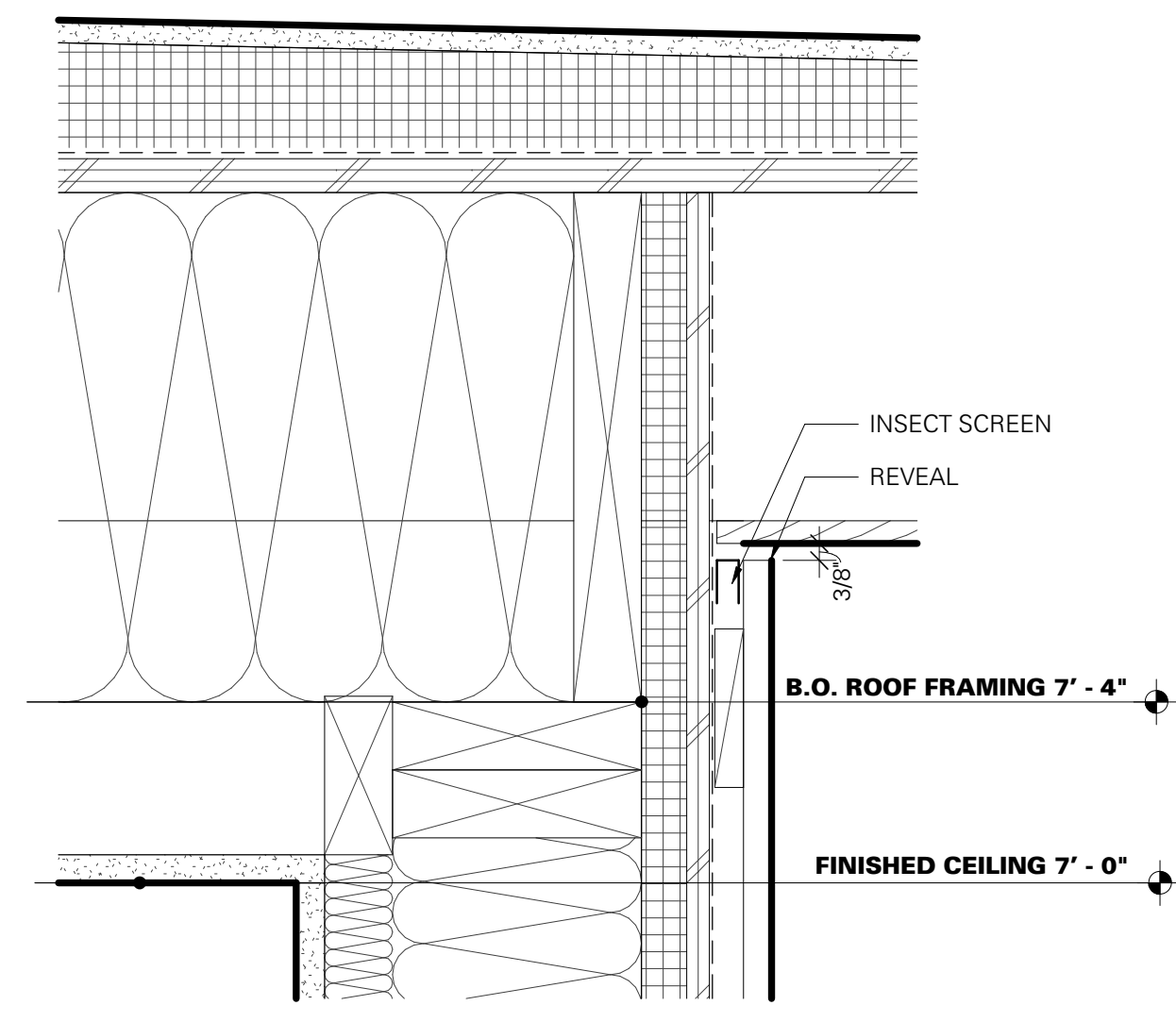
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SCALE: 3/4" = 1'-0"



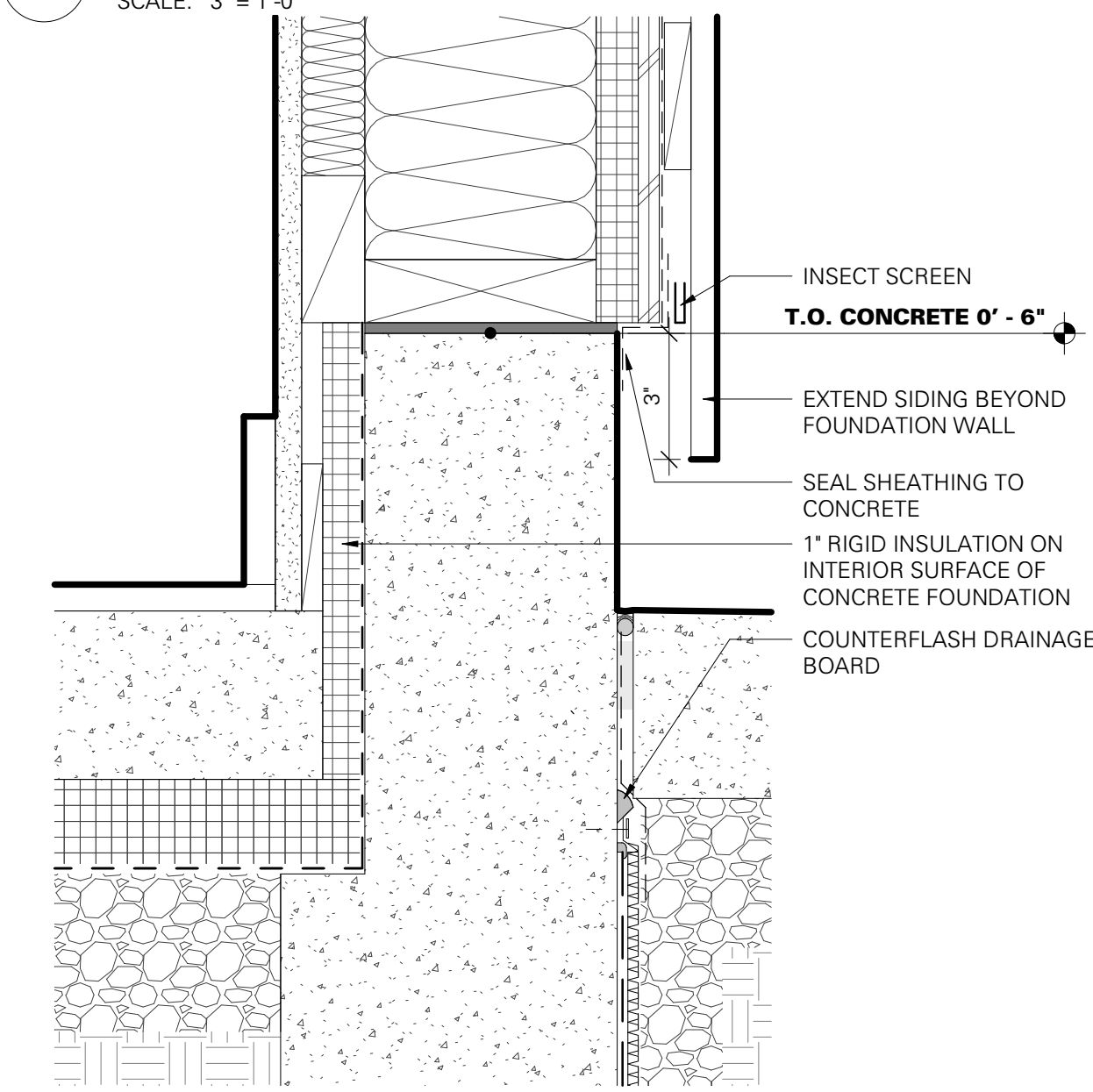
6 EXTERIOR DETAIL
 SCALE: 3" = 1'-0"



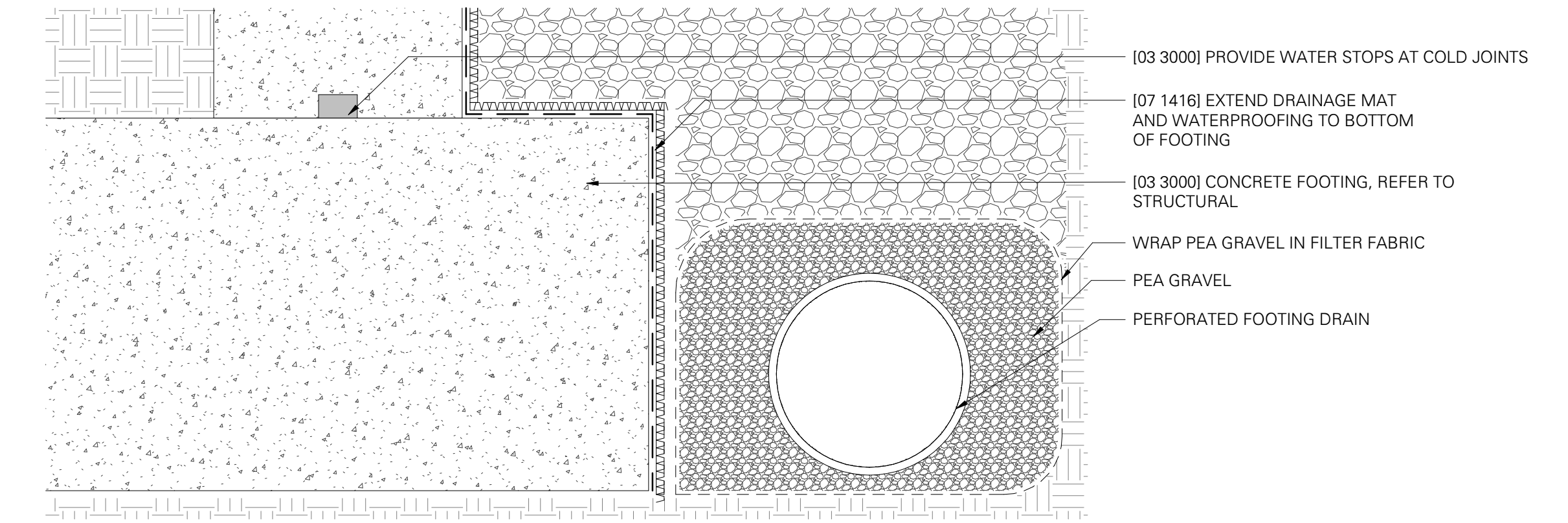
4 EXTERIOR DETAIL
 SCALE: 3" = 1'-0"



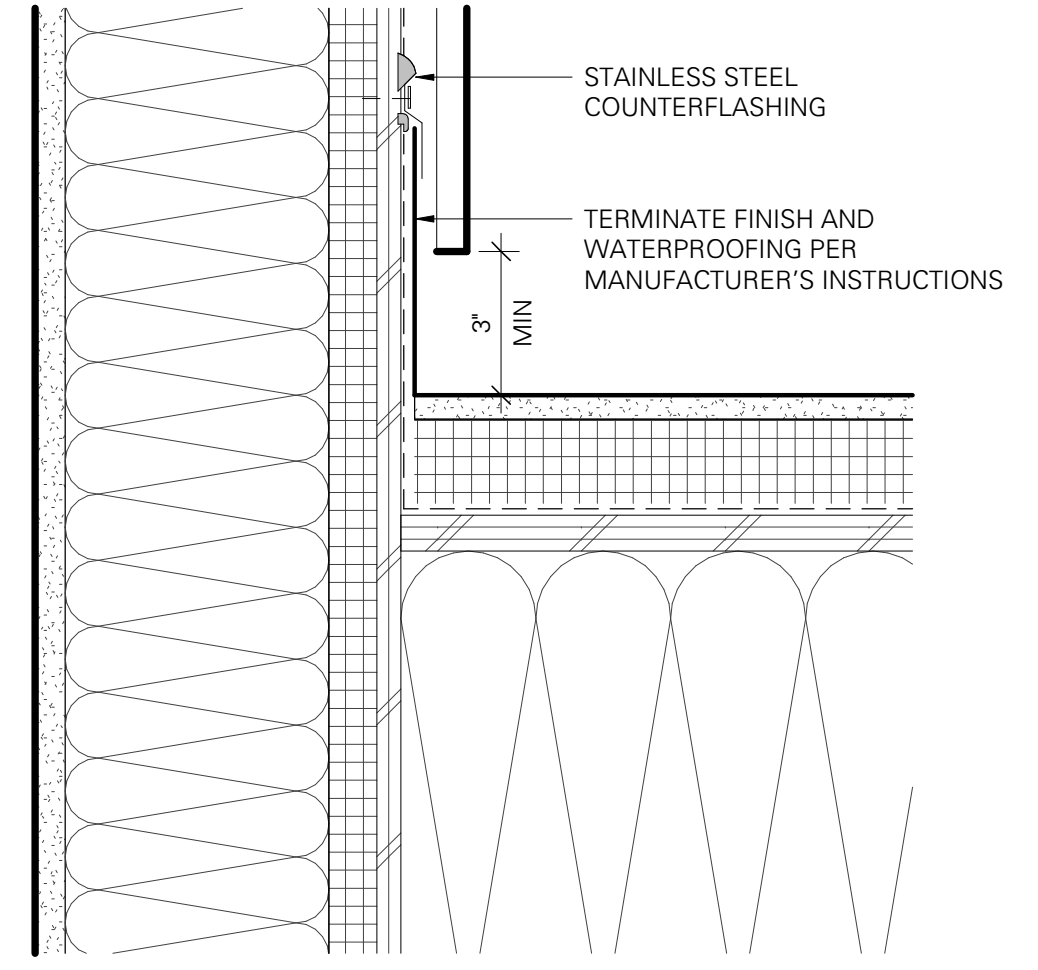
3 EXTERIOR DETAIL
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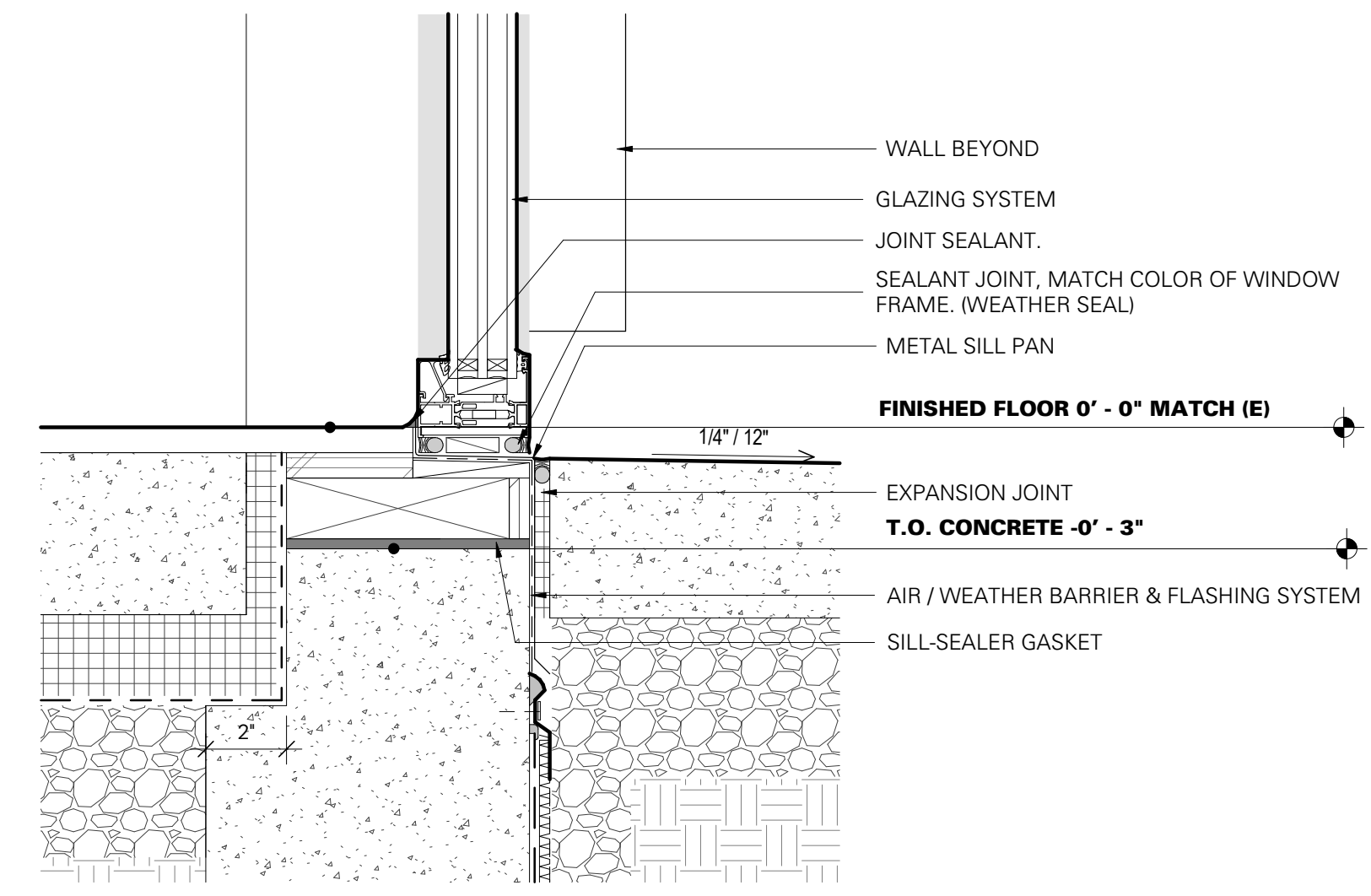
2 EXTERIOR DETAIL
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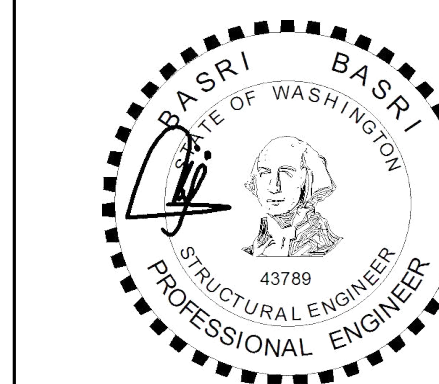
1 EXTERIOR DETAIL
 SCALE: 3" = 1'-0"



5 EXTERIOR DETAIL
 SCALE: 3" = 1'-0"



7 EXTERIOR DETAIL
 SCALE: 3" = 1'-0"



SIM REMODEL

4226 85TH AVE SE,
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98040

DRAWING INFO

ISSUE DATE 06-27-24

ISSUED FOR PERMIT

PROJECT NO. 24003

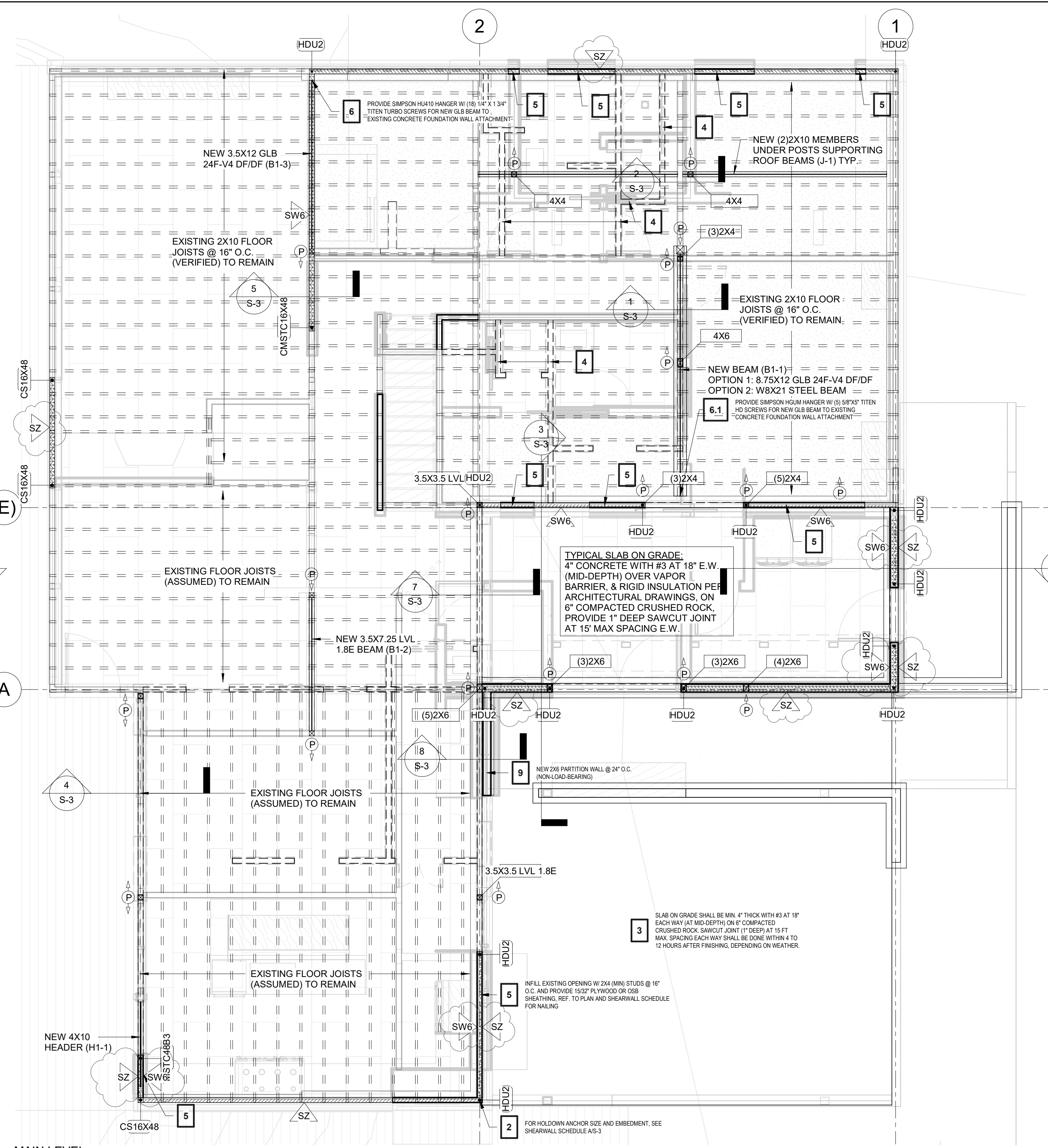
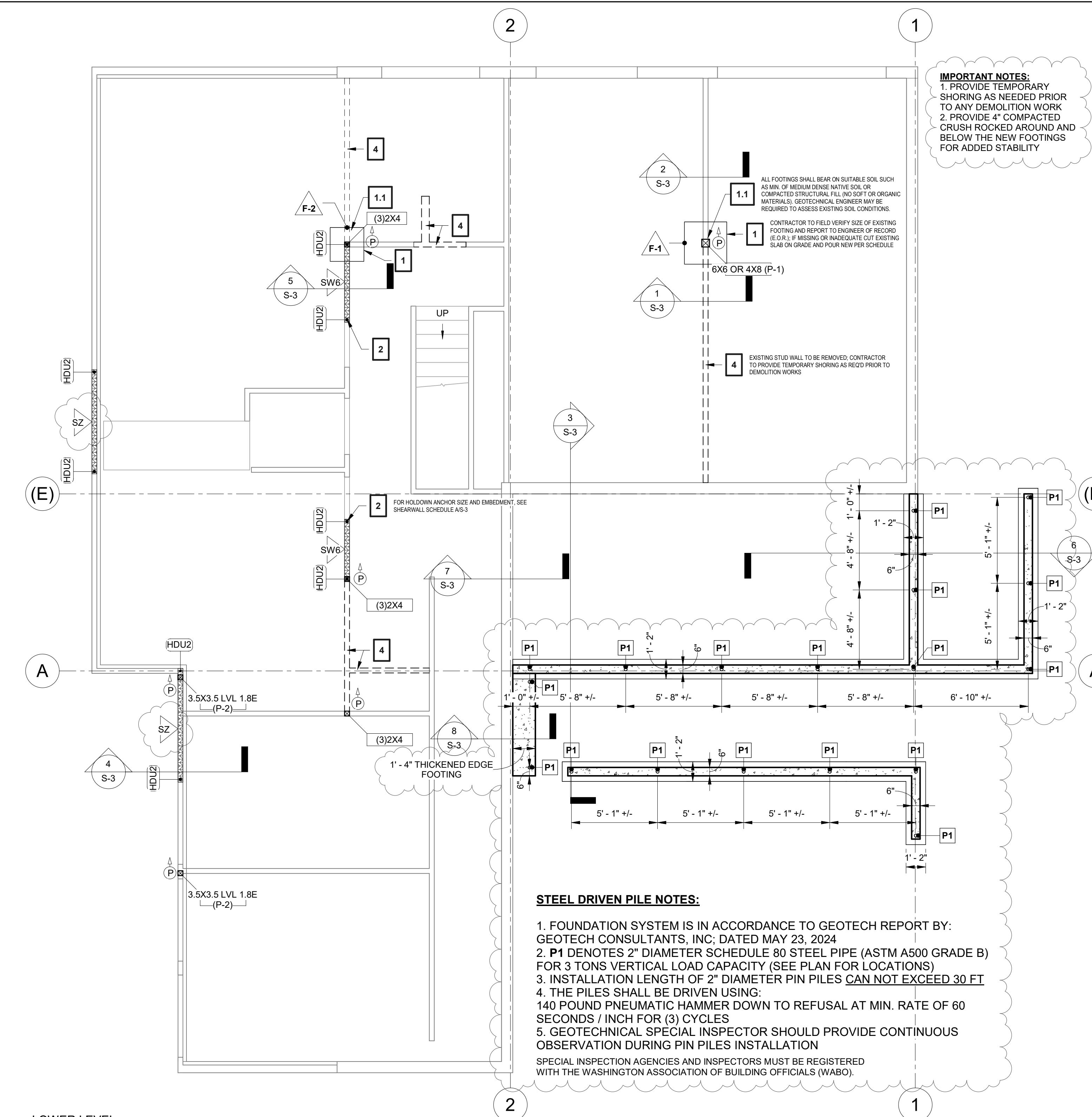
ENGINEER BB

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	06/25/24	Revision 1

FRAMING PLANS

S-1



IMPORTANT NOTES:
1. PROVIDE TEMPORARY SHORING AS NEEDED PRIOR TO ANY DEMOLITION WORK
2. PROVIDE 4" COMPACTED CRUSH ROCKED AROUND AND BELOW THE NEW FOOTINGS FOR ADDED STABILITY

STEEL DRIVEN PILE NOTES:
1. FOUNDATION SYSTEM IS IN ACCORDANCE TO GEOTECH REPORT BY: GEOTECH CONSULTANTS, INC; DATED MAY 23, 2024
2. P1 DENOTES 2" DIAMETER SCHEDULE 80 STEEL PIPE (ASTM A500 GRADE B) FOR 3 TONS VERTICAL LOAD CAPACITY (SEE PLAN FOR LOCATIONS)
3. INSTALLATION LENGTH OF 2" DIAMETER PIN PILES CAN NOT EXCEED 30 FT
4. THE PILES SHALL BE DRIVEN USING 140 POUND PNEUMATIC HAMMER DOWN TO REFUSAL AT MIN. RATE OF 60 SECONDS / INCH FOR (3) CYCLES
5. GEOTECHNICAL SPECIAL INSPECTOR SHOULD PROVIDE CONTINUOUS OBSERVATION DURING PIN PILES INSTALLATION
SPECIAL INSPECTION AGENCIES AND INSPECTORS MUST BE REGISTERED WITH THE WASHINGTON ASSOCIATION OF BUILDING OFFICIALS (WABO).

1 LOWER LEVEL
1/4" = 1'-0"

NUMBER	DESCRIPTION
1	CONTRACTOR TO FIELD VERIFY SIZE OF EXISTING FOOTING AND REPORT TO ENGINEER OF RECORD (E.O.R.); IF MISSING OR INADEQUATE CUT EXISTING SLAB ON GRADE AND POUR NEW PER SCHEDULE
1.1	ALL FOOTINGS SHALL BEAR ON SUITABLE SOIL SUCH AS MIN. OF MEDIUM DENSE NATIVE SOIL OR COMPACTED STRUCTURAL FILL (NO SOFT OR ORGANIC MATERIALS). GEOTECHNICAL ENGINEER MAY BE REQUIRED TO ASSESS EXISTING SOIL CONDITIONS.
2	FOR HOLDOWN ANCHOR SIZE AND EMBEDMENT, SEE SHEARWALL SCHEDULE A/S-3
3	SLAB ON GRADE SHALL BE MIN. 4" THICK WITH #3 AT 18" EACH WAY (AT MID-DEPTH) ON 6" COMPACTED CRUSHED ROCK. SAWCUT JOINT (1" DEEP) AT 15 FT MAX. SPACING EACH WAY SHALL BE DONE WITHIN 4 TO 12 HOURS AFTER FINISHING, DEPENDING ON WEATHER.
4	EXISTING STUD WALL TO BE REMOVED; CONTRACTOR TO PROVIDE TEMPORARY SHORING AS REQ'D PRIOR TO DEMOLITION WORKS
5	INFILL EXISTING OPENING W/ 2X4 (MIN) STUDS @ 16" O.C. AND PROVIDE 15/32" PLYWOOD OR OSB SHEATHING, REF. TO PLAN AND SHEARWALL SCHEDULE FOR NAILING
6	PROVIDE SIMPSON HU410 HANGER W/ (18) 1/4" X 1 3/4" TITEN TURBO SCREWS FOR NEW GLB BEAM TO EXISTING CONCRETE FOUNDATION WALL ATTACHMENT
6.1	PROVIDE SIMPSON HGUM HANGER W/ (5) 5/8" X 5" TITEN HD SCREWS FOR NEW GLB BEAM TO EXISTING CONCRETE FOUNDATION WALL ATTACHMENT
6.2	PROVIDE SIMPSON HUC HANGER FOR NEW HEADER TO EXISTING ROOF BEAM ATTACHMENT
7	FOR COMMON OPENING FRAMING DETAIL, PLEASE REFER TO B/S-3
8	TAPER NEW LVL BEAM TO UP TO 7 1/4" AT CANTILEVERED END
9	NEW 2X6 PARTITION WALL @ 24" O.C. (NON-LOAD-BEARING)
10.1	PROVIDE SIMPSON HUCQ HANGER
10.2	PROVIDE SIMPSON HUCQ HANGER (TO BE INSTALLED UPSIDE DOWN)

ISOLATED FOOTING SCHEDULE

ID	TYPE	WIDTH	LENGTH	THICKNESS	COUNT	REINFORCEMENT
F-1	RECTANGULAR	30"	30"	10"	1	3 - #4 E.W.
F-2	RECTANGULAR	24"	24"	10"	1	3 - #4 E.W.

PIN PILE SCHEDULE

ID	SIZE	COUNT
P1	2" SCH 80 PIPE	18

IMPORTANT NOTES FOR CONTRACTOR:
1. PROVIDE TEMPORARY SHORING AS NECESSARY PRIOR TO DEMOLITION WORKS
2. NOTIFY ENGINEER OF ANY DISCREPANCY IN COMPARISON WITH STRUCTURAL DOCUMENTS AND FIELD CONDITIONS
CONTRACTOR NOTES
1/4" = 1'-0"

IMPORTANT NOTES ON DRAWING REVIEW, FIELD VERIFICATION, TEMPORARY SHORING AND WATERPROOFING:

- CONTRACTOR MUST REVIEW STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION & NOTIFY DESIGN TEAM/OWNER OF ANY DISCREPANCY IN COMPARISON WITH ARCHITECTURAL DOCUMENTS OR FIELD CONDITIONS.
- IN REMODEL/RETROFIT PROJECTS, CONTRACTOR MUST FIELD VERIFY & NOTIFY DESIGN TEAM/OWNER OF EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL LINES THAT MAY INTERFERE WITH STRUCTURAL WORK PRIOR TO CONSTRUCTION. STRUCTURAL DRAWINGS MAY NOT REFLECT ALL EXISTING FRAMING CONDITIONS DUE TO LIMITED AVAILABLE INFORMATION.
- CONTRACTOR IS SOLELY RESPONSIBLE IN PROVIDING PROPER TEMPORARY SHORING PRIOR TO REMOVING ANY STRUCTURAL ELEMENTS.
- ENGINEER IS NOT RESPONSIBLE FOR WATERPROOFING SYSTEM OR DETAILS. CONTRACTOR/OWNER SHALL CONSULT WITH QUALIFIED PROFESSIONALS AS REQUIRED.

- FRAMING SYMBOLS:**
- SS24 SIMPSON WSW WOOD STRONG WALL (24" WIDE)
 - SW6 PLYWOOD SHEARWALL
 - A SHEARWALL HOLDOWN
 - CONTINUOUS POST
 - POST STOPS BELOW THIS FLOOR
 - POST STARTS AT THIS FLOOR

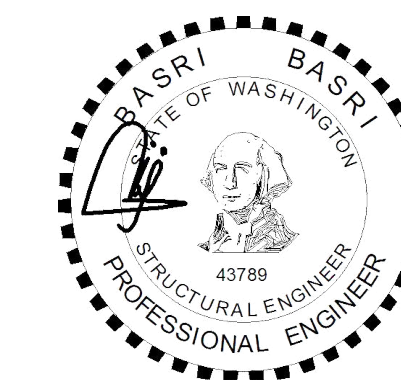
LEGEND AND NOTES
1/4" = 1'-0"

IMPORTANT NOTES ON FOUNDATION AND FRAMING:

- ALL FOOTINGS SHALL BEAR ON SUITABLE SOIL SUCH AS MIN. OF MEDIUM DENSE NATIVE SOIL OR COMPACTED STRUCTURAL FILL TO AT LEAST 95% OF MAX. DRY DENSITY BASED ON ASTM D1557. GEOTECHNICAL ENGINEER MAY INSPECT TO VERIFY THAT THE FOUNDATION WILL BEAR ON SUITABLE MATERIAL.
- FOR FRAMING LUMBER TYPES AND GRADES, AND CONCRETE MIX REQUIREMENTS PLEASE SEE S-0
- FOR PLYWOOD/OSB SHEARWALL SCHEDULE & HOLDOWN ANCHOR SIZE AND EMBEDMENT, PLEASE SEE A/S-3
- FOR COMMON HEADER FRAMING DETAIL, SEE B/S-3
- PROVIDE (2) 2X6 OR (3) 2X4 STUD POSTS AT EACH END OF BEAMS, UNLESS NOTED OTHERWISE ON PLAN
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- FLOOR SHEATHING SHALL BE 3/4" PLYWOOD OR OSB WITH 10d @ 6" NAILING AT EDGES & BLOCKING AND AT 12" AT FIELD
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IMPORTANT NOTES ON TRUSS AND LUMBER PACKAGE/LUMBER PACKAGE REVIEW:

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- TRUSS DEFLECTION CRITERIA:
FLOOR/DECK TOTAL LOAD = L/480
FLOOR/ROOF LIVE LOAD = L/600
ROOF TOTAL LOAD = L/240
ROOF SNOW LOAD = L/300
** MAXIMUM TOTAL LOAD DEFLECTION SHOULD NOT EXCEED 1.0" IN ALL CASES
- FLOOR/ROOF FRAMING LAYOUT AND CONNECTORS (SUCH AS LUMBER PACKAGE BY SUPPLIERS) MUST BE SUBMITTED FOR ENGINEER'S REVIEW PRIOR TO CONSTRUCTION



SIM REMODEL

4226 85TH AVE SE,
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98040

DRAWING INFO

ISSUE DATE	06-27-24
ISSUED FOR	PERMIT
PROJECT NO.	24003
ENGINEER	BB

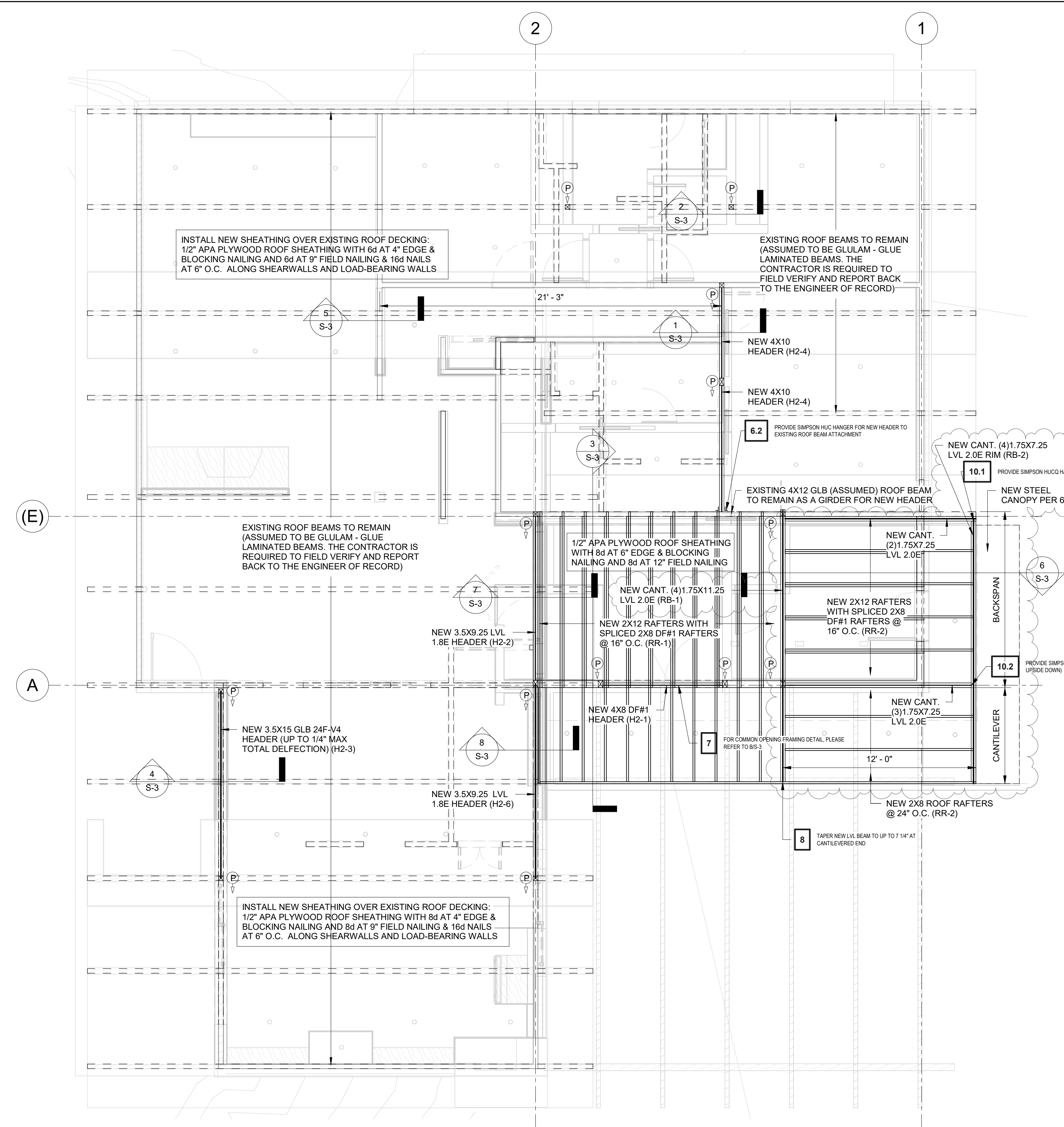
REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	06/25/24	Revision 1

FRAMING PLAN

PLAN CALLOUT AND DESCRIPTION

NUMBER	DESCRIPTION
1	CONTRACTOR TO FIELD VERIFY SIZE OF EXISTING FOOTING AND REPORT TO ENGINEER OF RECORD (E.O.R.); IF MISSING OR INADEQUATE CUT EXISTING SLAB ON GRADE AND POUR NEW PER SCHEDULE
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1 ROOF PLAN
1/4" = 1'-0"

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FRAMING SYMBOLS:

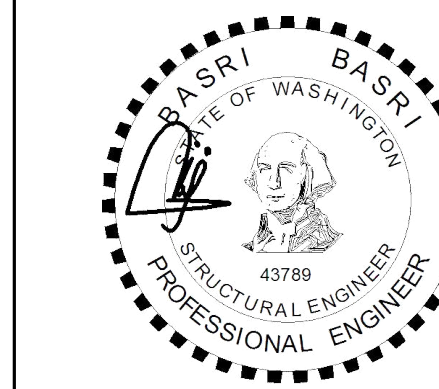
LEGEND AND NOTES
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PROJECT NO. 24003

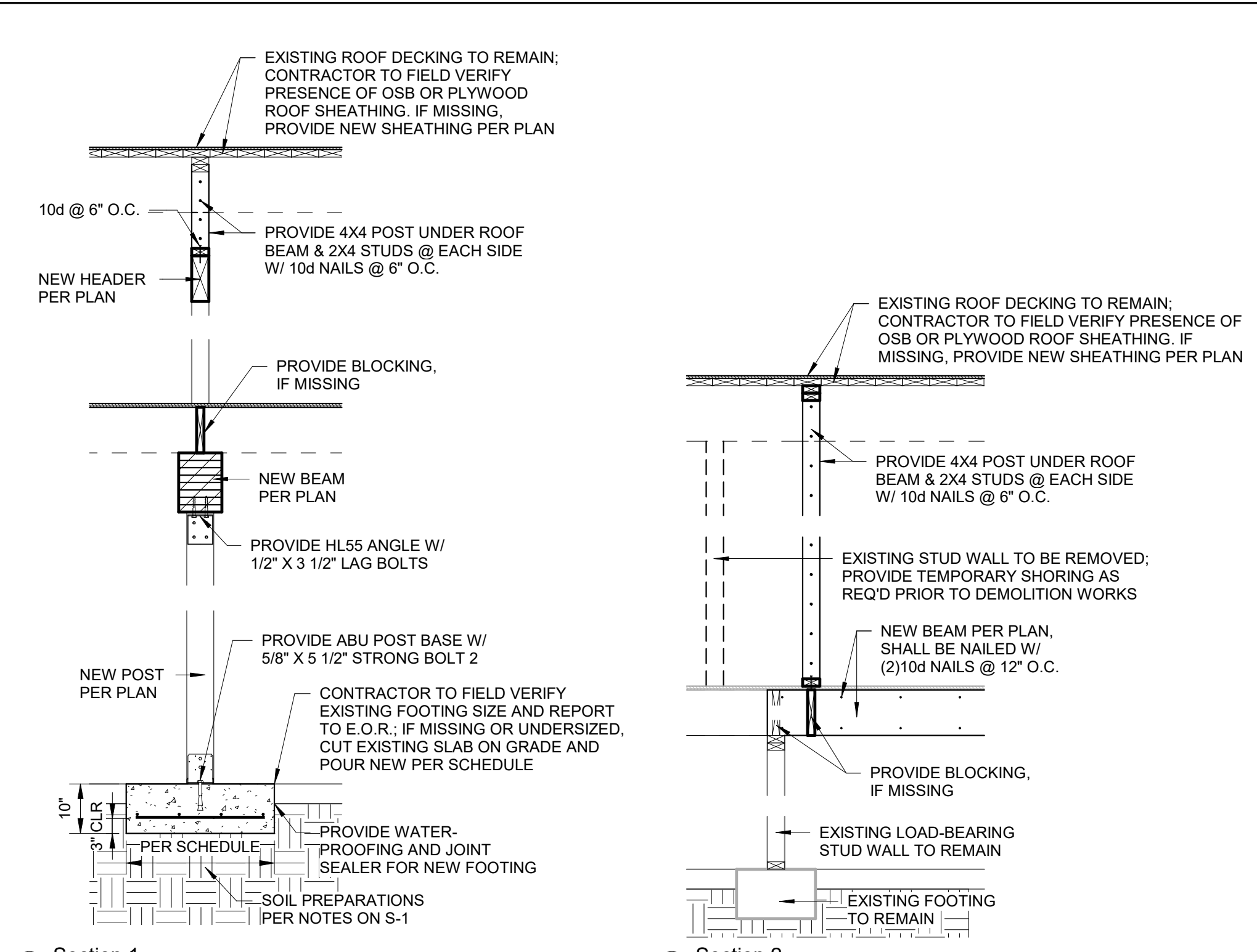
ENGINEER BB

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	06/25/24	Revision 1

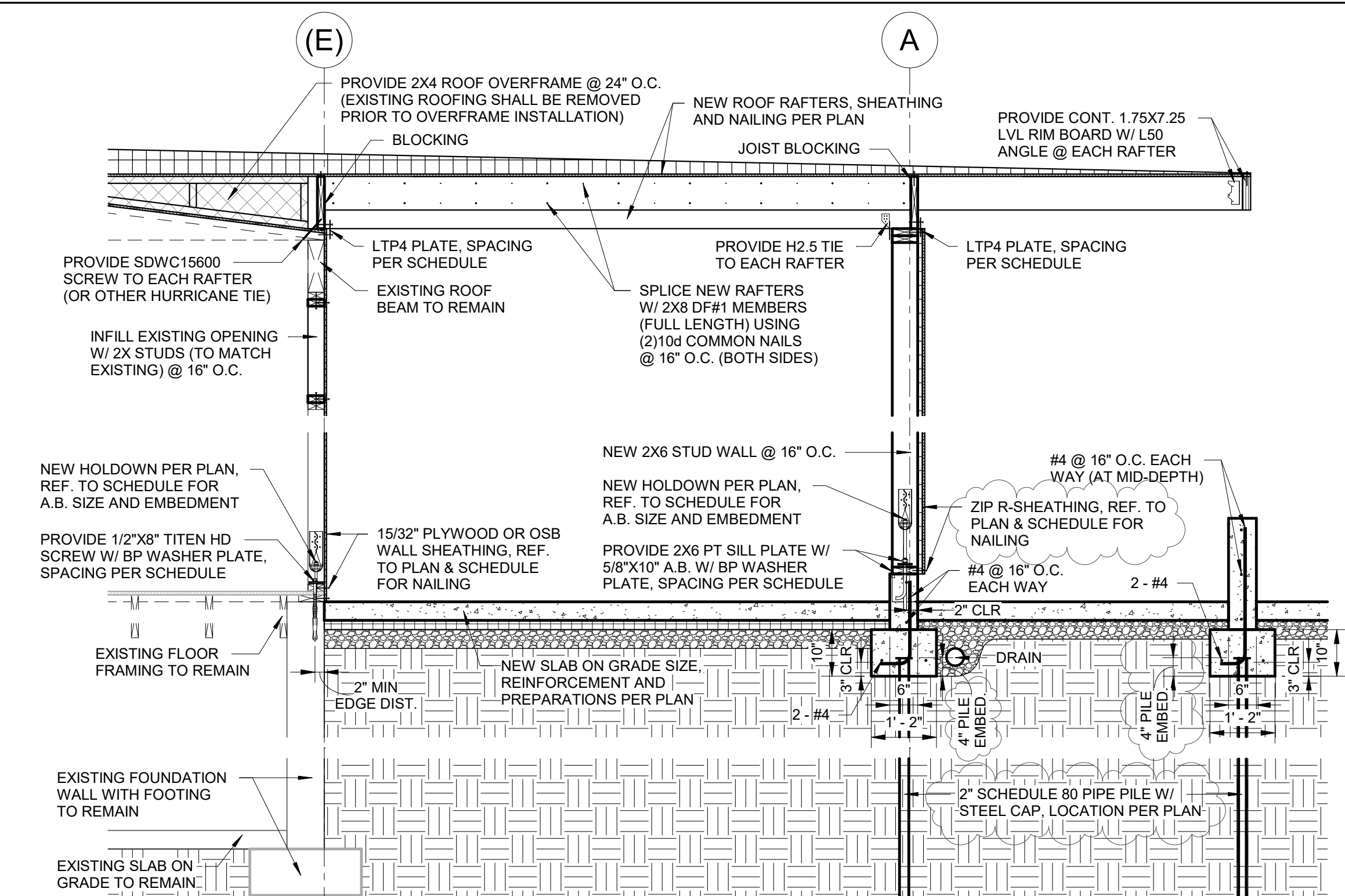
FRAMING DETAILS

S-3

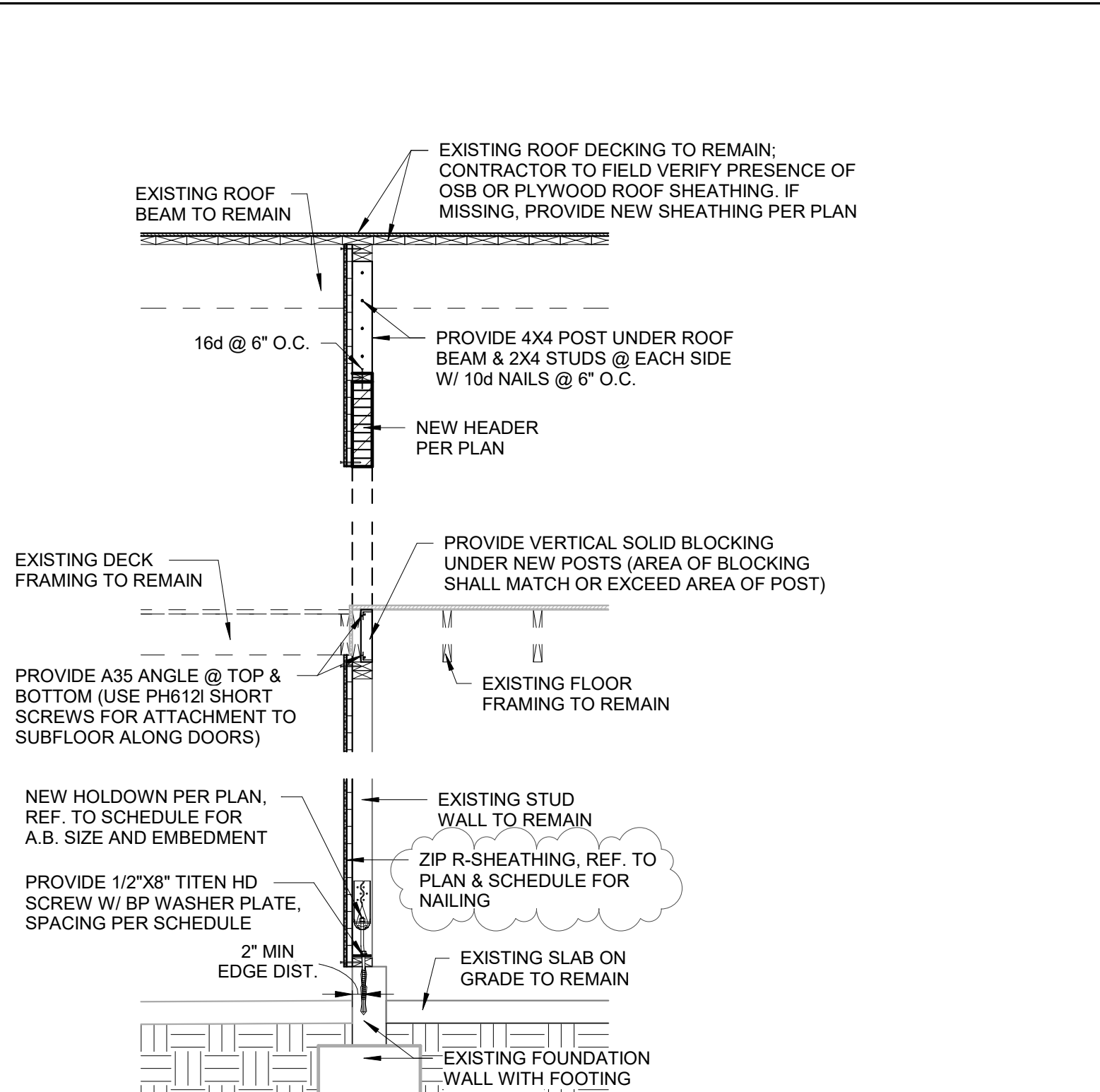


1 Section 1
1/2" = 1'-0"

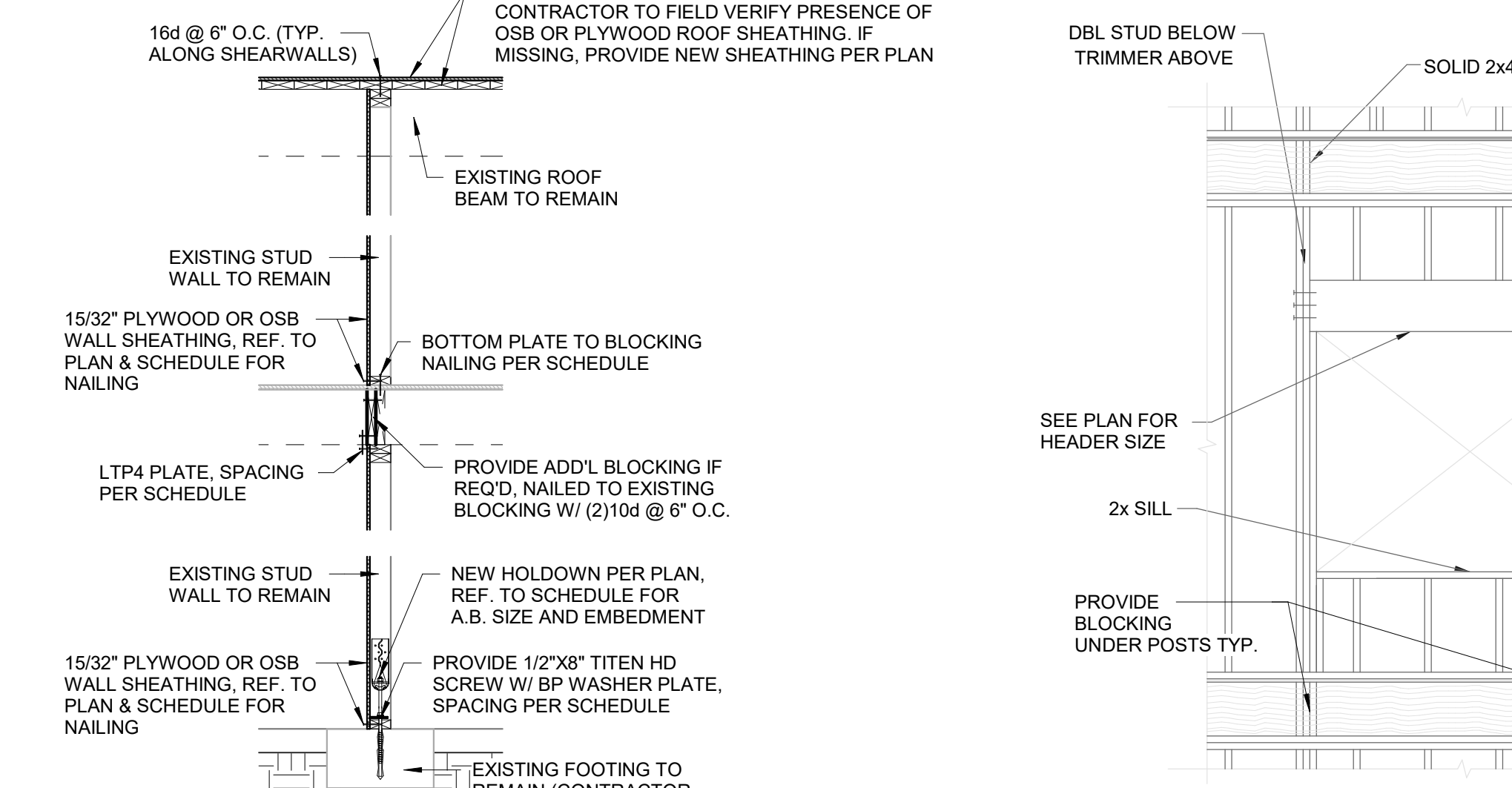
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1/2" = 1'-0"



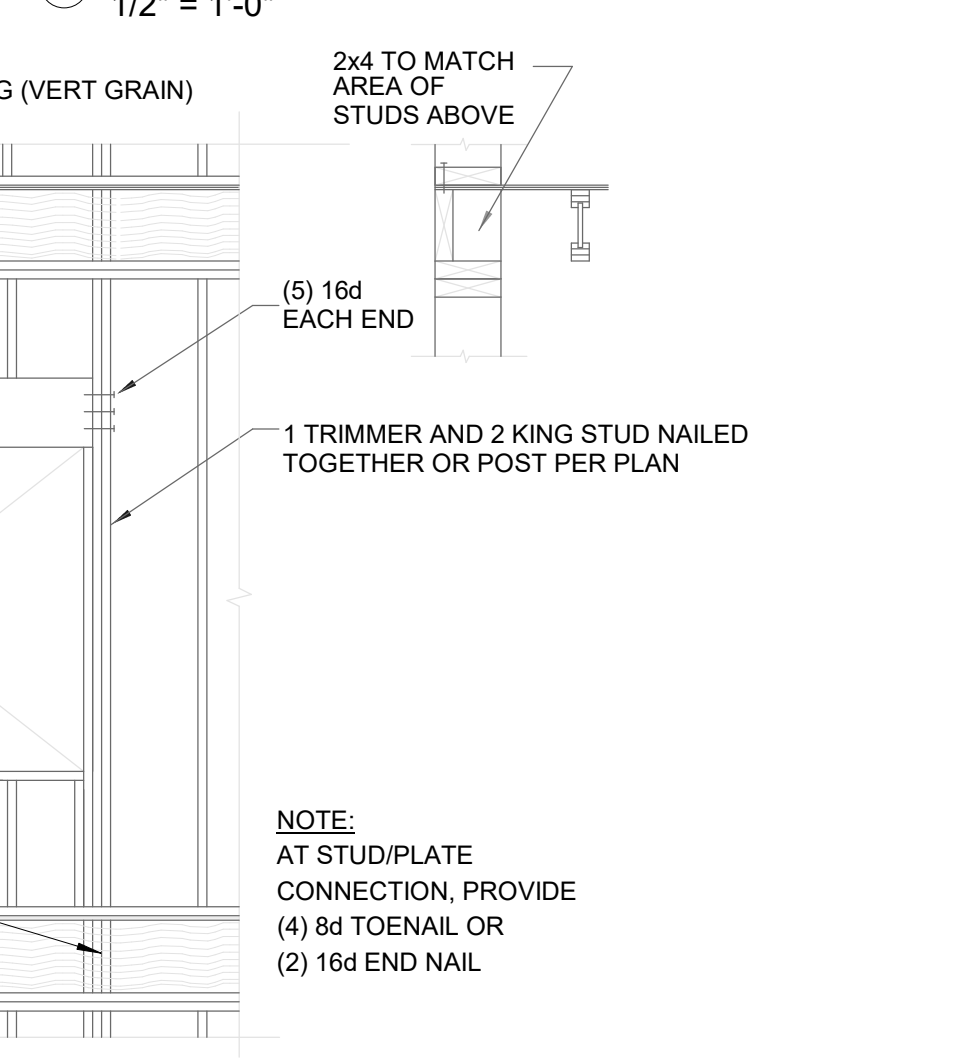
3 Section 3
1/2" = 1'-0"



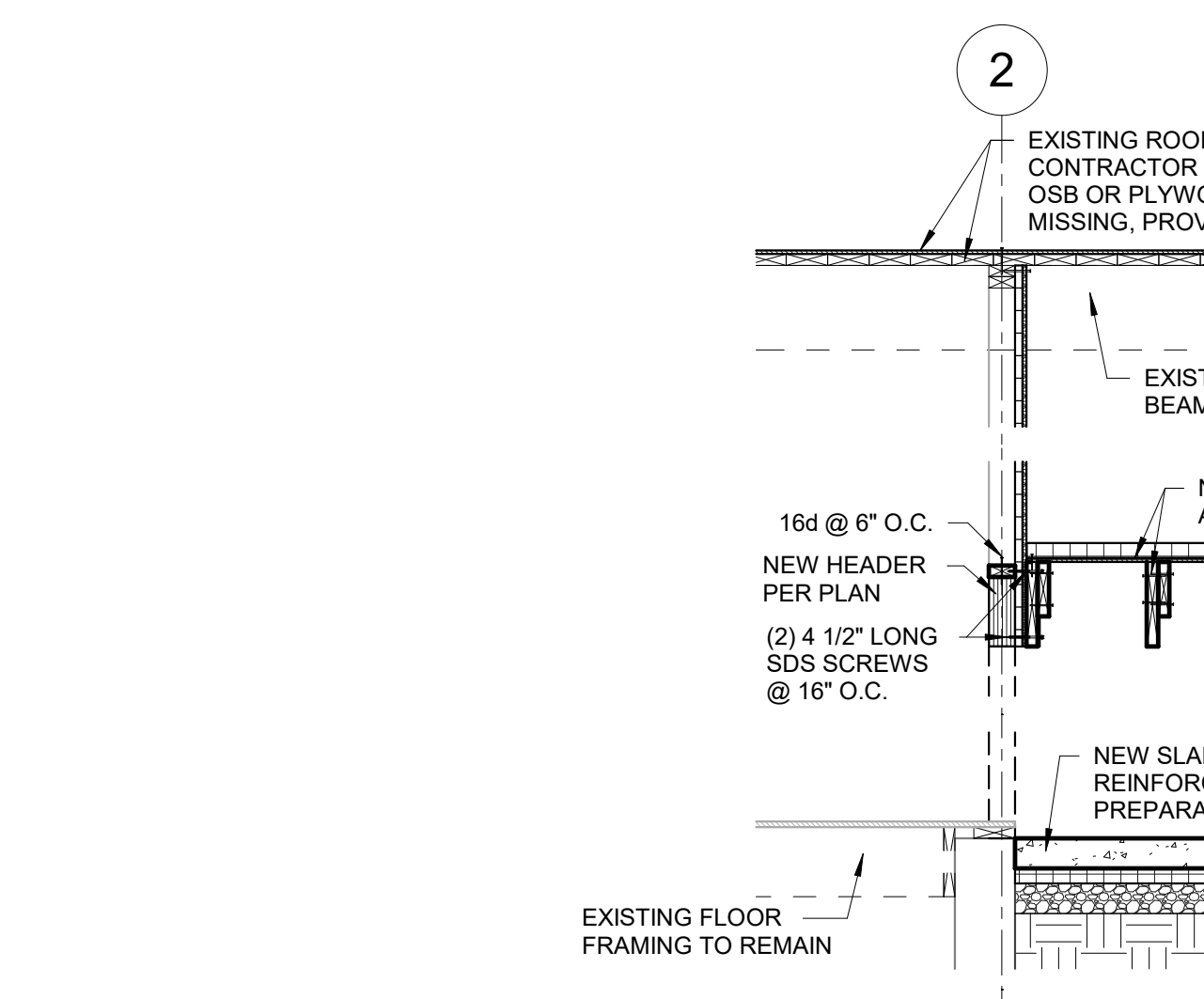
4 Section 4
1/2" = 1'-0"



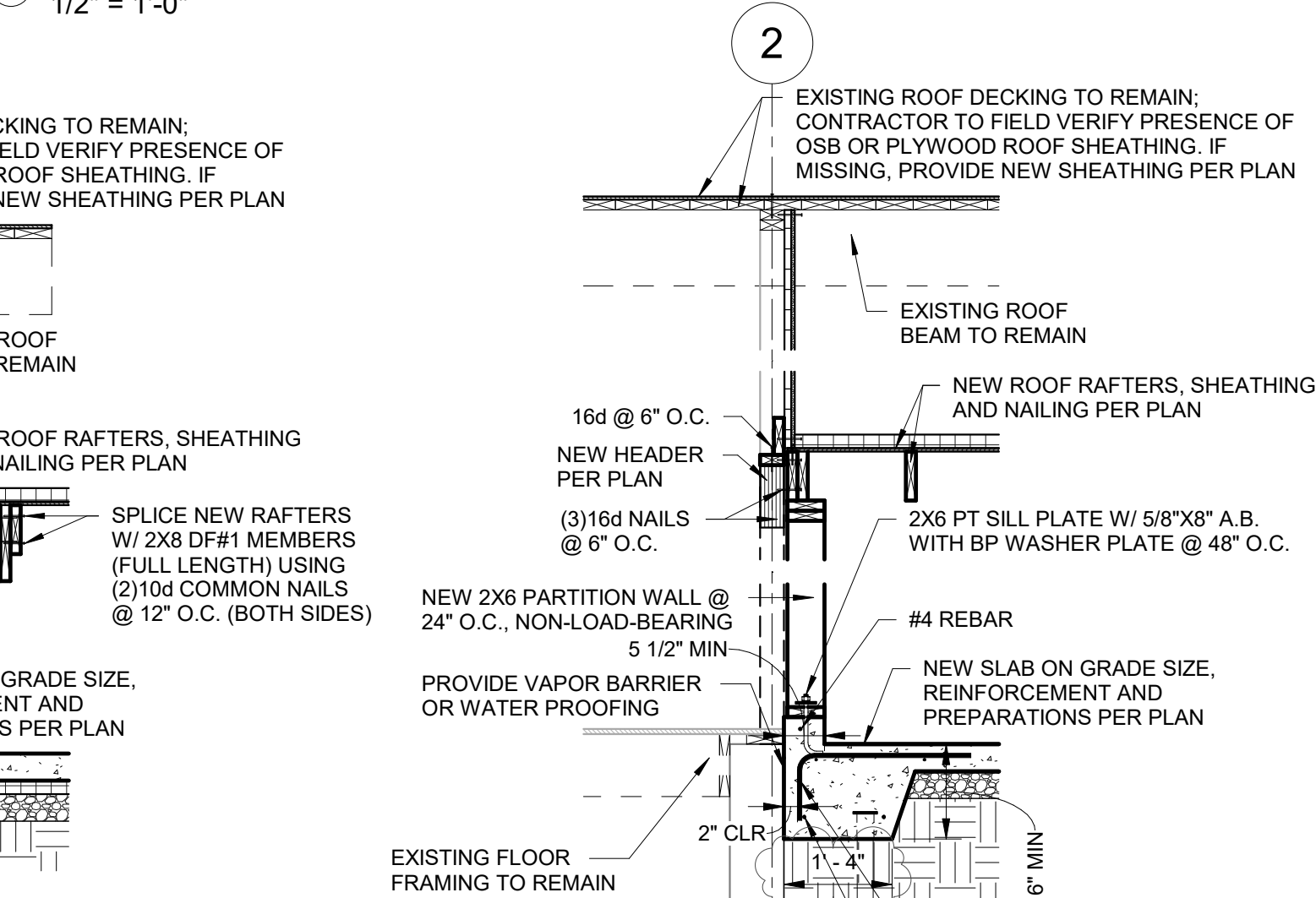
5 Section 5
1/2" = 1'-0"



6 TYP. WALL OPENING FRAMING
N.T.S.



7 Section 7
1/2" = 1'-0"



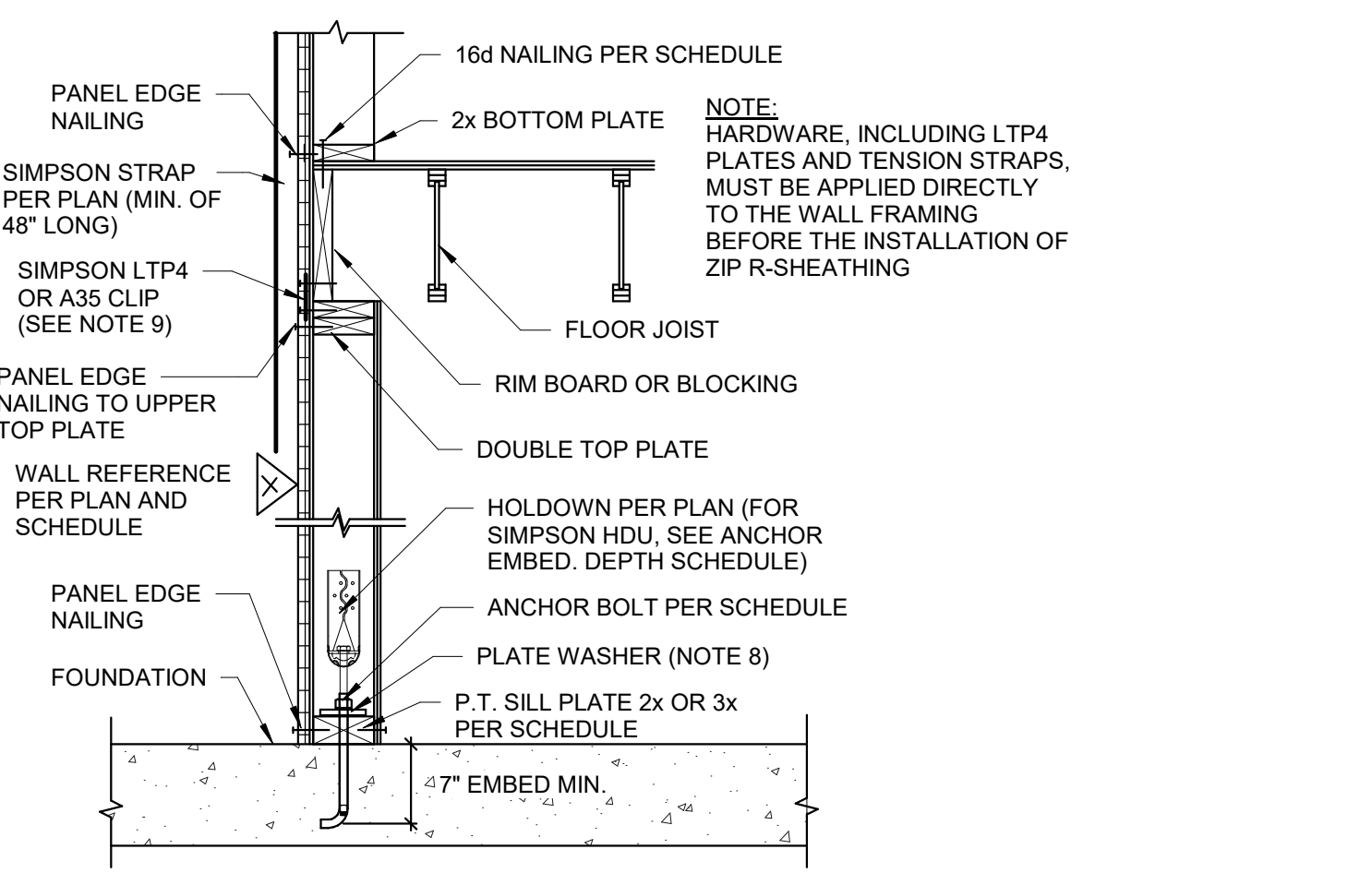
8 Section 8
1/2" = 1'-0"

TYPE	PLYWOOD OR OSB SHEATHING (NOTE 7)	PANEL EDGE NAILING (NOTE 4)	PANEL EDGE STUDS AND BLKG	ANCHOR BOLTS AT SILL PLATE (NOTE 8)	TOP/SILL PLATE TO BLOCKING/ RIM (NOTE 9)	BOTTOM PLATE TO BLOCKING/ RIM (NOTE 4)	CAPACITY (LRFD) (SEISMIC/WIND)
SW6	15/32" PLY/OSB ONE SIDE	10d COM AT 6"	2x	5/8" AT 36" O.C.-2x	SIMPSON LTP4 AT 24" O.C.	16d COM AT 6" O.C.-NARROW	496 PLF/ 696 PLF
SW4	15/32" PLY/OSB ONE SIDE	10d COM AT 4"	2x (SEE NOTE 5)	5/8" AT 24" O.C.-2x	SIMPSON LTP4 AT 16" O.C.	16d COM AT 4" O.C.-NARROW	736 PLF/ 1032 PLF
SW3	15/32" PLY/OSB ONE SIDE	10d COM AT 3"	3x	5/8" AT 18" O.C.-2x	SIMPSON LTP4 AT 12" O.C.	16d COM AT 3" O.C.-WIDE	960 PLF/ 1344 PLF
SW2	15/32" PLY/OSB ONE SIDE	10d COM AT 2"	3x	5/8" AT 12" O.C.-2x	SIMPSON LTP4 AT 8" O.C.	16d COM AT 2" O.C.-WIDE	1232 PLF/ 1724 PLF
SW44	15/32" PLY/OSB TWO SIDES	10d COM AT 4"	2x	5/8" AT 18" O.C.-3x	SIMPSON LTP4 AT 16" O.C. B.S.	(2) 16d COM AT 4" O.C.-WIDE	1472 PLF/ 2064 PLF
SW33	15/32" PLY/OSB TWO SIDES	10d COM AT 3"	3x	5/8" AT 16" O.C.-3x	SIMPSON LTP4 AT 12" O.C. B.S.	(2) 16d COM AT 3" O.C.-WIDE	1920 PLF/ 2688 PLF
SW22	15/32" PLY/OSB TWO SIDES	10d COM AT 2"	3x	5/8" AT 12" O.C.-3x	SIMPSON LTP4 AT 8" O.C. B.S.	(2) 16d COM AT 2" O.C.-WIDE	2464 PLF/ 3448 PLF
SZ	R-6 ZIP (1 1/2" THICK)	16d COM AT 3"	2x	5/8" AT 36" O.C.-3x	SIMPSON LTP4 AT 24" O.C.	16d COM AT 3" O.C.	357 PLF/ 571 PLF

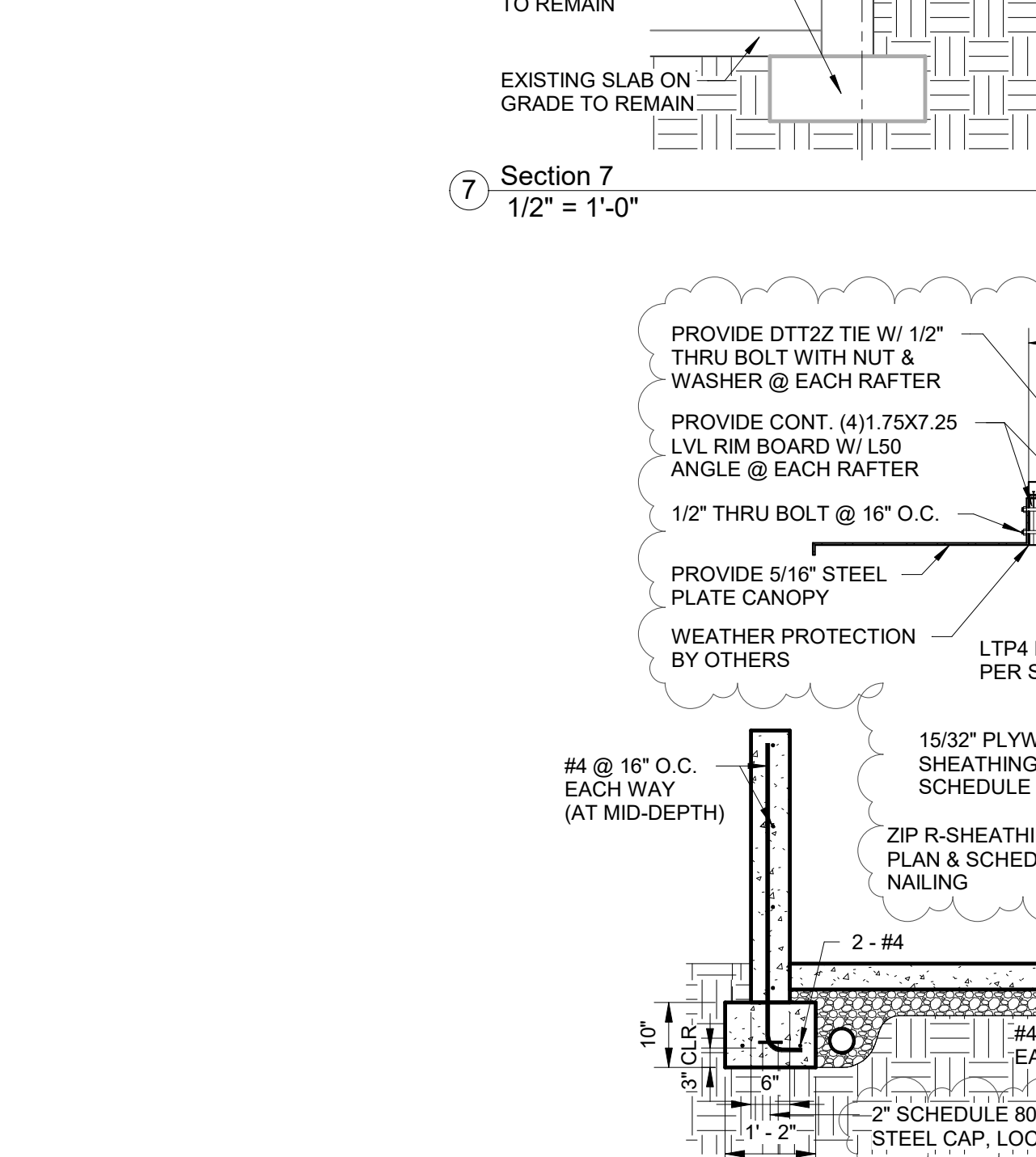
SHEARWALL SCHEDULE NOTES:

- ALL PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING AT WALLS
- NAIL SHEATHING TO INTERMEDIATE SUPPORTS/ FIELD NAILING 10d AT 12" O.C. FOR SW & 16d AT 12" O.C. FOR SZ
- ALL NAILS INTO 3x MEMBERS SHALL BE STAGGERED.
(2)x STUDS MAY BE USED IN LIEU OF 3x STUDS AT PANEL JOINTS.
NAIL STUDS TOGETHER W/2 ROWS 16d COMMON AT 6" O.C. AT SINGLE SIDE SHEATHING AND NAIL WITH 2 ROWS OF 16d COMMON AT 3" O.C. AT DOUBLE SHEATHED WALLS.
- COM DENOTES COMMON NAILS. MIN. NAIL PENETRATION INTO PLATE, RIM OR BLOCKING SHALL BE 1 5/8". STAGGER BOTTOM PLATE NAILING
- FOR SHEARWALL SW4, ALL FRAMING MEMBERS RECEIVING EDGE NAILINGS FROM ABUTTING PANELS SHALL BE 3x OR (2) 2x NAILED TOGETHER WITH 16d AT 6"
- WHERE SHEATHING IS APPLIED TO BOTH SIDES OF WALL, OFFSET PANEL EDGES TO FALL ON DIFFERENT STUDS.
- PROVIDE SHEAR WALL SHEATHING AND NAILING FOR ENTIRE LENGTH OF WALLS NOTED ON PLAN.
PROVIDE HOLD-DOWNS PER PLAN AT EACH END OF WALL. UNO.
PROVIDE (2) 2x STUDS AT ENDS OF ALL SHEARWALL. FACE NAIL MULTIPLE STUDS WITH 16d AT 12"
PROVIDE PANEL EDGE NAILING IN EACH HOLD-DOWN STUD AT END OF WALL.
- ALL FOUNDATION SILL PLATES SHALL BE PT MEMBERS AND THE ANCHOR BOLTS SHALL HAVE MIN. OF 7" EMBEDMENT WITH SIMPSON'S BP/ BPS WASHER PLATE. END OF WALL ANCHOR BOLTS SHALL BE LOCATED MAX 12" AND MIN 5" FROM END OF THE PLATE.
- WHERE NOTED IN DETAILS, USE SIMPSON A35 IN LIEU OF LTP4 PLATES SPACE AT 2/3 OF LTP4 SPACING.
SIMPSON HOLD-DOWN SIMPSON CAST IN PLACE ANCHOR BOLTS SIMPSON EPOXY ALL THREAD ANCHORS*
HDU2 SSTB16 (5/8" ANCHOR WITH 12 5/8" MIN. EMBED.) 1/2" (8" EMBED WITH SET-3G)
HDU4 SB 5/8x 24 (5/8" ANCHOR WITH 18" MIN. EMBED.) 5/8" (14" EMBED WITH SET-3G)
HDU5 SB 5/8x 24 (5/8" ANCHOR WITH 18" MIN. EMBED.) 5/8" (16" EMBED WITH SET-3G)
HDU8 SB 7/8x 24 (7/8" ANCHOR WITH 18" MIN. EMBED.)
HDU11 SB 1x 30 (1" ANCHOR WITH 24" MIN. EMBED.)
HDU14 SB 1x 30 (1" ANCHOR WITH 24" MIN. EMBED.)
* ALL ANCHORS SHALL BE 2 5/8" MIN. FROM EDGE OF CONCRETE WALL

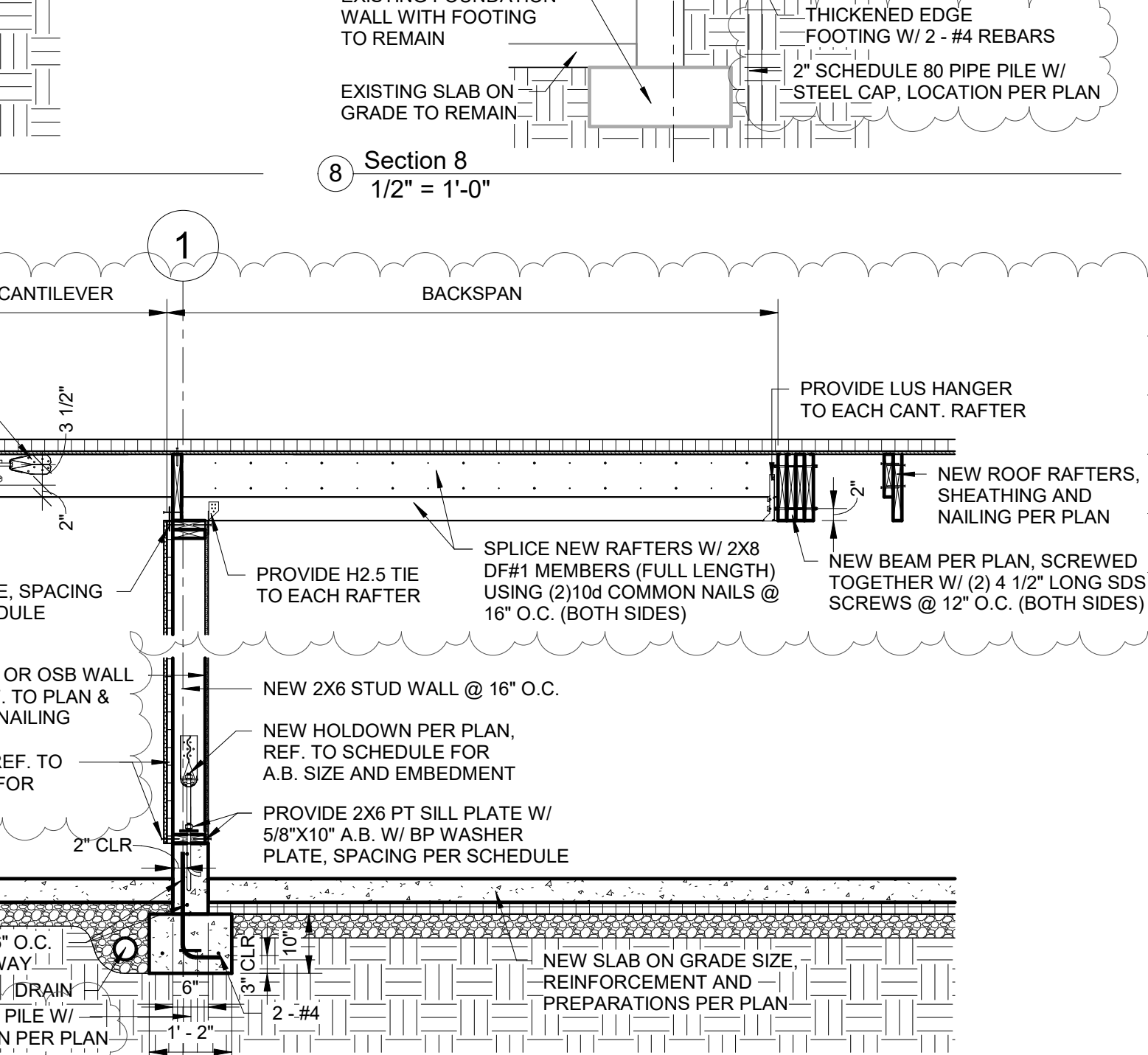
A SHEARWALL SCHEDULE
3/4" = 1'-0"



9 Section 9
1/2" = 1'-0"



10 Section 10
1/2" = 1'-0"



11 Section 11
1/2" = 1'-0"