

ENERGY CODE

CALCULATIONS BASED ON CHAPTER 51-11R WAC
2021 WASHINGTON STATE ENERGY CODE, RESIDENTIAL PROVISIONS

PRESCRIPTIVE REQUIREMENTS

SECTION R402 BUILDING THERMAL ENVELOPE, TABLE R402.1.3 FOR CLIMATE ZONE 4C

FENESTRATION (GLAZING) U-FACTOR MAX	0.30
SKYLIGHT U-FACTOR MAX	0.50
CEILING R-VALUE	R-60
WOOD FRAME WALL R-VALUE	R-20 CAVITY+ R-5 CONT OR R-13 CAVITY+ R-10 CONT
FLOOR R-VALUE	R-30
BELOW-GRADE WALL	R-10
SLAB R-VALUE & DEPTH	R-15
	R-21+ R-5 TB*
	R-10, 4 FT PERIMETER

*TB-THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL

R406.3 Additional energy efficiency requirements. Each dwelling unit in a residential building shall comply with sufficient options from Tables R406.2 and R406.3 so as to achieve the following minimum number of credits:

1. Small Dwelling Unit: 5.0 credits	5.0 credits
2. Medium Dwelling Unit: 8.0 credits	8.0 credits
3. Large Dwelling Unit: 9.0 credits	9.0 credits
4. Dwelling units serving R-2 occupancies: 6.5 credits	6.5 credits
5. Additions 150 square feet to 500 square feet:..... 2.0 credits	2.0 credits

R406.3 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS

1. Small Dwelling Unit **MIN 5 CREDITS**

PROVIDE: TABLE 406.2 FUEL EQUALIZATION CREDITS

SYSTEM TYPE OF PRIMARY HEATING SOURCE

4 For heating system using a heat pump that meets federal standards for the equipment listed in Table C403.3.2(2) or C403.3.2(9) or Air to water heat pump units that are configured to provide both heating and cooling and are rated in accordance with AHRI 550/590

PROVIDE: TABLE 406.3 ENERGY CREDITS

3.6 HIGH EFFICIENCY HVAC EQUIPMENT	1.0 CREDIT
5.4 EFFICIENT WATER HEATING	1.0 CREDITS
TOTAL	5.0 CREDITS

ENERGY CODE NOTES

- A PERMANENT CERTIFICATE PER R401.3 CERTIFICATE, SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM, OR AN APPROVED LOCATION INSIDE THE BUILDING. WHEN LOCATED ON AN ELECTRICAL PANEL, THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL, OR OTHER REQUIRED LABELS.

- THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN INSULATION MIN R-VALUES & FENESTRATION REQ'D BY COMPONENTS TABLE R402.1.3 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN THE TABLE.

- THE BUILDING SHALL COMPLY TO ENERGY CODE SECTION R403.3.7 BUILDING CAVITIES, R402.7 FLOOR INSULATION, AND R404.1 LIGHTING EQUIPMENT OR AS PER THE REQUIREMENTS OF THE CITY/TOWN OF JURISDICTION.

- AIR LEAKAGE, R402.4. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.6.

- AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER R403.1 CONTROLS.

- DUCTS AND AIR HANDLERS SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS R403.3.1 THROUGH R403.3.7. DUCTS IN UNCONDITIONED SPACES, R-8 FOR DUCTS 3" DIA AND LARGER AND NOT LESS THAN R-6 FOR DUCTS SMALLER THAN 3" DIA

- DUCT TESTING, SECTION R403.3.5. DUCTS SHALL BE LEAK TESTED IN ACCORDANCE WITH WSU RS-33, USING THE MAXIMUM DUCT LEAKAGE RATES SPECIFIED

- ELECTRIC WATER HEATER INSULATION, R403.5.6. ALL ELECTRIC WATER HEATERS IN UNCONDITIONED SPACES, OR ON CONCRETE FLOORS IN CONDITIONED SPACES, SHALL BE PLACED ON AN INSULATED SURFACE WITH A MINIMUM THERMAL RESISTANCE OF R-10, AND A MINIMUM COMPRESSIVE STRENGTH OF 40 PSI OR ENGINEERED TO SUPPORT THE APPLIANCE

- GAS FIREPLACE EFFICIENCY, R403.7.1. ALL GAS FIREPLACE HEATERS RATED TO ANSI Z21.88 SHALL BE LISTED AND LABELED WITH A FIREPLACE EFFICIENCY (FE) RATINGS OF 50 PERCENT OR GREATER IN ACCORDANCE WITH CSA P.4.1. VENTED GAS FIREPLACES (DECORATIVE APPLIANCES) CERTIFIED TO ANSI Z21.50 SHALL BE LISTED AND LABELED, INCLUDING THEIR FE RATINGS, IN ACCORDANCE WITH CSA P.4.1.

- MECHANICAL VENTILATION, W5EC R403.6. THE BUILDINGS SHALL BE PROVIDED WITH MECHANICAL VENTILATION THAT MEETS THE REQUIREMENTS OF SECTION M1505 IN IRC OR IBC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING. WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM PER 1505.4.3 MECHANICAL VENTILATION RATE W/ DISTRIBUTED BALANCED & 90% RUN TIME, WHOLE HOUSE VENTILATION INTEGRATED WITH A FORCED AIR SYSTEMS PROVIDE 150 CFM

- MAX HEAT EQUIPMENT OUTPUT -- Btu/Hour PER WASHINGTON STATE HEATING SYSTEM SIZE WORKSHEET.

DICKINSON RESIDENCE



GENERAL NOTES

1. GENERAL NOTES DO NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITIES DOCUMENTED IN AIA FORM A201 GENERAL CONDITIONS AND SUPPLEMENTAL GENERAL CONDITIONS OR INFORMATION CONTAINED WITHIN THE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES TO ASSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS.

3. ALL WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES AND ORDINANCES. ANY CONFLICT WHERE THE METHOD OR STANDARDS OF INSTALLATION OF THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE APPLICABLE CODE OR ORDINANCES, THE CODE OR ORDINANCES SHALL GOVERN. IN THE EVENT THIS OCCURS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. CURRENT EDITIONS OF THE CODE ARE LISTED HERE FOR GENERAL REFERENCE, BUT DO NOT RELEASE THE CONTRACTOR FROM CONFORMING TO ALL APPLICABLE BUILDING CODES AND ORDINANCES AND THEIR SUBSECTIONS.

4. CONSULTANT'S DRAWINGS INCLUDING BUT NOT LIMITED TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND INTERIOR DESIGN ARE SUPPLEMENTARY TO THE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES IDENTIFIED BETWEEN THE CONSULTANT'S DRAWINGS WITH A WRITTEN REQUEST FOR CLARIFICATION. WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

5. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE NOT SPECIFICALLY INDICATED, BUT ARE OF A SIMILAR CHARACTER TO DETAILS SHOWN. SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ARCHITECT.

6. THE CONTRACTOR SHALL INVESTIGATE EXISTING CONDITIONS BEFORE BEGINNING WORK.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT INDICATED IN THE CONTRACT DOCUMENTS, AND PROVIDED BY OTHERS.

8. THE CONTRACTOR SHALL PROVIDE ALL BLOCKING, BUCK-OUTS, BACKING AND JACKS AS REQUIRED FOR THE WORK, UNLESS NOTED OTHERWISE.

9. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR INSPECTING THE WORKMANSHIP OF SUBCONTRACTORS PRECEDING. DISCREPANCIES IN PROCEEDING WORK SHALL BE REPORTED TO THE CONTRACTOR IMMEDIATELY. FAILURE TO DO SO IN A TIMELY MANNER SHALL BE CONSTRUED AS ACCEPTANCE OF THAT WORK.

10. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DAMAGE TO ADJACENT WORK CAUSED BY THE SUBCONTRACTOR, ITS AGENTS, OR EMPLOYEES. SUBCONTRACTOR SHALL REPAIR SAID DAMAGE AT THE SUBCONTRACTOR'S EXPENSE.

11. THE USE OF WORD "PROVIDE" SHALL ALWAYS MEAN, "FURNISH, INSTALL, CONNECT OR SECURE" AS REQUIRED.

12. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS AND TRADE ASSOCIATES ACCEPTED STANDARDS.

13. ALL AIR DUCTS, DRYER EXHAUST VENTS AND DUCTS, OUTSIDE COMBUSTION AIR, FLUES, PLUMBING WASTE, ELECTRIC LIGHT RECESSED CANS AND BOXES MUST MAINTAIN THE INTEGRITY OF FIRE-RESISTIVE ASSEMBLIES. REF: W5BC 704, 709, 710 AND 713. UFG AND CITY/TOWN/COUNTY STANDARDS.

14. DISHWASHER SHALL BE PROVIDED WITH AN ATMOSPHERIC AIR GAP MOUNTED ABOVE THE FLOOR LEVEL RIM OF SINK.

15. HOT WATER TANK MUST BE PROVIDED WITH ALL FOLLOWING:
a. BE SECURED TO PREVENT SEISMIC DISPLACEMENT.
b. BE PROVIDED WITH A PRESSURE RELIEF VALVE DISCHARGING TO THE EXTERIOR OF THE BUILDING TERMINATION 6" TO 24" ABOVE THE GROUND.
c. BE PROVIDED WITH A THERMAL EXPANSION TANK SIZED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

16. ELECTRIC RESISTANCE IS NOT ALLOWED.

17. ENCLOSURE AT HOT WATER TANKS AND FURNACES MUST BE PROVIDED WITH OUTSIDE AIR, AND THERMALLY ISOLATED TO SAME STANDARDS AS EXTERIOR ENVELOPE WITH TIGHT-FITTING U-0-NON-RIGID WATER CONNECTION AND IS OVER 4" IN HEIGHT IT MUST BE ANCHORED OR STRAPPED TO RESIST EARTHQUAKE MOTION.

18. INSTALL BACK WATER VALVE AT BASEMENT LEVEL AS REQUIRED TO PREVENT SEWERAGE BACKUPS PER UPS 710.1.

19. PERFORM REQUIRED SOUND TEST FOR INTERIOR RANGE HOOD WITH FAN CAPACITY GREATER THAN 400 CFM.

20. ALL HVAC AND MECHANICAL CONTRACTORS SHALL COMPLY WITH ALL APPLICABLE W5EC AND V1AQ REGULATIONS.

DRAWING STANDARDS / DIMENSIONS

13. DO NOT SCALE DRAWINGS; USE WRITTEN DIMENSIONS. IN THE EVENT THAT DISCREPANCIES ARE FOUND IN THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY CLARIFY SAID CONDITION WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

14. ALL INFORMATION RELATED TO EXISTING CONDITIONS HAS BEEN REPRESENTED TO THE BEST KNOWLEDGE OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES THAT WOULD EFFECT THE CONSTRUCTION OF THE PROJECT BEFORE STARTING THE WORK.

15. DIMENSIONS ARE TO THE FACE OF FRAMING, FACE OF CONCRETE, GRID LINES, OR CENTERLINE OF COLUMNS, DOORS AND WINDOWS UNLESS NOTED OTHERWISE.

16. VERIFY SIZE AND LOCATION OF AND PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, ANCHORS, INSERTS, ROUGH BLOCKS AND BACKING FOR SURFACE MOUNTED ITEMS.

17. PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND ELECTRICAL IN ALL FINISHED AREAS.

18. ALL SWING DOORS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE 4" FROM FACE OF STUD TO EDGE OF ROUGH OPENINGS OR CENTERED BETWEEN ROOM PARTITIONS AS SHOWN.

19. PLANS ARE DRAWN ASSUMING THE FOLLOWING ROUGH OPENINGS:
-SWINGING DOORS: NOMINAL SIZE +2"
-BI-FOLD DOORS: NOMINAL SIZE + 1 1/2"
-BI-PASS DOORS: NOMINAL SIZE +0"
-WINDOWS: NOMINAL SIZE +0"

20. PROVIDE CAULKING BETWEEN SOLE PLATES AND SUBFLOOR AND BETWEEN RIM JOISTS AT BOTH TOP PLATE AND SUBFLOOR.

21. SAFETY GLAZING: WINDOW MFR. SHALL PROVIDE TEMPERED SAFETY GLAZING WHERE REQUIRED BY IRC R308.4

22. SKYLIGHTS SHALL COMPLY WITH IRC R308.6

23. REFER TO ARCHITECT'S STANDARDS FOR SYMBOLS AND ABBREVIATIONS IN SPECIFICATION MANUAL FOR CLARITY OF DRAWINGS. IF A SYMBOL OR ABBREVIATION IS IDENTIFIED IN THE SPEC MANUAL THAT IS IN DISCREPANCY WITH THE STANDARDS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION.

24. DEFERRED SUBMITTALS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR BIDDER DESIGN AND FOR SUBMITTING DRAWINGS AND/OR SPECIFICATIONS TO THE CITY/TOWN OF JURISDICTION AS DEFERRED SUBMITTALS FOR THE FOLLOWING:

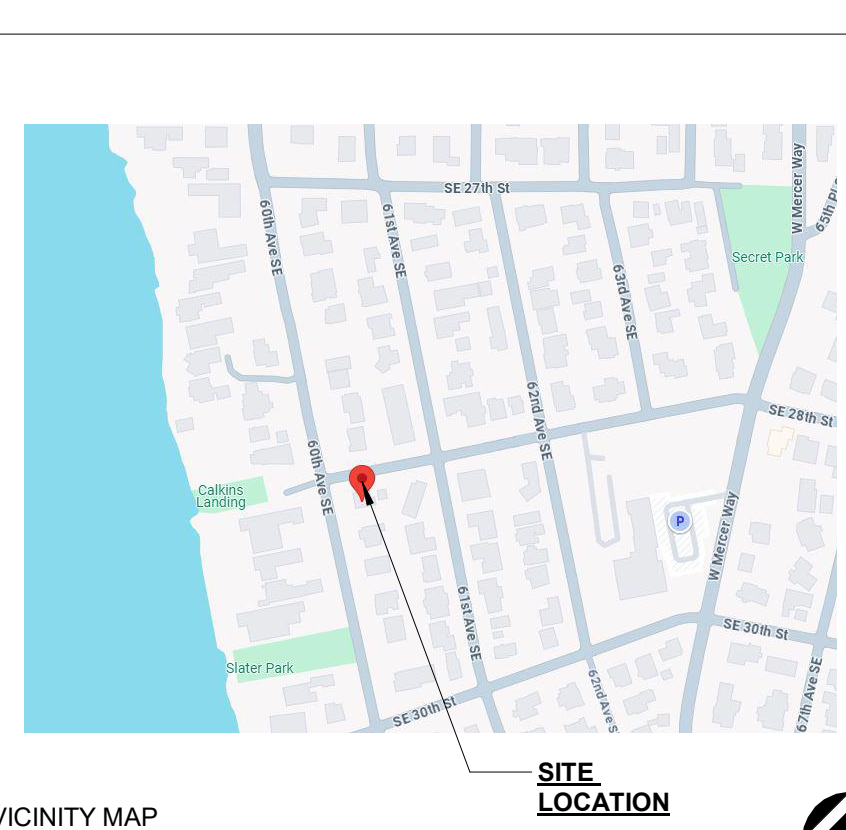
- PLUMBING
- ELECTRICAL
- HVAC, MECHANICAL SYSTEMS
- AUTOMATIC SPRINKLER SYSTEMS, VERIFY

THESE SUBMITTALS SHALL BE PROVIDED TO THE CITY PRIOR TO COMMENCING ANY WORK ON THE SYSTEM.

25. ALL FASTENERS, CONNECTORS & HANGERS IN CONTACT WITH PRESERVATIVE-TREATED WOOD ARE REQUIRED TO BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A153 OR BE STAINLESS STEEL.

26. REPETITIVE FEATURES NOT FULLY SHOWN OR NOTED ON THE DRAWINGS SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.

VICINITY MAP



VICINITY MAP

PROJECT TEAM

ARCHITECT:
NELSON ARCHITECTURE
1233 EVERGREEN POINT RD.,
MEDINA, WA 98039

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CNW ENGINEERING & SURVEYING
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INTERIOR DESIGN:
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1233 EVERGREEN POINT RD.,
SEATTLE, WA 98101
PHONE: (206) 344-5551

PROJECT DATA

PROJECT NAME:	DICKINSON RESIDENCE
PROJECT ADDRESS:	2800 60TH AVE. SE., MERCER ISLAND
PROJECT LEGAL DESCRIPTION:	EAST SEATTLE ADD N 1/2 OF 14 ALL 15-16, PLAT BLOCK: 15, PLAT LOT: 14-15-16
TAX PARCEL #:	217450-2670
LOT AREA:	7,502 SF (PER KING COUNTY RECORD)
JURISDICTION:	CITY OF MERCER ISLAND
LAND USE ZONING:	R-8.4
OCCUPANCY GROUPS:	R-3 SINGLE FAMILY RESIDENCE
TYPE OF CONSTRUCTION:	VB

PROJECT SCOPE OF WORK

EXISTING STRUCTURES TO REMAIN; MAINTAIN THE EXISTING LEGAL NON-CONFORMANCE OF FRONT YARD SETBACK ALONG THE STREET FRONTAGE ON SE 280TH STREET. CONSTRUCT ADDITION ATTACHED TO THE SOUTHERN SIDE OF THE EXISTING STRUCTURE. THE EXISTING NON-CONFORMING CARPORT IN THE EASTERN REAR YARD IS TO REMAIN.

BASED ON CITY OF MERCER ISLAND CODE SECTION 19.01.050 NONCONFORMING STRUCTURES, SITES, LOTS, AND USES, SUBSECTION (D) (b) (i)

"DETACHED SINGLE-FAMILY DWELLING, A LEGALLY NONCONFORMING DETACHED SINGLE-FAMILY DWELLING MAY BE INTENTIONALLY ALTERED OR ENLARGED WITHOUT LOSING ITS LEGAL NONCONFORMING STATUS AS LONG AS NO MORE THAN 40 PERCENT OF THE LENGTH OF THE DWELLING'S EXISTING EXTERIOR WALLS, EXCLUDING ATTACHED ACCESSORY BUILDINGS, IS STRUCTURALLY ALTERED. ANY PORTION OF THE LENGTH OF EXISTING WALLS THAT IS STRUCTURALLY ALTERED SHALL BE INCLUDED IN CALCULATING THE 40 PERCENT THRESHOLD..."

PLEASE SEE SHEET A002 FOR WALL LENGTH CALCULATION.

BASED ON MERCER ISLAND INTAKE SCREENING NOTES FROM THE FIRE DEPARTMENT, NFPA13D SPRINKLER SYSTEM IS REQUIRED FOR THIS PROJECT.

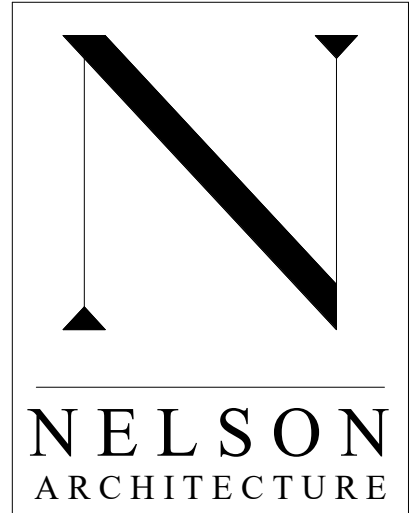
SHEET INDEX

GENERAL	A001 COVER SHEET
SURVEY	
CIVIL	C01 COVER SHEET C02 CIVIL PLAN
LANDSCAPE	T001 TREE PLAN
ARCHITECTURAL	A002.1 SITE PLAN A002.2 IMPERVIOUS & HARD SURFACES A101 MAIN FLOOR PLAN A102 UPPER FLOOR PLAN A103 BASEMENT PLAN A104 ROOF PLAN A201 BUILDING ELEVATIONS A202 BUILDING ELEVATIONS A301 BUILDING SECTIONS A302 BUILDING SECTIONS A401 WALL & STAIR SECTIONS A501 WINDOW & DOOR SCHEDULE A502 WATERPROOF DETAILS A601 DETAILS

STRUCTURAL	S-1.0 STRUCTURAL NOTES/ SCHEDULES S-1.1 FOUNDATION PLAN S-1.2 FOUNDATION/MAIN FLOOR FRAMING S-1.3 MAIN FLOOR SHEAR WALL PLAN S-1.4 MAIN FLOOR ROOF/ UPPER FLOOR FRAMING PLAN S-1.5 UPPER FLOOR SHEAR WALL PLAN S-1.6 ROOF FRAMING PLAN S-2.0 STRUCTURAL DETAILS S-3.0 STRUCTURAL DETAILS S-4.0 STRUCTURAL DETAILS
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ABBREVIATIONS

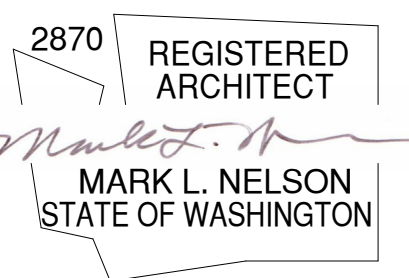
AFF	Above Finish Floor
ALT	Alternate
APPROX	Approximate
BDRM	Bedroom
BOW	Bottom of Wall
CAB	Cabinet
CONC	Concrete
CPT	Carpet
CSMT	Casement
CTR	Center, Counter
DBL	Double
DIM	Dimension
DN	Down
DR	Door
DS	Downspout
DTL	Detail
DW	Dishwasher
DWG	Drawing
E	Existing
EA	Each
ELEC	Electrical
ELEV	Elevation / Elevator
EQ	Equal
EQUIP	Equipment
EXT	Exterior
FD	Floor Drain
FF	Finish Floor
FFHB	Frost-Free Hose Bibb
FIN	Finish
FL	Floor Line
FLR	Floor / Flooring
GW	Guest
GWB	Gypsum Wall Board
GYP	Gypsum
HDR	Header
HDWD	Hardwood
HR	Hour
HT	Height
HW	High Window
HWT	Hot Water Tank
INSUL	Insulation / Insulate
INT	Interior
MECH	Mechanical
MFR	Manufacturer
MIR	Mirror
MISC	Miscellaneous
MTL	Metal
OC	On Center
OHG	Overhead
OVHD	Overhead
O/	Over
OG	Obscure Glass
P	Primary (As in P. Bath)
PLWD	Plywood
R	Riser / Radius
RD	Roof Drain
REF	Refrigerator
REINF	Reinforced / Reinforcement
REQ	Required / Requirement
RO	Rough Opening
SG	Safety Glass
SIM	Similar
SPEC	Specification / Specifications
SS	Stainless Steel
STL	Steel
STRL	Structural
SYS	System
TOW	TOP of Wall
TYP	Typical
UNO	Unless Noted Otherwise
VIF	Verify in Field
W/	With
WD	Wood
WDW	Window
WM	Water Meter
W/O	Without
WT	Weight
YD	Yard



Mark L. Nelson AIA
Principal

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PERMIT APPLICATION



Project:
DICKINSON RESIDENCE

25-
2800 60th Ave. SE, Mercer Island

Drawing Title:
COVERSHEET

Drawn By: NC

Checked By: MN

Approved By: MN

Issue Date: 2025-12-22

Revisions:

No.	Description	Date

Scale: 12" = 1'-0"

Sheet No.

A001

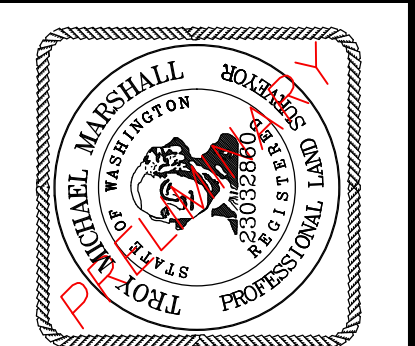
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TOPOGRAPHIC & BOUNDARY SURVEY

We are the measure | terrane.net

TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 2174502670
2800 60TH AVE SE

2800 60TH AVENUE SOUTHEAST
MERCER ISLAND, WA 98040



TERRANE

11235 SE 6th St, Suite 130
Bellevue, WA 98004
p: 425-458-4488 | e: info@terrane.net

JOB NUMBER: 241953
DATE: 11/06/24
DRAFTED BY: LSA
CHECKED BY: WMS/TMM
SCALE: 1" = 10'
REVISION HISTORY
11/11/24 TITLE REVIEW

SHEET NUMBER
1 OF 1

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED RECORDING NO. 2011083000996)
THE NORTH HALF OF LOT 14 AND ALL OF LOTS 15 AND 16, BLOCK 15, EAST SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 3 OF PLATS, PAGE(S) 23, IN KING COUNTY, WASHINGTON.

BASIS OF BEARINGS

ACCEPTED THE BEARING OF N12°07'50"W BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF 61ST AVE SE, PER REFERENCE NO. 2.

REFERENCES

- R1 EAST SEATTLE ADDITION, RECORDED IN VOLUME 3 OF PLATS, PAGE 22, RECORDS OF KING COUNTY, WASHINGTON.
- R2 RECORD OF SURVEY, RECORDED IN BOOK 195 OF SURVEYS, PAGE 140, RECORDS OF KING COUNTY, WASHINGTON.
- R3 RECORD OF SURVEY, RECORDED IN BOOK 106 OF SURVEYS, PAGE 290, RECORDS OF KING COUNTY, WASHINGTON.
- R4 RECORD OF SURVEY, RECORDED IN BOOK 51 OF SURVEYS, PAGE 139, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD 88 PER CITY OF MERCER ISLAND BENCHMARK NO. 47160-1086
DESCRIPTION: 1" CON MON W/ 3/8 PLUG
LOCATION: AT @ INTX SE 28TH ST & 60TH AVE SE
ELEVATION: 49.549'
SITE TEMP. BENCHMARK
DESCRIPTION: PK NAIL W/ RED WASHER
LOCATION: 20.6'N & 51.2'W FROM THE SW PROP COR
ELEVATION: 49.93'

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN NOVEMBER OF 2024. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES. TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 2174502670
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 7,502 S.F. (0.17 ACRES)
6. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 3-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

TITLE COMMITMENT NOTE

ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE INSURANCE COMPANY'S "ALTA HOMEOWNER'S POLICY", ORDER NO. 0281352-ETU, DATED OCTOBER 30, 2024. IN PREPARING THIS MAP, TERRANE, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS TERRANE, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED "ALTA HOMEOWNER'S POLICY". TERRANE, INC. HAS RELIED WHOLLY ON CHICAGO TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND TERRANE, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.

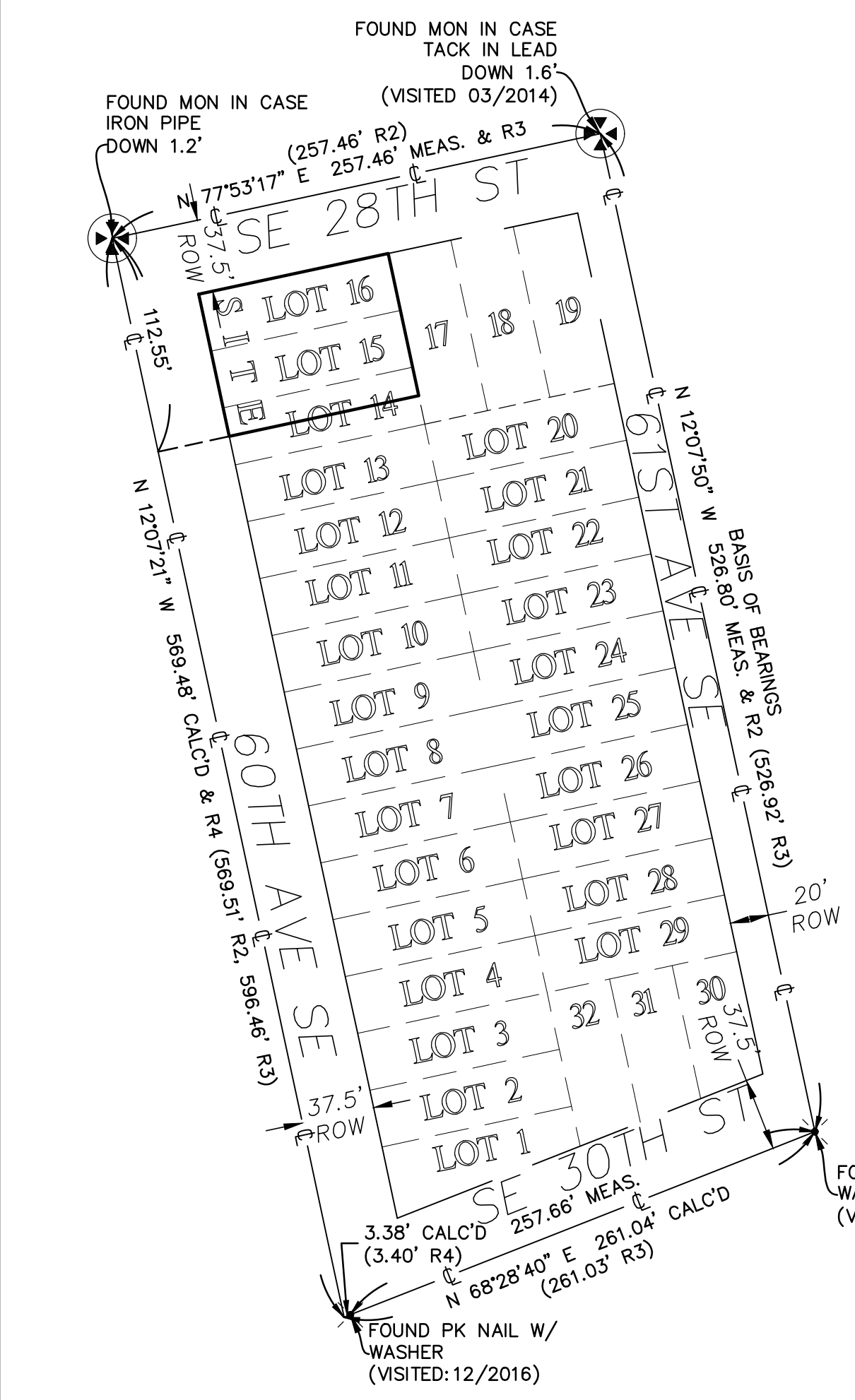
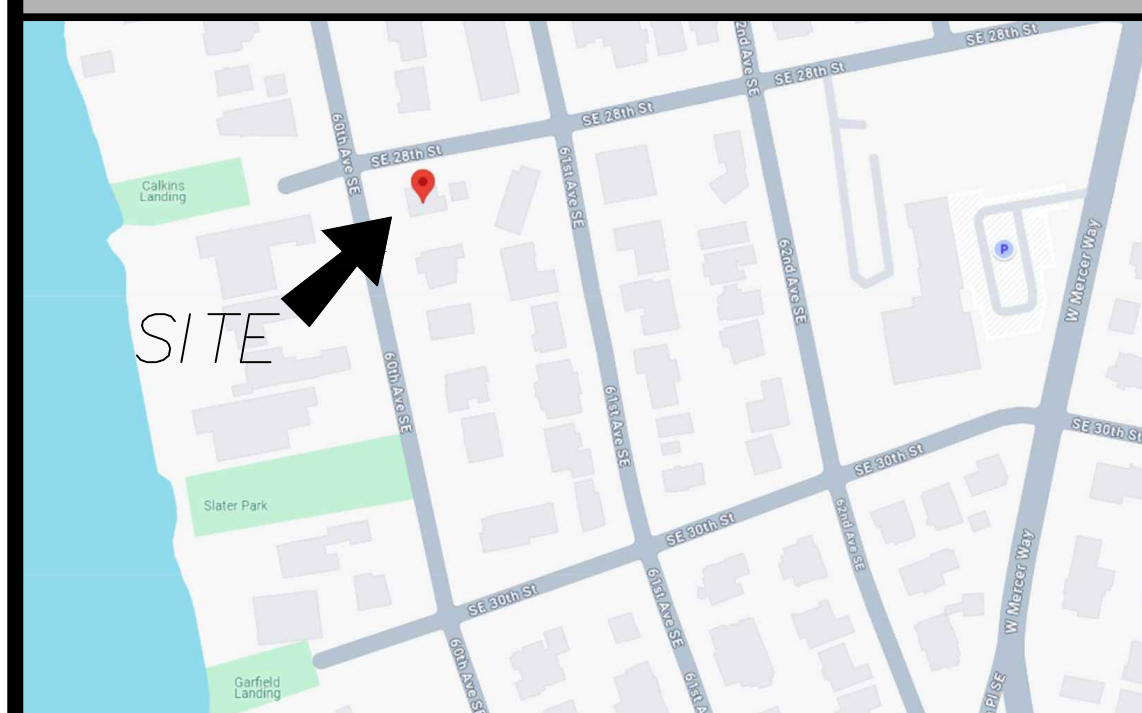
SCHEDULE B ITEMS

1. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, ENCROACHMENTS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON THE PLAT OF EAST SEATTLE; RECORDING NO: 25503
"BLANKET IN NATURE"

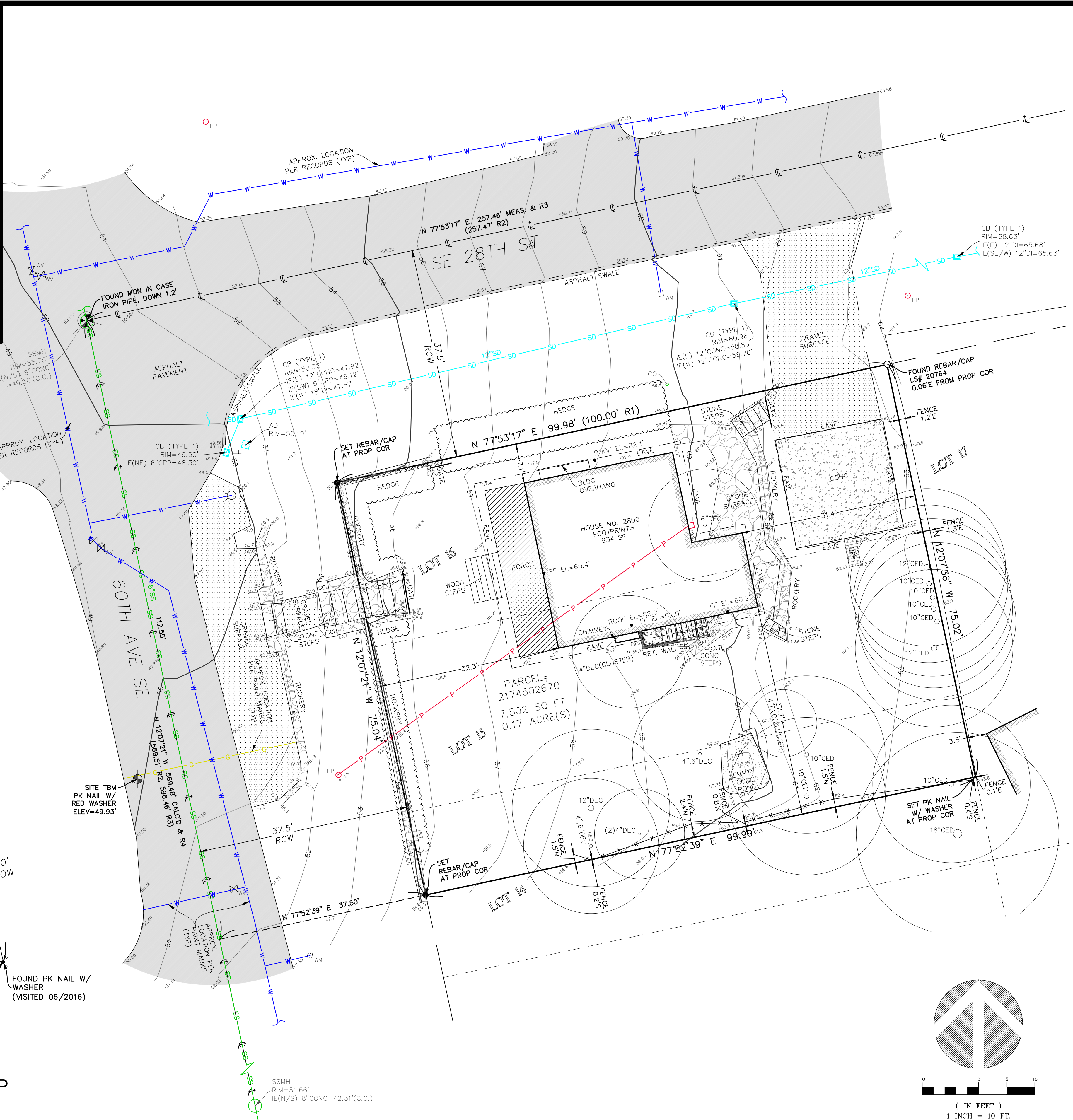
LEGEND

	BENCHMARK		CONCRETE SURFACE
	BRASS DISC (FOUND)		DECK
	CENTERLINE ROW		FLAGSTONE SURFACE
	FENCE LINE (CHAIN LINK)		GRAVEL SURFACE
	FENCE LINE (IRON)		ROCKERY
	FENCE LINE (WOOD)		HANDRAIL
	MONUMENT (IN CASE, FOUND)		GAS LINE
	MONUMENT (SURFACE, FOUND)		POWER METER
	NAIL AS NOTED		POWER POLE
	PROPERTY LINES (ADJACENT)		POWER POLE W/ LIGHT
	PROPERTY LINE (SUBJECT)		POWER (OVERHEAD)
	REBAR AS NOTED (FOUND)		AREA DRAIN
	RETAINING WALL		INLET (TYPE 1)
	RIGHT-OF-WAY LINES		STORM DRAIN LINE
	BUILDING		CLEANOUT
	SIZE TYPE (AS NOTED)		SEWER MANHOLE
	TREE (AS NOTED)		SEWER LINE
	HEDGE FOLIAGE LINE		FIRE HYDRANT
	ASPHALT SURFACE		WATER METER
	BRICK SURFACE		WATER VALVE
			WATER LINE

VICINITY MAP



CONTROL MAP

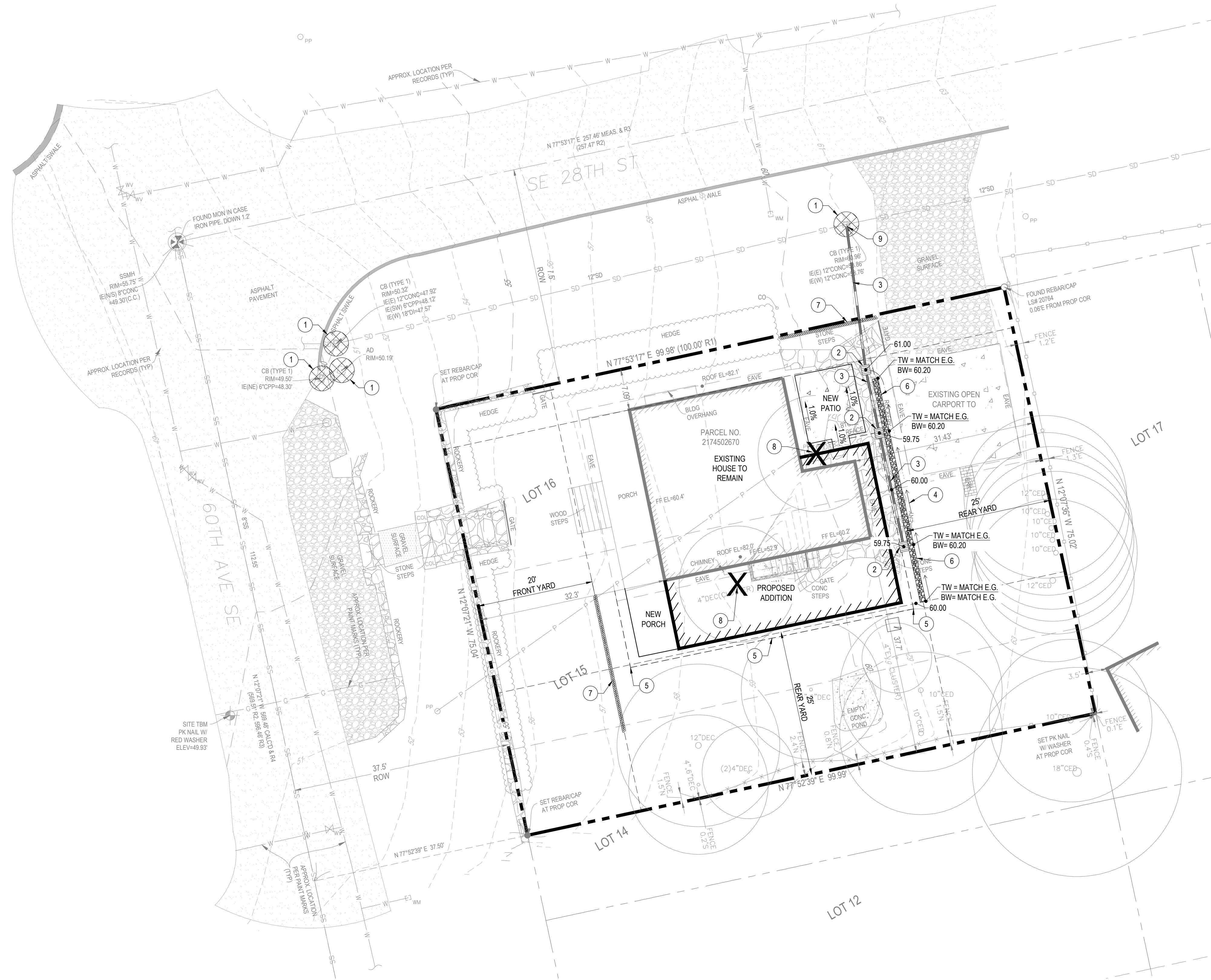


STEEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

INDEXING INFORMATION	
SE 1/4 NE 1/4	SECTION: 11
	TOWNSHIP: 24N
	RANGE: 04E, W.M.
	COUNTY: KING

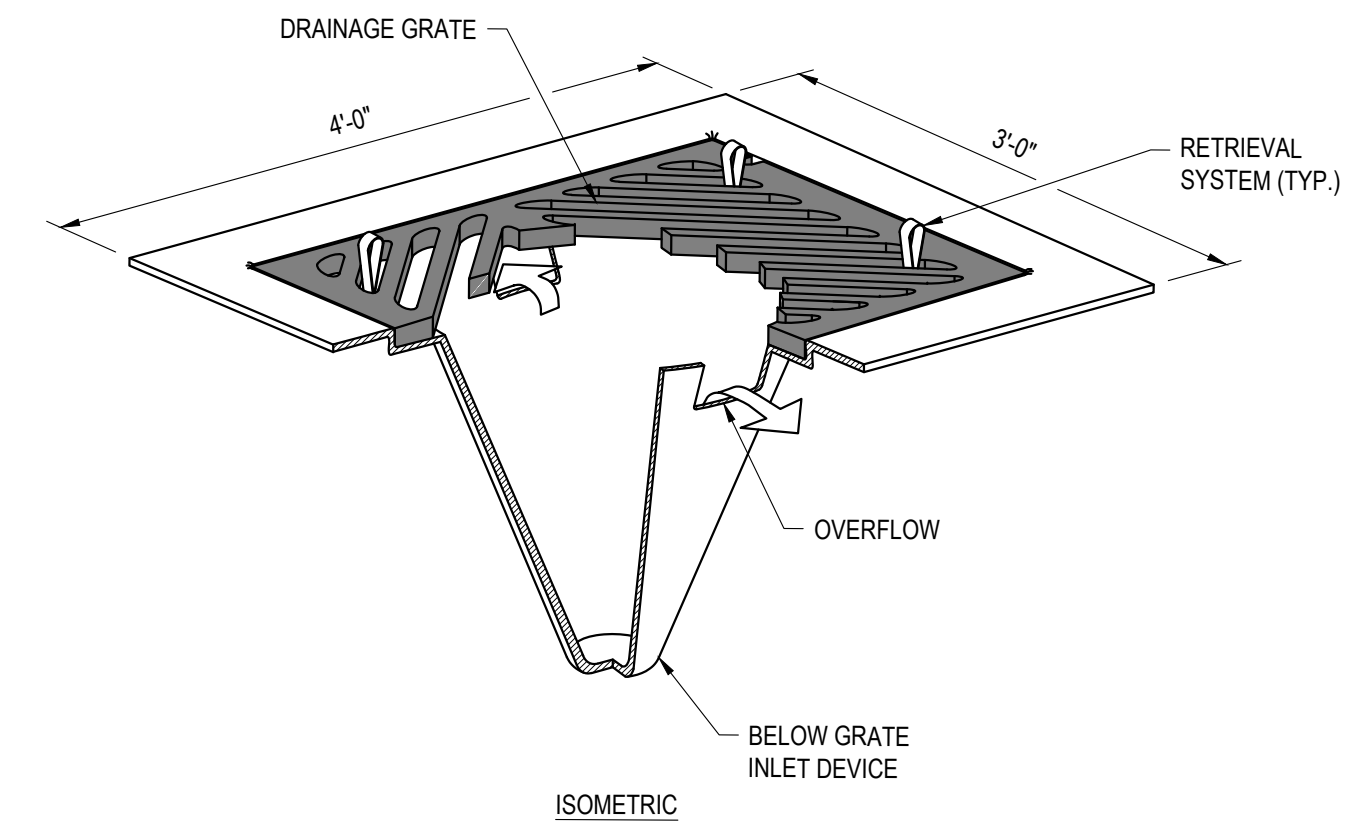
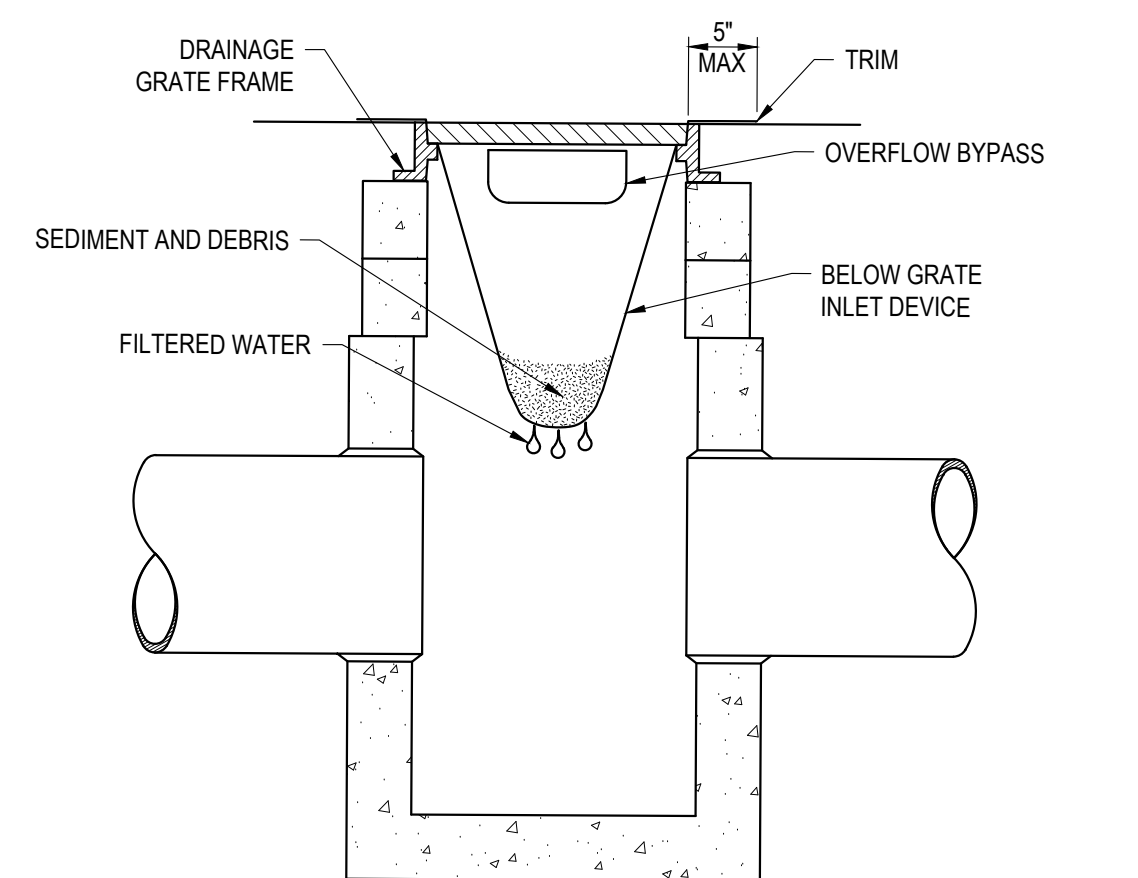
DICKINSON RESIDENCE

THE SE 1/4 OF THE NE 1/4, SECTION 11, TOWNSHIP 24N, RANGE 04 E, W.M., KING COUNTY, WASHINGTON



- ### CONSTRUCTION NOTES
- 1 PROVIDE TEMPORARY INLET PROTECTION. INSTALL PRIOR TO COMMENCING EARTHWORK ACTIVITIES. REMOVE AFTER SITE HAS BEEN PERMANENTLY STABILIZED.
 - 2 PROVIDE YARD DRAIN. RIM TO MATCH F.G.
 - 3 PROVIDE 4" PVC (SDR 35) @ 0.50%
 - 4 GRADE TO DRAIN @ 2.0% (MIN.)
 - 5 PROVIDE DOWNSPOUT AT EXISTING GRADE
 - 6 PROVIDE ROCKERY WALL (MAXIMUM HEIGHT = 48")
 - 7 PROVIDE TEMPORARY STRAW WADDLE. REMOVE AFTER THE SITE HAS BEEN PERMANENTLY STABILIZED.
 - 8 REMOVE TREE
 - 9 CONNECT TO EXISTING CATCH BASIN; IE = 58.76

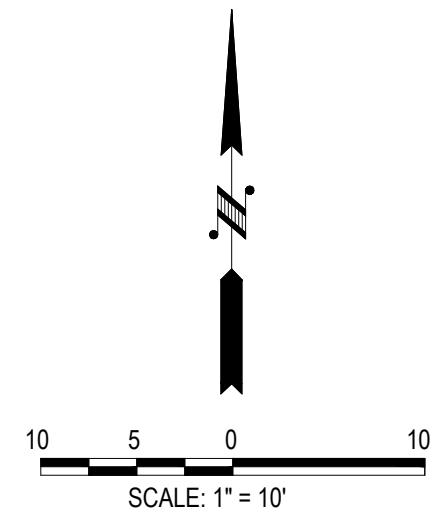
- ### CB INLET PROTECTION NOTES
1. FILTERS SHALL BE REMOVED AND CLEANED OR REPLACED AFTER EACH STORM EVENT.
 2. EMPTY THE CONTAINMENT AREA WHEN THE INLET PROTECTION IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED.
 3. IF USING OPTIONAL OIL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION.
 4. SIZE THE BELOW GRADE INLET DEVICE FOR THE STORM WATER STRUCTURE THAT IT WILL SERVE.
 5. THE REMOVAL SYSTEM MUST ALLOW REMOVAL OF THE DEVICE WITHOUT SPILLING THE COLLECTED MATERIAL.



1 STORM DRAIN INLET PROTECTION
SCALE: N.T.S.



Know what's below.
Call before you dig.



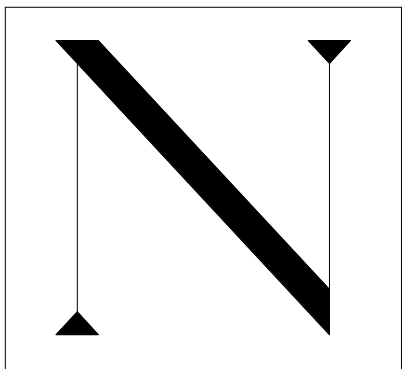
DRAWN BY VT
DESIGN BY TS
CHECK BY TS
PROJECT MGR TS

TSANG RESTAURANT
CIVIL PLANS
CIVIL PLAN

DRAWING NO. C02
PROJECT NO. 25.063
DATE: 11/24/25
SHEET NO. 02 OF 02

MARK	REVISION DESCRIPTION	DATE

Plotted: 11/20/2025 11:12 AM
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NELSON
ARCHITECTURE

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Facsimile (425) 454-7803

PERMIT APPLICATION

2870 REGISTERED ARCHITECT
Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

Project:
DICKINSON RESIDENCE

25-
2800 60th Ave. SE, Mercer Island

Drawing Title:
TREE PLAN

Drawn By: **NC**
Checked By: **MN**
Approved By: **MN**
Issue Date: **2025-12-22**

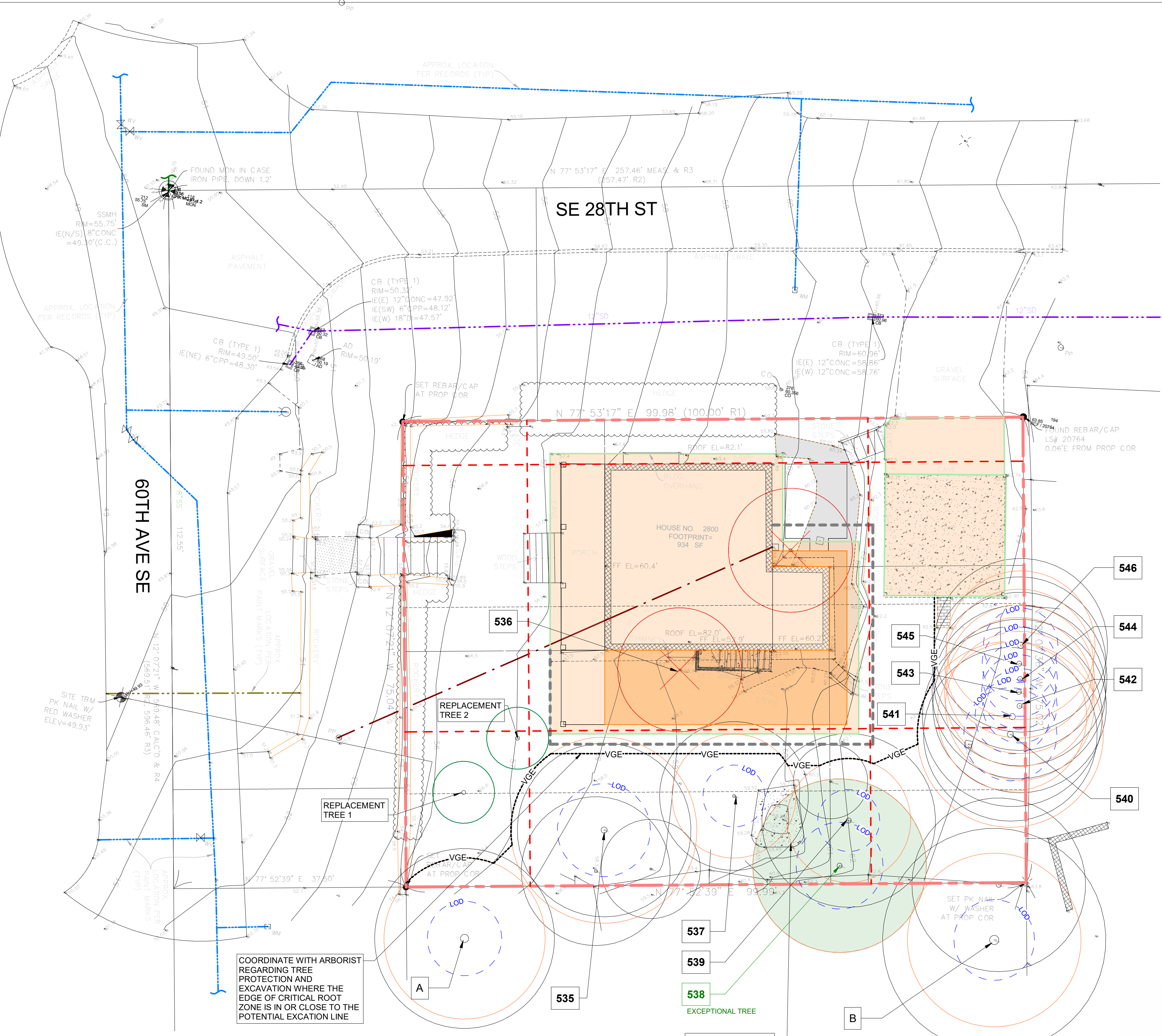
Revisions:

No.	Description	Date

Scale: **As indicated**
Sheet No.
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TREE PLAN LEGEND

- EXISTING BUILDING FOOTPRINT
- ADDITION
- EDGE OF ROOF
- LOT COVERAGE
- EXISTING HARDSCAPE AREAS TO REMAIN
- NEW HARDSCAPE
- EXISTING ROCKERY TO REMAIN
- EXISTING HARDSCAPE TO BE REMOVED
- SETBACK/EASEMENT
- PROPERTY LINE
- WATER LINE
- SANITARY SEWER LINE
- POWER LINE
- GAS LINE
- STORM LINE
- EXCAVATION LIMIT
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- REPLACEMENT TREE
- LIMIT OF DISTURBANCE
- CRITICAL ROOT ZONE OF ADJACENT PROPERTY TREE
- TREE PROTECTION FENCE



INVENTORY OF THE EXISTING TREES IS BASED ON THE ARBORIST REPORT. FOR ADDITIONAL DETAILS, PLEASE SEE THE ARBORIST REPORT AND THE TREE INVENTORY FORM

#	TREE	DBH INCH.	TYPE	EXISTING TO REMAIN	REMOVE	NEW	NOTES
535	COMMON PLUM	15	LARGE	X			
536	WINTER CAMELLIA	15	LARGE		X		
537	FULLMOON MAPLE	10	LARGE	X			
538	SHORE PINE	14	LARGE	X			EXCEPTIONAL
539	ENGLISH YEW	14	LARGE	X			
540	LEYLAND CYPRESS	14	LARGE	X			
541	LEYLAND CYPRESS	14	LARGE	X			
542	LEYLAND CYPRESS	14	LARGE	X			
543	LEYLAND CYPRESS	14	LARGE	X			
544	LEYLAND CYPRESS	14	LARGE	X			
545	LEYLAND CYPRESS	14	LARGE	X			
546	LEYLAND CYPRESS	14	LARGE	X			
A	NORWAY MAPLE	14	LARGE	X			ON ADJACENT LOT
B	WESTERN REDCEDAR	14	LARGE	X			ON ADJACENT LOT
1	FULLMOON MAPLE	1.5	-			X	REPLACEMENT
2	SHAINA JAPANESE MAPLE	1.5	-			X	REPLACEMENT

TREE PROTECTION AREA (TPZ)

KEEP OUT!

DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

- Correction Notices or Stop Work Orders until compliance is achieved
- RE Inspection Fees/financial penalties
- Arborist reports recommending mitigation

Notes

- No pruning shall be performed unless under the direction of the Project Arborist. Including limbing trees up.
- No grading, excavation, storage (materials, equipment, vehicles, etc.), or other unpermitted activity shall occur inside the protective fencing.
- Penalties for damaging by root damage/compaction or removing a saved tree may be a fine up to three times the value of the tree plus restoration (MICC 19.10.160).
- Any work in approved TPZ must be with the permission of the Land Use and Planning Division at landuse.planning@mercergov.org
- 5" course woodchips within the tree protection zone, but not against the tree trunk.

Tree protection fence: 4-6" chain link fence, solidly anchored into the ground, or if authorized high-density polyethylene fencing with 3.5" x 1.5" openings, color orange. Steel posts installed at 8' o.c.

2" x 6" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indication on the plans

1 TREE PLAN
1" = 10'-0"

SCALE
1"=10'-0"
0 2.5 5 10 20

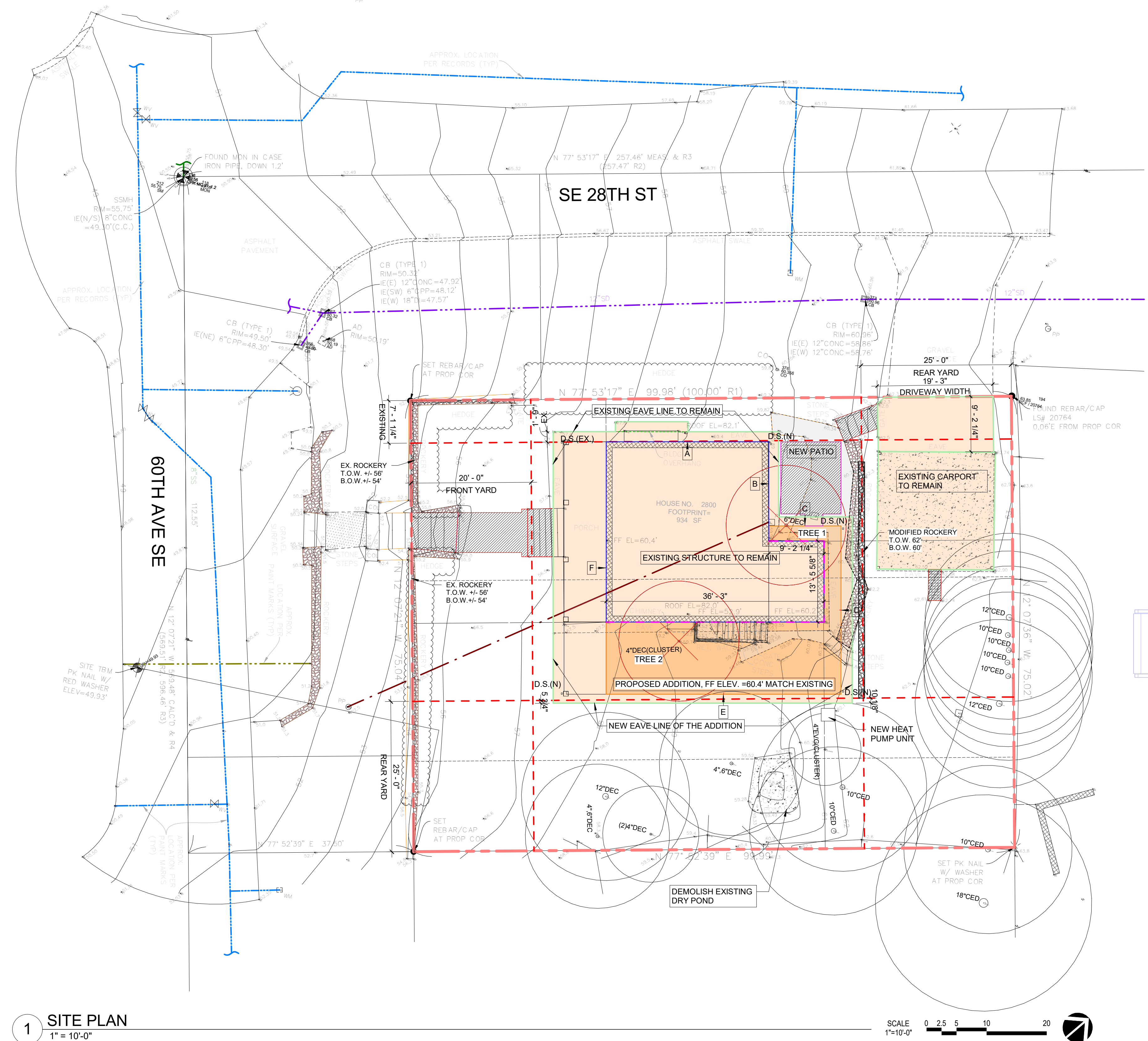
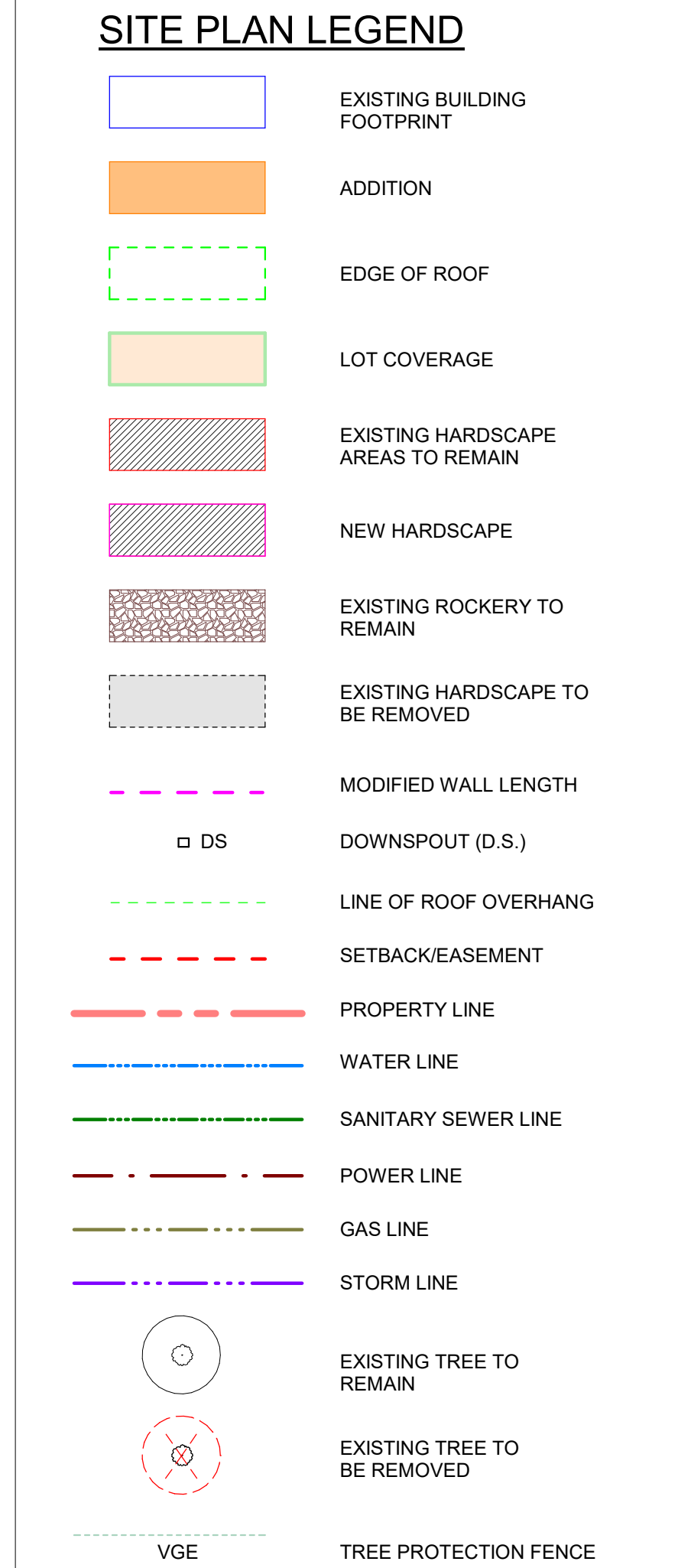


Any Work in the protected area must be with the permission of the Land Use and Planning Division at landuse.planning@mercergov.org

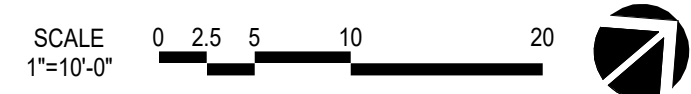
GENERAL SITE NOTES
 1. SITE INFORMATION TAKEN FROM BOUNDARY AND TOPOGRAPHIC SURVEY DATED ON 11/06/2024.
 2. SEE COVER SHEET A001 FOR ADDITIONAL PROJECT DATA & CONTACT INFORMATION.

TREE PROTECTION DURING CONSTRUCTION
 1. THE CONTRACTOR SHALL FOLLOW BEST PRACTICES TO PROTECT ANY TREE SCHEDULED TO BE RETAINED AND ALL TREES ON ADJACENT PROPERTY FROM DAMAGE. ALL TREES TO BE RETAINED WILL BE TAGGED BY THE CONTRACTOR PER TREE PLAN. SHOULD THE CONTRACTOR AT ANY TIME HAVE CONCERNS OR QUESTIONS ABOUT ANY TREE HE IS TO CONTACT THE OWNER IMMEDIATELY AND THE OWNER WILL CONSULT WITH HIS LANDSCAPE ARCHITECT AND/OR ARBORIST TO INSPECT THE TREE IN QUESTIONS AND PROVIDE THEIR RECOMMENDATIONS.

CLEARING AND GRADING NOTES
 1. CLEAR SITE OF VEGETATION AS REQUIRED FOR EXCAVATION OF HOUSE. PROTECT SLOPES AND CLEARED AREAS PER THE PROJECT SITE JURISDICTION REQUIREMENT.
 2. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF IMPROVEMENTS ON ADJACENT PROPERTIES. COORDINATE WITH NEIGHBORS AS REQUIRED.
 3. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE CITY OF JURISDICTION STANDARDS.
 4. ALL EXISTING UTILITIES SHOWN ON PLAN WERE OBTAINED FROM FIELD SURVEY. CONTRACTOR IS RESPONSIBLE FOR SITE VERIFICATION OF ALL UTILITY LOCATIONS AND CONDITIONS.
 5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TELEPHONE, GAS, POWER AND CABLE UTILITIES PRIOR TO CONSTRUCTION SO THAT UTILITIES CAN PREPARE NECESSARY PLANS FOR THE EXTENSION OF THEIR RESPECTIVE SYSTEMS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THESE ACTIVITIES DURING CONSTRUCTION.
 6. EROSION CONTROL CONTRACTOR TO INSTALL CONTINUOUS SILT FENCING @ BOUNDARY OF CLEARED/DISTRIBUTED AREA PER THE CITY OF JURISDICTION STANDARDS.



1 SITE PLAN
 1" = 10'-0"



PROJECT DATA

PROJECT NAME: DICKINSON RESIDENCE
PROJECT ADDRESS: 2800 60TH AVE. SE., MERCER ISLAND
PROJECT LEGAL DESCRIPTION: EAST SEATTLE ADD N 1/2 OF 14 ALL 15-16, PLAT BLOCK: 15, PLAT LOT: 14-15-16
TAX PARCEL #: 217450-2670
LOT AREA: 7,502 SF (PER SURVEY)
JURISDICTION: CITY OF MERCER ISLAND
LAND USE ZONING: R-8.4
OCCUPANCY GROUPS: R-3 SINGLE FAMILY RESIDENCE
TYPE OF CONSTRUCTION: VB

PROJECT SCOPE OF WORK

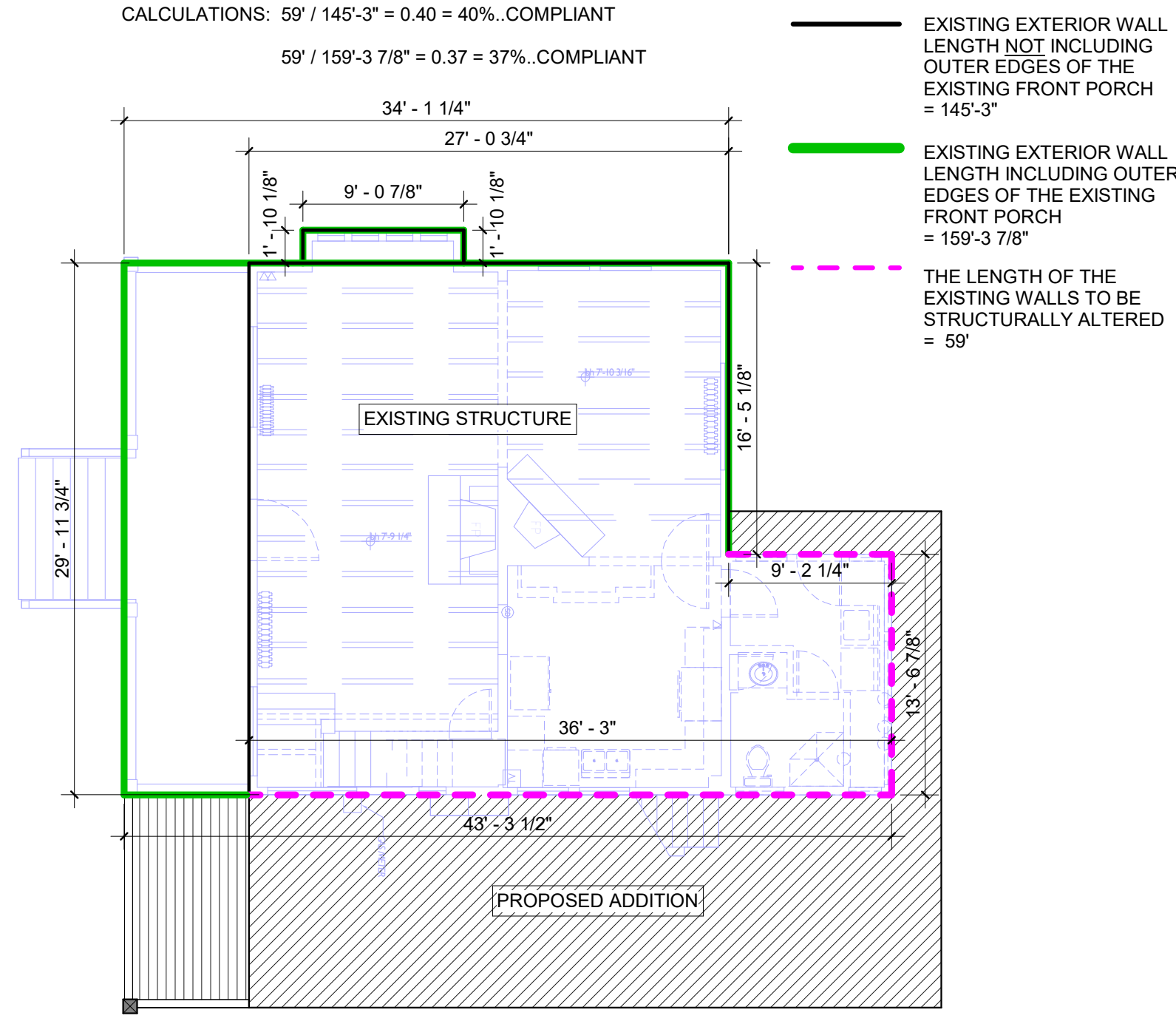
EXISTING STRUCTURES TO REMAIN. MAINTAIN THE EXISTING LEGAL NON-CONFORMANCE OF FRONT YARD SETBACK ALONG THE STREET FRONTAGE ON SE 28TH STREET. CONSTRUCT ADDITION ATTACHED TO THE SOUTHERN SIDE OF THE EXISTING STRUCTURE. THE EXISTING NON-CONFORMING CARPORT IN THE EASTERN REAR YARD IS TO REMAIN.

BASED ON CITY OF MERCER ISLAND CODE SECTION 19.01.050 NONCONFORMING STRUCTURES, SITES, LOTS, AND USES, SUBSECTION (D) (b) (i)

"DETACHED SINGLE-FAMILY DWELLING. A LEGALLY NONCONFORMING DETACHED SINGLE-FAMILY DWELLING MAY BE INTENTIONALLY ALTERED OR ENLARGED WITHOUT LOSING ITS LEGAL NONCONFORMING STATUS AS LONG AS NO MORE THAN 40 PERCENT OF THE LENGTH OF THE DWELLING'S EXISTING EXTERIOR WALLS, EXCLUDING ATTACHED ACCESSORY BUILDINGS, IS STRUCTURALLY ALTERED. ANY PORTION OF THE LENGTH OF EXISTING WALLS THAT IS STRUCTURALLY ALTERED SHALL BE INCLUDED IN CALCULATING THE 40 PERCENT THRESHOLD..."

SEE BELOW DIAGRAM FOR REFERENCE.

CALCULATIONS: 59' / 145'-3" = 0.40 = 40% .COMPLIANT
 59' / 159'-3 7/8" = 0.37 = 37% .COMPLIANT



GROSS FLOOR AREA

ALLOWED GROSS FLOOR AREA PER CITY OF MERCER ISLAND CODE:
 40% OF LOT AREA = 7502 SF X 40% = 3000.8 SF

HEATED AREA:	EXISTING SF	NEW SF	PROPOSED SF	%
MAIN FLOOR	934.0	536.1	1470.1	
UPPER FLOOR	717.9	316.6	1034.5	
TOTAL HEATED:	1651.9	852.7	2504.6	
UN-HEATED AREA:				
BASEMENT	540.5		540.5	
EXISTING CARPORT EXCLUDED	380	-496	380	
TOTAL UN-HEATED:	424.5		424.5	
TOTAL PROPOSED:	2076.4	852.7	2929.1	39%

BASEMENT EXCLUDED = 496 SF, SEE CALCULATION BELOW

TOTAL GFA = 1651.9 + 852.7 + (540.5 - 496) + 380 = 2929.1 SF; 2929.1/7502 = 0.39 = 39%

BASEMENT FLOOR AREA CALCULATION

	LENGTH x	COVERAGE	RESULT
1	14'	90%	12.6%
2	10.6'	96%	10.1%
3	2.6'	95%	2.47%
4	8.1'	92%	7.5%
5	16.1'	100%	16.1%
6	11.1'	100%	11.1%
7	27'	95%	25.7%
8	30'	80%	24%
TOTALS:	119.5'	NA	109.6%

EXISTING BASEMENT AREA = 540.5 SF; 540.5 X (109.6/119.5) = 496 SF TO BE EXCLUDED FROM GFA

HARDSCAPE

PER MERCER ISLAND CODE 19.02.020 (F) (3) (b) (i) (a) MAX. HARDSCAPE FOR LOTS 8400 SF OR LESS = THE LESSER OF 755 SF OR 12% OF NET LOT AREA:

7502 X 12% = 900.24 SF > 755 SF; USE 755 SF

HARDSCAPE AREAS:	EXISTING SF	EX. TO BE REMOVED SF	NEW HARDSCAPE AREA:
• UNCOVERED PATIO	206.7	-206.7	121.3
• WALK PATHS	153.7	-36.6	
• STAIRS	108.5	-20.8(COVERED BY THE ADDITION)	39.3
• ROCKERY	151	-61	
• CONCRETE POND	69	-69	
TOTAL:	688.9	-394.1	160.6

TOTAL PROPOSED: EXISTING - REMOVED + NEW = 688.9 - 394.1 + 160.6 = 455.4 455.4 SF/ 7502 SF = 0.06...6%

PARKING

PER MERCER ISLAND CODE SECTION 19.02.020(G)(2):

SINGLE-FAMILY DWELLING WITH A GROSS FLOOR AREA LESS THAN 3000 SF SHALL AT LEAST PROVIDE (2) PARKING SPACES SUFFICIENT IN SIZE TO PARK PASSENGER VEHICLES.

EXISTING PARKING: CARPORT PARKING FOR TWO VEHICLES

MAX. BUILDING HEIGHT

AVERAGE BUILDING ELEVATION			
	MID POINT ELEVATION	WALL LENGTH	WEIGHTED SUM OF MID-POINT ELEVATION:
A	59'	27'	1593
B	59.9'	13.9'	832.61
C	60.4'	12'	724.8
D	60.8'	28'	1702.4
E	57.9'	39'	2258.1
F	57.7'	41.9'	2417.63
TOTAL =	161.8'	9528.54	
AVERAGE = 9628.54 / 161.8 = 58.9'			
MAXIMUM BUILDING HEIGHT ELEVATION = 58.9' + 30' = 88.9'			

LOT COVERAGE

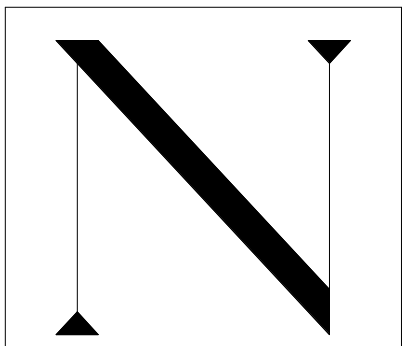
LOT SLOPE: 63.85'-52.7' = 11.15%; 11.15%/100' = 0.1115 = 11%; LOT AREA: 7502 SF

THE ALLOWED MAXIMUM LOT COVERAGE IS 40%; LANDSCAPING 60% PER MERCER ISLAND CODE SECTION 19.02.020 (F)

ALLOWED LOT COVERAGE = 7502 X 40% = 3000.8 SF

DEFINITION OF "LOT COVERAGE, MAXIMUM" PER MERCER ISLAND CODE: "THE MAXIMUM AREA OF A RESIDENTIALLY ZONED LOT THAT MAY BE COVERED BY A COMBINATION OF BUILDINGS, INCLUDING EAVES AND ROOF OVERHANGS, AND VEHICULAR DRIVING SURFACES.

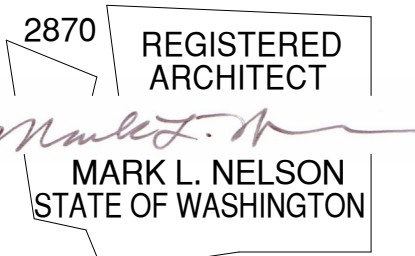
LOT COVERAGE ELEMENTS:	EXISTING SF	NEW SF
• BLDG. & ROOF, GUTTER, OVERHANGS	1406.1	686.8
• DRIVEWAY	175.5	
• CARPORT	380	
TOTAL:	1961.6	686.8
TOTAL ALLOWED: 3000.8 SF		TOTAL PROPOSED: 2648.4 sf



NELSON ARCHITECTURE

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 Telephone (206) 617-8069
 Facsimile (425) 454-7803

PERMIT APPLICATION



Project:
DICKINSON RESIDENCE

25-
 2800 60th Ave. SE, Mercer Island

Drawing Title:
 SITE PLAN

Drawn By: NC
 Checked By: MN
 Approved By: MN

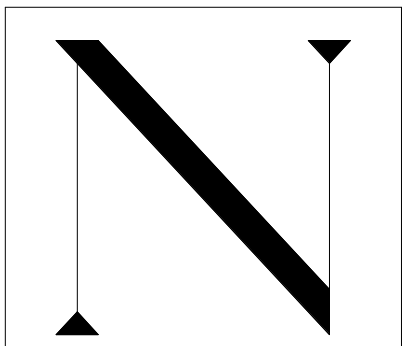
Issue Date: 2025-12-22

Revisions:

No.	Description	Date

Scale: As indicated
 Sheet No.

A002.1



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PERMIT APPLICATION

2870 REGISTERED ARCHITECT
Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

Project:
DICKINSON RESIDENCE

25-
2800 60th Ave. SE, Mercer Island

Drawing Title:
IMPERVIOUS & HARD SURFACES

Drawn By: NC
Checked By: MN
Approved By: MN

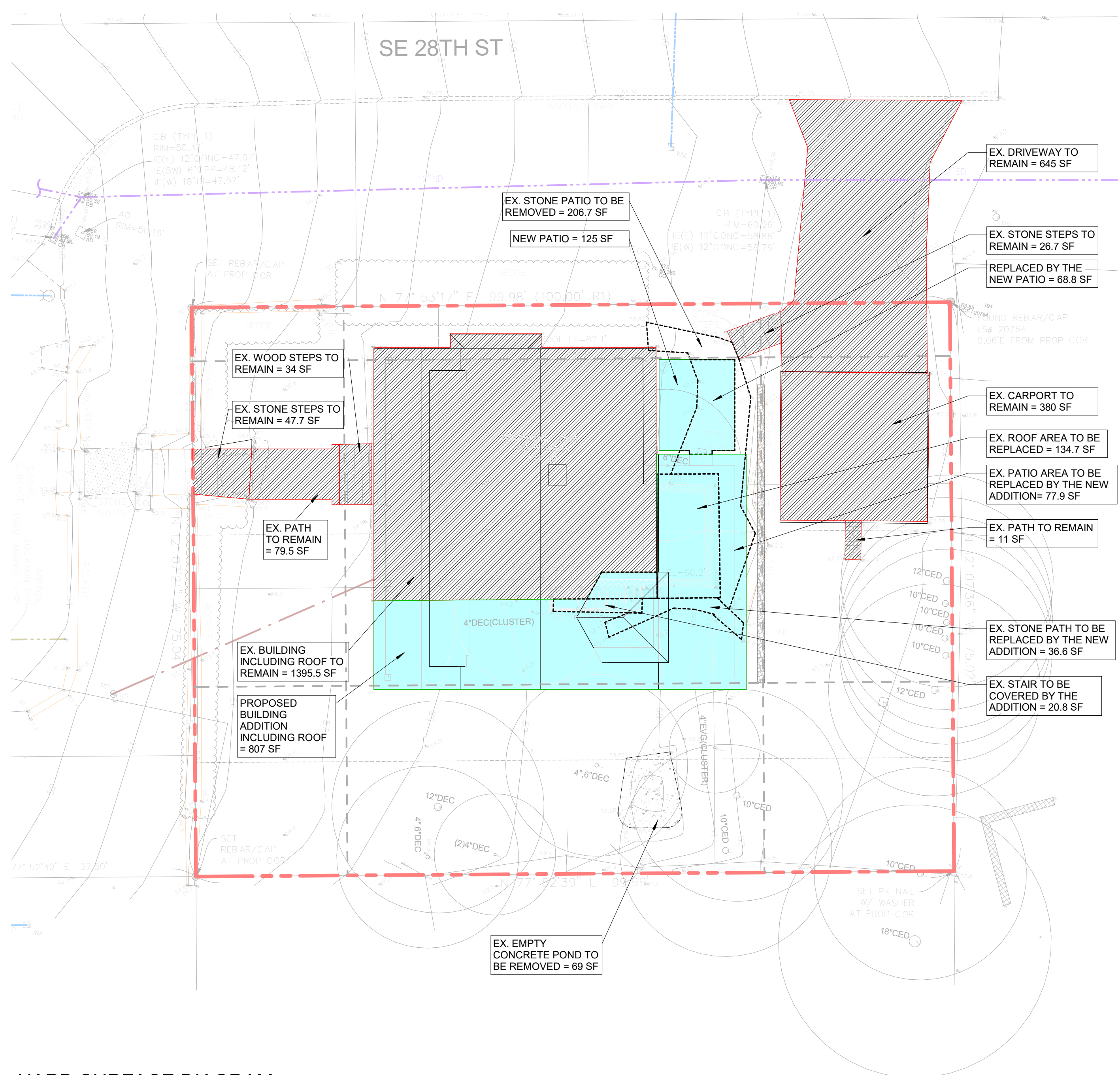
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No. Description Date

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Sheet No.

A002.2

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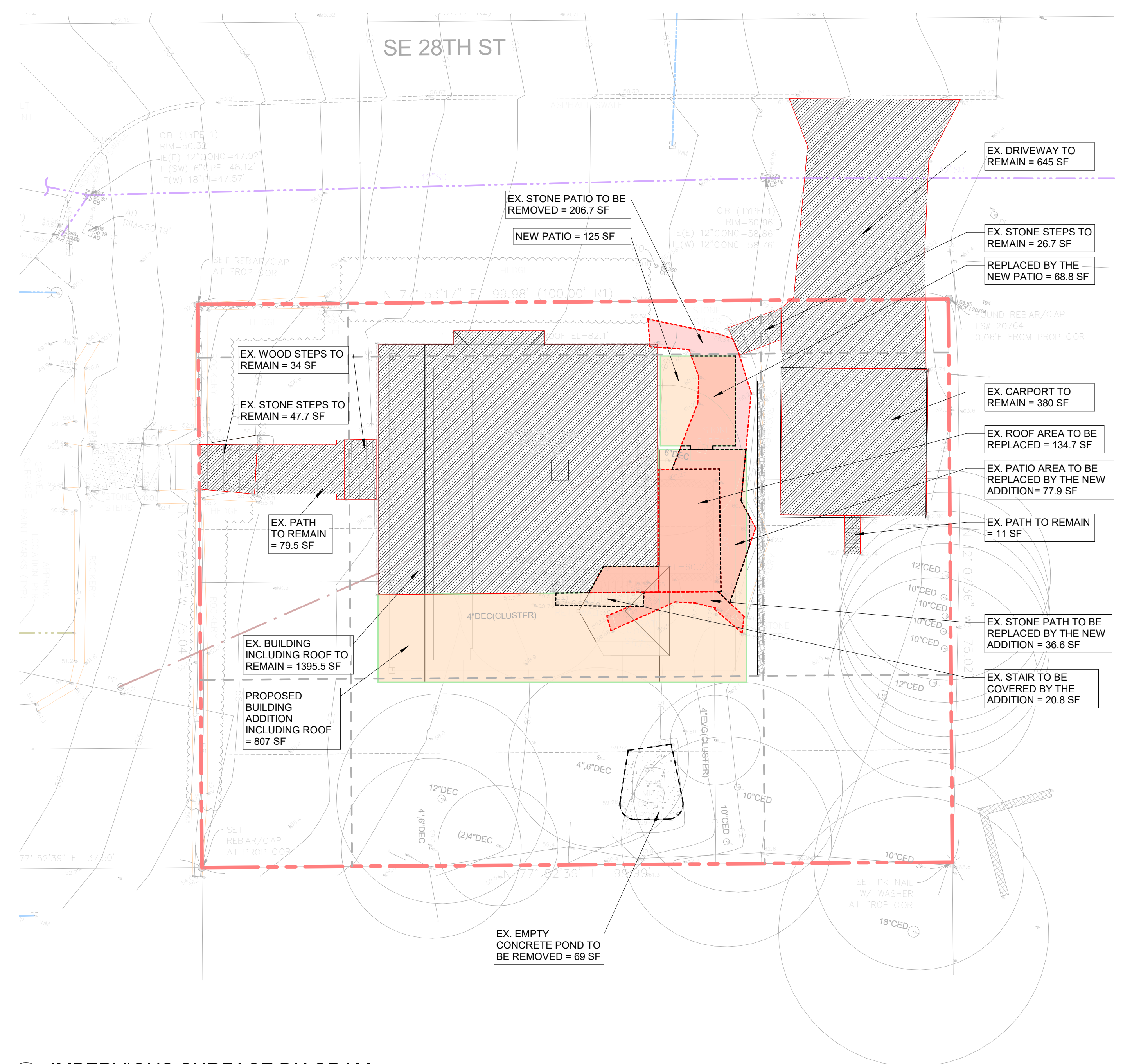
2 HARD SURFACE DIAGRAM
1" = 10'-0"

HARD SURFACE CALCULATION				
	EXISTING (SF):	REMOVE (SF):	NEW AND REPLACED (SF):	REPLACED BY NEW (SF):
BUILDING INCLUDING ROOF	1395.5	163.7	836	163.7
DRIVEWAY	645	0	0	0
CARPORT	380	0	0	0
PATIO	206.7	206.7	125	68.8
				77.9
STONE PATH (EAST)	36.6	36.6	0	36.6
STONE STEPS (EAST)	26.7	0	0	0
BRICK PATH (EAST)	11	0	0	0
STONE STEPS (WEST)	47.7	0	0	0
PAVED PATH (WEST)	79.5	0	0	0
WOOD STEPS (WEST)	34	0	0	0
EXTERIOR STAIR	20.8	20.8	0	20.8
CONCRETE POND	69	69	0	0
PERMEABLE PAVING	0	0	0	0
VEGETATED ROOF	0	0	0	0
SUBTOTAL:	2952.5	496.8	961	367.8

TOTAL PROPOSED HARD SURFACE AREA:
EXISTING + NEW - REMOVED = 2952.5 - 496.8 + 961 = 3416.7 SF
TOTAL NEW AND REPLACED HARD SURFACE AREA: 961 SF < 2,000 SF

LEGEND

- EX. HARD SURFACES TO BE REMOVED
- REPLACED HARD SURFACES
- NEW HARD SURFACES
- EXISTING HARD SURFACES TO REMAIN



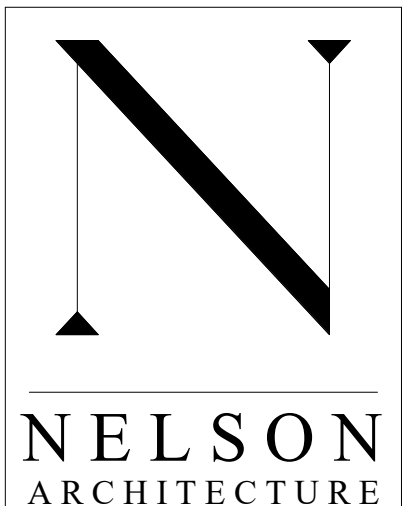
1 IMPERVIOUS SURFACE DIAGRAM
1" = 10'-0"

IMPERVIOUS SURFACE CALCULATION				
	EXISTING (SF):	REMOVE (SF):	NEW AND REPLACED (SF):	REPLACED BY NEW (SF):
BUILDING INCLUDING ROOF	1395.5	163.7	836	163.7
DRIVEWAY	645	0	0	0
CARPORT	380	0	0	0
PATIO	206.7	206.7	125	68.8
				77.9
STONE PATH (EAST)	36.6	36.6	0	36.6
STONE STEPS (EAST)	26.7	0	0	0
BRICK PATH (EAST)	11	0	0	0
STONE STEPS (WEST)	47.7	0	0	0
PAVED PATH (WEST)	79.5	0	0	0
WOOD STEPS (WEST)	34	0	0	0
EXTERIOR STAIR	20.8	20.8	0	20.8
CONCRETE POND	69	69	0	0
SUBTOTAL:	2952.5	496.8	961	367.8

TOTAL PROPOSED IMPERVIOUS AREA:
EXISTING + NEW - REMOVED = 2952.5 - 496.8 + 961 = 3416.7 SF
NET INCREASE OF IMPERVIOUS AREA: 3416.7 - 2952.5 = 464.2 SF

LEGEND

- EX. IMPERVIOUS SURFACES TO BE REMOVED
- REPLACED IMPERVIOUS SURFACES
- NEW IMPERVIOUS SURFACES
- EXISTING IMPERVIOUS SURFACES TO REMAIN



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PERMIT APPLICATION

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MARK L. NELSON
STATE OF WASHINGTON

Project:
DICKINSON RESIDENCE

25-
2800 60th Ave. SE, Mercer Island

Drawing Title:
MAIN FLOOR PLAN

Drawn By: NC

Checked By: Checker

Approved By: Approver

Issue Date: 2025-12-22

Revisions:

No. Description Date

Scale: 1/4" = 1'-0"
Sheet No.

A101

Printed: 2/22/2025 1:58:58 PM

- FLOOR PLAN NOTES:**
- TYPICAL WALL CONSTRUCTION:
 - EXTERIOR WALLS - 2X6 STUDS @ 16" O.C. UNO BY STRUCTURAL ENGINEER
 - INTERIOR WALLS - 2X4 & 2X6 STUDS @ 16" O.C. SEE STRUCTURAL DRAWINGS FOR INFORMATION
 - 2X6 STUDS @ PLUMBING WALLS & POCKET DOORS, TYP UNO BY STRUCTURAL ENGINEER
 - ALL SWING DOORS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE 4" FROM FACE OF STUD TO EDGE OF ROUGH OPENING OR CENTERED BETWEEN ROOM PARTITIONS AS SHOWN, U.N.O.
 - VENT ALL FANS AND DRYER VENTS TO EXTERIOR, TYP
 - BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN-SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6' ABOVE THE FLOOR

- SMOKE, HEAT, & CARBON MONOXIDE ALARM NOTES BASED ON 2021 IRC:**
- SMOKE ALARMS, HEAT DETECTORS, AND HEAT ALARMS SHALL COMPLY WITH NFPA 72 AND IRC R314
 - LOCATE SMOKE ALARMS PER PLANS AND IRC R314.3
 - SMOKE ALARM NEAR COOKING APPLIANCES SHALL BE INSTALLED PER IRC R314.3.1
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 - SMOKE ALARMS TO BE HARD-WIRED WITH BATTERY BACK-UP PER IRC 314.6
 - LOCATE CARBON MONOXIDE ALARMS (CMA) PER PLANS AND IRC 315.1; A COMBINATION FIRE AND CARBON MONOXIDE DETECTOR IS ACCEPTABLE
 - CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND IRC 315 AND ITS SUB-SECTIONS

- FIREPLACE NOTES:**
- FIREPLACE TO BE A PRE-MANUFACTURED FIREPLACE WITH CHIMNEY, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODE REQUIREMENTS

FLOOR PLAN LEGEND:

	WOOD FRAME WALL
	CONCRETE WALL
	EXISTING WOOD FRAME WALL TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	WINDOW TAG
	DOOR TAG
	DETAIL TAG
	BUILDING SECTION
	RECESSED EXHAUST FAN
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	DOWNSPOUT
	FFHB

MAIN FLOOR HEATED AREA:

- EXISTING 934 SF
- NEW ADDITION 536.1 SF

TOTAL: 1,470.1 SF

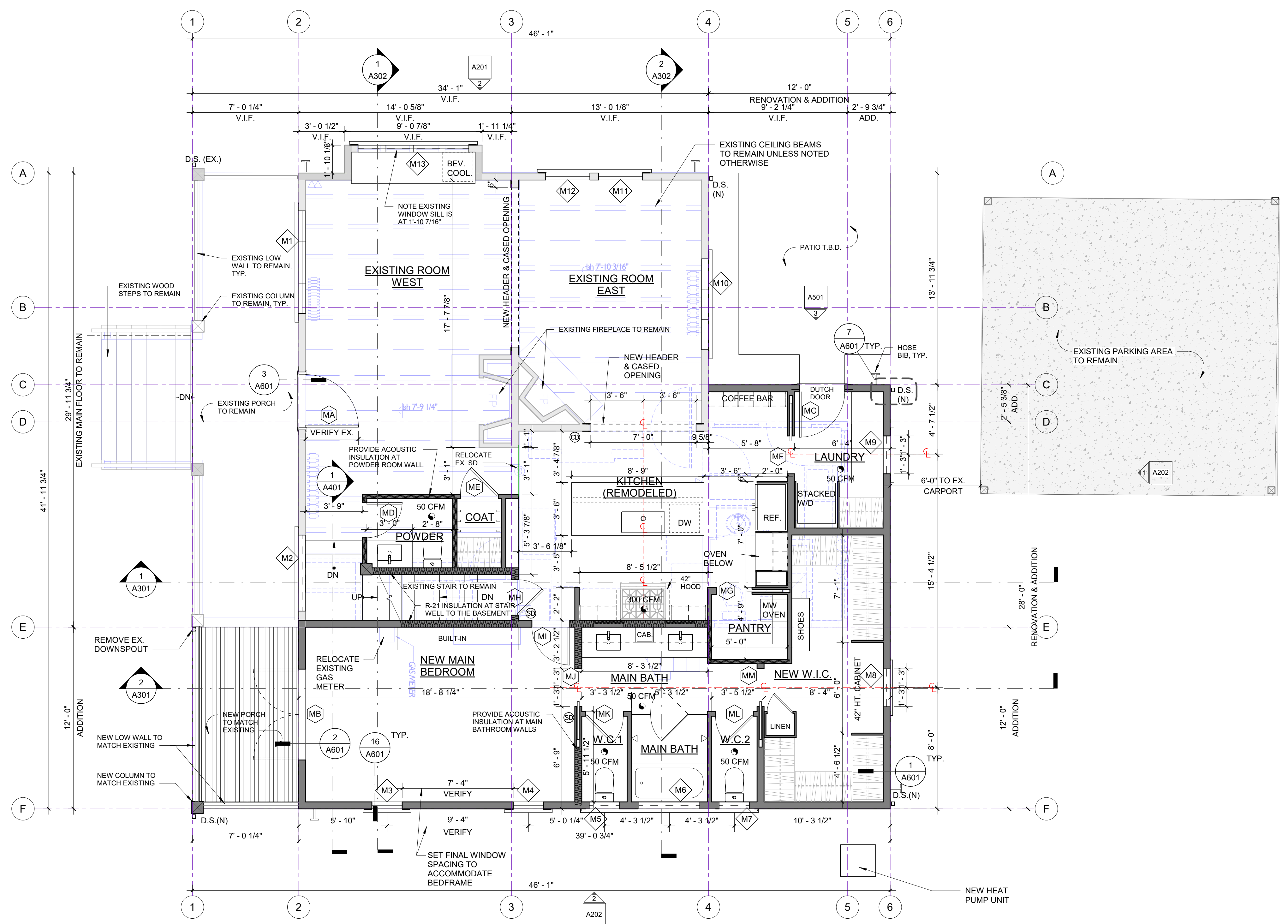


TABLE M1505.4.3.2 INTERMITTENT OFF WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS^{a, b}

Run-time % in Each 4-hour Segment	50%	66%	75%	100%
Factor ^a	2	1.5	1.3	1.0

^a. For ventilation system run-time values between those given, the factors are permitted to be determined by interpolation.
^b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.3(1) WHOLE-HOUSE MECHANICAL VENTILATION AIRFLOW RATE

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2	3	4	5 or more
Airflow in CFM					
< 500	30	30	35	45	50
501-1,000	30	35	40	50	55
1,001-1,500	30	40	45	55	60
1,501-2,000	35	45	50	60	65
2,001-2,500	40	50	55	65	70
2,501-3,000	45	55	60	70	75
3,001-3,500	50	60	65	75	80
3,501-4,000	55	65	70	80	85
4,001-4,500	60	70	75	85	90
4,501-5,000	65	75	80	90	95

1 MAIN FLR.
1/4" = 1'-0"



PROJECT NORTH



NELSON ARCHITECTURE

Mark L. Nelson AIA Principal

1233 Evergreen Point Road
Medina, Washington 98039
Telephone (206) 617-8069
Facsimile (425) 454-7803

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	DOOR TAG
	DETAIL TAG
	BUILDING SECTION
	RECESSED EXHAUST FAN
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	DOWNSPOUT
	FFHB

UPPER FLOOR HEATED AREA:

- EXISTING 717.9 SF
- NEW ADDITION 316.6 SF

TOTAL: 1,034.5 SF

PERMIT APPLICATION

2870 REGISTERED ARCHITECT

 MARK L. NELSON
 STATE OF WASHINGTON

Project:
DICKINSON RESIDENCE

25-
 2800 60th Ave. SE, Mercer Island

Drawing Title:
 UPPER FLOOR PLAN

Drawn By: NC
 Checked By: MN
 Approved By: MN

Issue Date: 2025-12-22

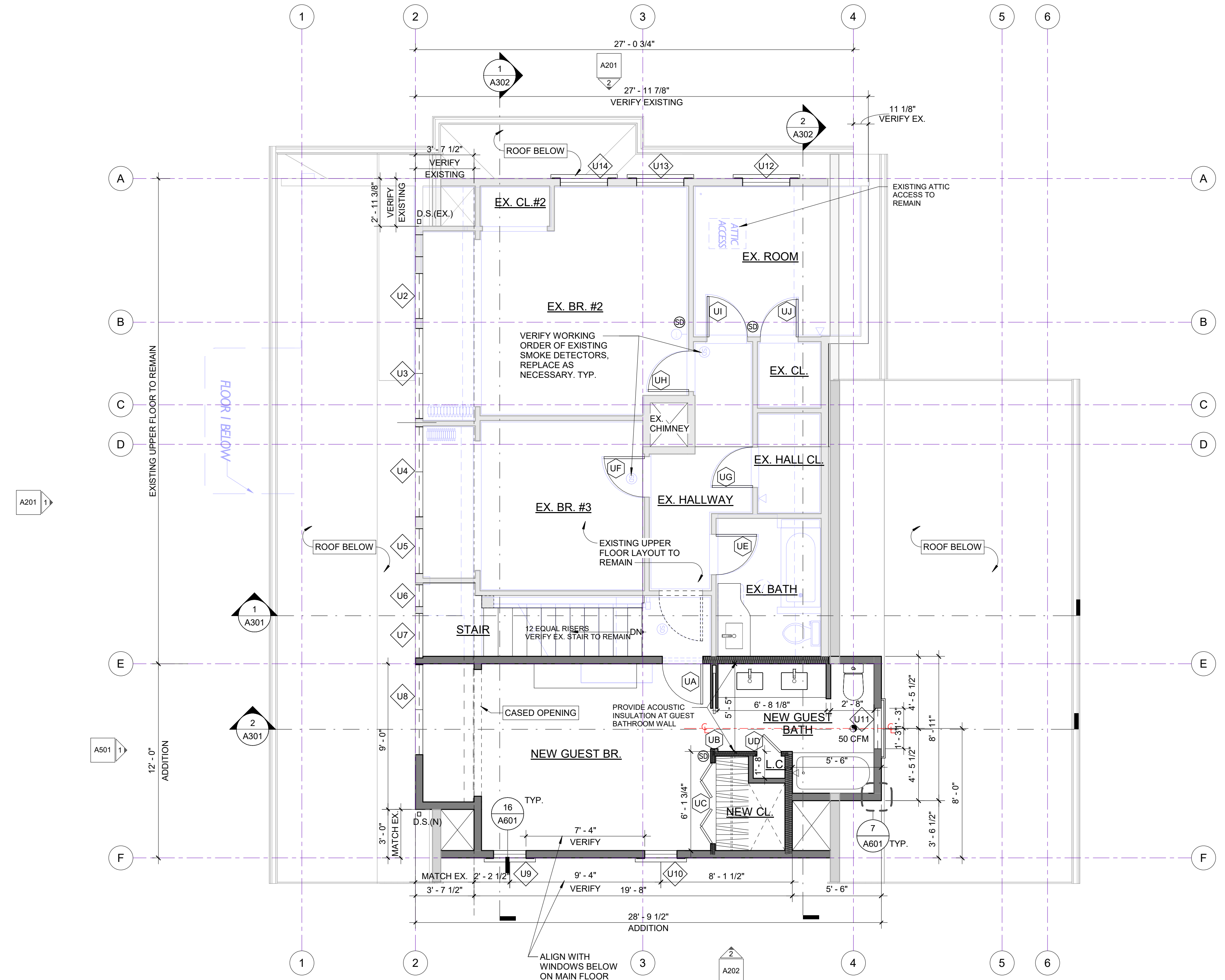
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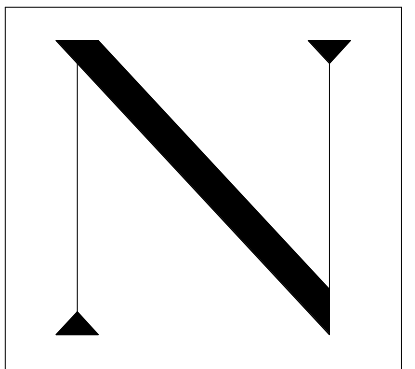
A102

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1 UPPER FLR.
 1/4" = 1'-0"





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PERMIT APPLICATION

2870 REGISTERED ARCHITECT
Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

Project:
DICKINSON RESIDENCE

25-
2800 60th Ave. SE, Mercer Island

Drawing Title:
BASEMENT PLAN

Drawn By: NC
Checked By: MN
Approved By: MN

Issue Date: 2025-12-22

Revisions:
No. Description Date

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Sheet No.

A103

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FOUNDATION NOTES:

- EXISTING BASEMENT TO REMAIN, EXISTING FOUNDATION TO REMAIN UNLESS NOTED OTHERWISE
- NEW FOUNDATION PER STRUCTURAL DESIGN. PLEASE SEE STRUCTURAL DRAWINGS/ CALCULATION FOR DETAILS.

CRAWL SPACE NOTES:

- CONCRETE FOUNDATION WALLS AND FOOTINGS PER STRUCTURAL DOCUMENT
- SEE ADDITIONAL NOTES ON SHEET A301 BUILDING SECTIONS

CRAWL SPACE VENT CALCULATION:

PER 2021 IRC R408.2 THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SF FOR EACH 300 SF OF UNDER FLOOR AREA.

- EXISTING CRAWL SPACE TO REMAIN = 252 SF**
252 SF/ 300 SF = 0.84 SF NET AREA OF VENTILATION
VERIFY EXISTING OR PROVIDE:
FOUNDATION VENT: (2) 16"X8" w/ 15"X7" OPENING = 0.729 SF X 2 = 1.46 SF > 0.84 SF...OK
- EXPANDED CRAWL SPACE = 177.9 SF**
177.9 SF/ 300 SF = 0.6 SF NET AREA OF VENTILATION
PROVIDE: (1) FOUNDATION VENT 16"X8" w/ 15"X7" OPENING = 0.729 SF > 0.6 SF...OK
- NEW CRAWL SPACE = 396 SF**
396 SF/ 300 SF = 1.32 SF NET AREA OF VENTILATION
PROVIDE: (3) FOUNDATION VENTS, 16"X8" w/ 15"X7" OPENING = 0.729 SF X 3 = 2.2 SF > 1.32 SF...OK

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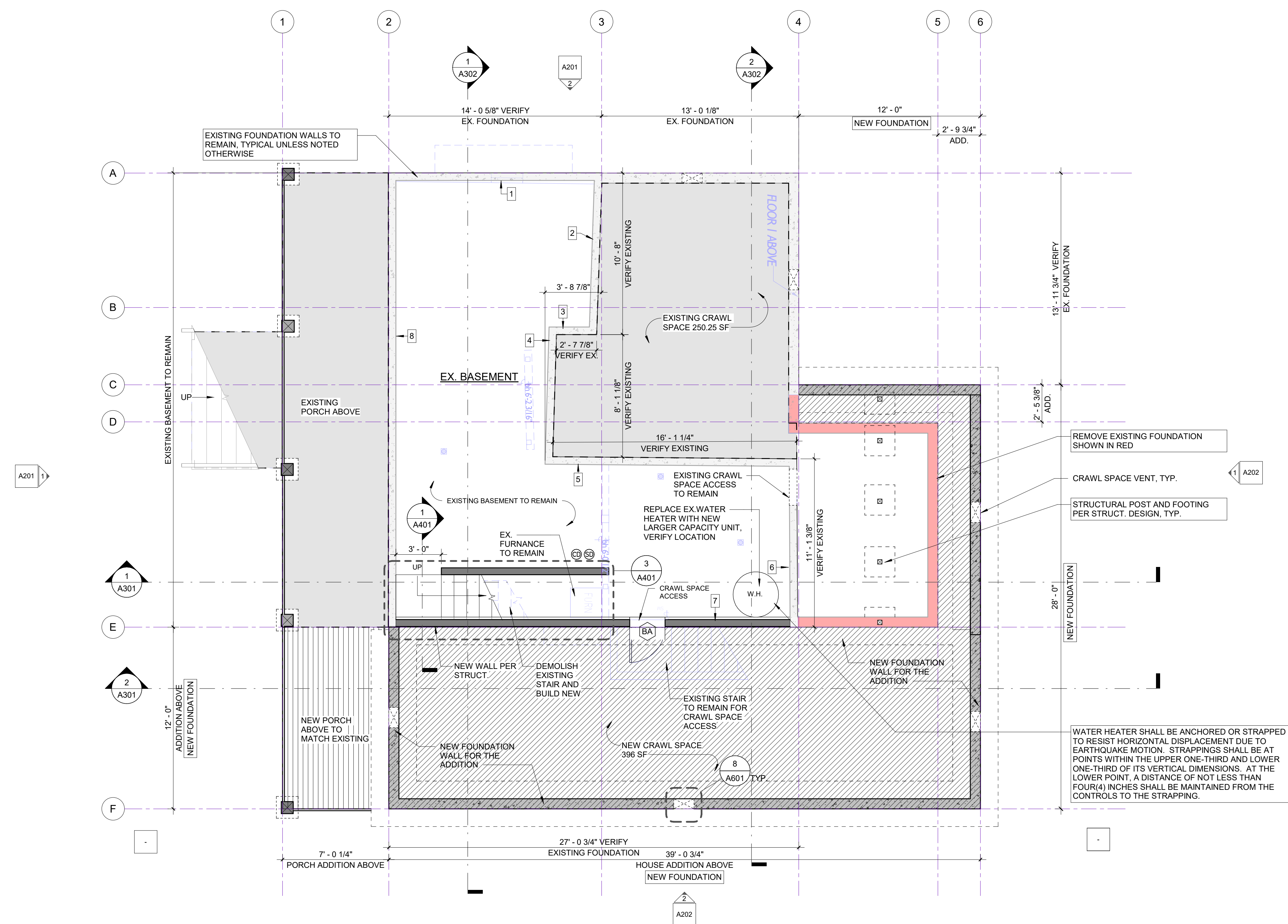
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FLOOR PLAN LEGEND:

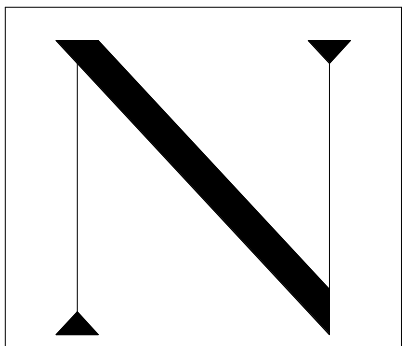
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	RECESSED EXHAUST FAN
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	DOWNSPOUT
	FFHB

BASEMENT AREA:
EXISTING: 540.5 SF



1 BASEMENT
1/4" = 1'-0"





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ROOF PLAN NOTES:

- SEE STRUCTURAL FOR ROOF FRAMING PLANS.
- REFER TO MECHANICAL/PLUMBING DRAWINGS FOR PIPE PENETRATIONS.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE DIFFERENT TRADES FOR INSTALLATION OF ROOF PENETRATIONS PRIOR TO INSTALLATION OF THE ROOFING MEMBRANE.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING AND SITE UTILITY CONTRACTORS TO ENSURE THAT CONNECTIONS BETWEEN RAIN WATER LEADERS, STOR AND BUILDING SANITARY ARE COMPLETED.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE ON ROOF TO ALL ROOF DRAINS
- CRICKETS MUST MAINTAIN POSITIVE SLOPE TO DRAIN. AT ROOF AND TIE INTO DRAINAGE SYSTEM
- CONTRACTOR TO VERIFY ALL ROOF DRAIN SLOPES AND ROOF DRAIN ELEVATIONS

VENTILATION CALCULATION:

NOTES:

- D.S. - DOWNSPOUT.
- O.H. - OVERHANG.
- ROOF VENTILATION CALCULATION: CONFIRM WITH IRC R806.
 - (NOT USED) NON-VENTED ROOF: ALL ROOF W/ HYBRID RIGID/BATT INSULATION, NO VENTING REQ'D.

CALCULATION:

PER IRC R806.2
 MIN. VENT AREA = ENCLOSED ATTIC SPACE X 1/150
 MAIN ROOF ENCLOSED ATTIC SPACE = 1096 SF X 1/150 = 7.3 SF OF NET VENTILATION OPENING AREA IS REQUIRED

- EXISTING ATTIC VENT ON NORTH ELEVATION = 1.65 SF
- PROVIDE 35 LF. OF RIDGE VENT, 35 LF. X 18 SQUARE IN./LF = 4.4 SF
- PROVIDE 8.5 LF OF 1 1/2" LINEAR SOFFIT VENT = 8.5 LF X (1 1/2"/12") = 1 SF
- PROVIDE (3) ATTIC VENTS @60 SQUARE INCH NFA EA. = 1.3 SF

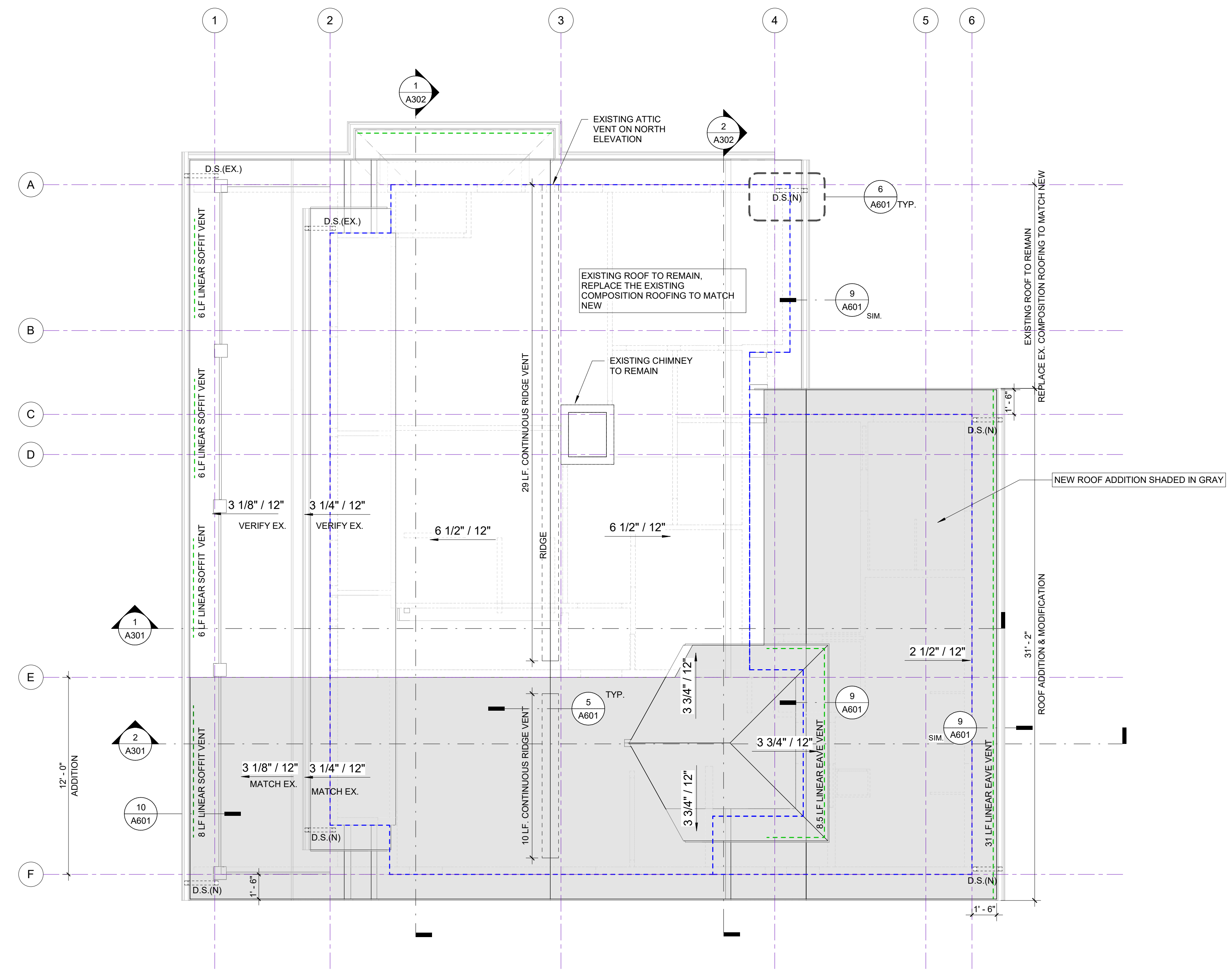
TOTAL PROVIDED = 8.35 SF. OK

LOWER ROOF ENCLOSED ATTIC SPACE = 358 SF X 1/150 = 2.4 SF OF NET VENTILATION OPENING AREA IS REQUIRED

- PROVIDE 31 LF LINEAR SOFFIT VENT = 31 LF X (1 1/2"/12") = 3.9 SF. OK

PORCH ROOF ENCLOSED AREA = 383 SF X 1/150 = 2.5 SF OF NET VENTILATION OPENING AREA IS REQUIRED

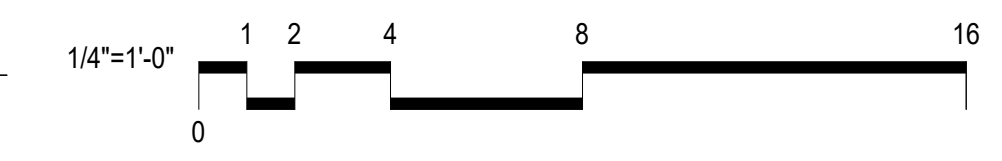
- PROVIDE 26 LF LINEAR SOFFIT VENT = 26 LF X (1 1/2"/12") = 3.25 SF. OK



ROOF PLAN LEGEND:

- CONT. SOFFIT EDGE STRIP VENT
- EXTERIOR WALL BELOW
- RIDGE VENT
- LINE OF FACE OF STRUCTURE OF WALL BELOW
- 4" METAL GUTTER
- ROOF HYBRID RIGID/BATT INSULATION
- D.S. DOWNSPOUT

1 ROOF PLAN
1/4" = 1'-0"



PERMIT APPLICATION

2870 REGISTERED ARCHITECT
 MARK L. NELSON
 STATE OF WASHINGTON

Project:
DICKINSON RESIDENCE

25-
 2800 60th Ave. SE, Mercer Island

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 ROOF PLAN

Drawn By: NC
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 Approved By: MN

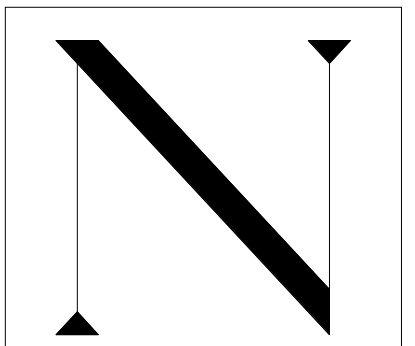
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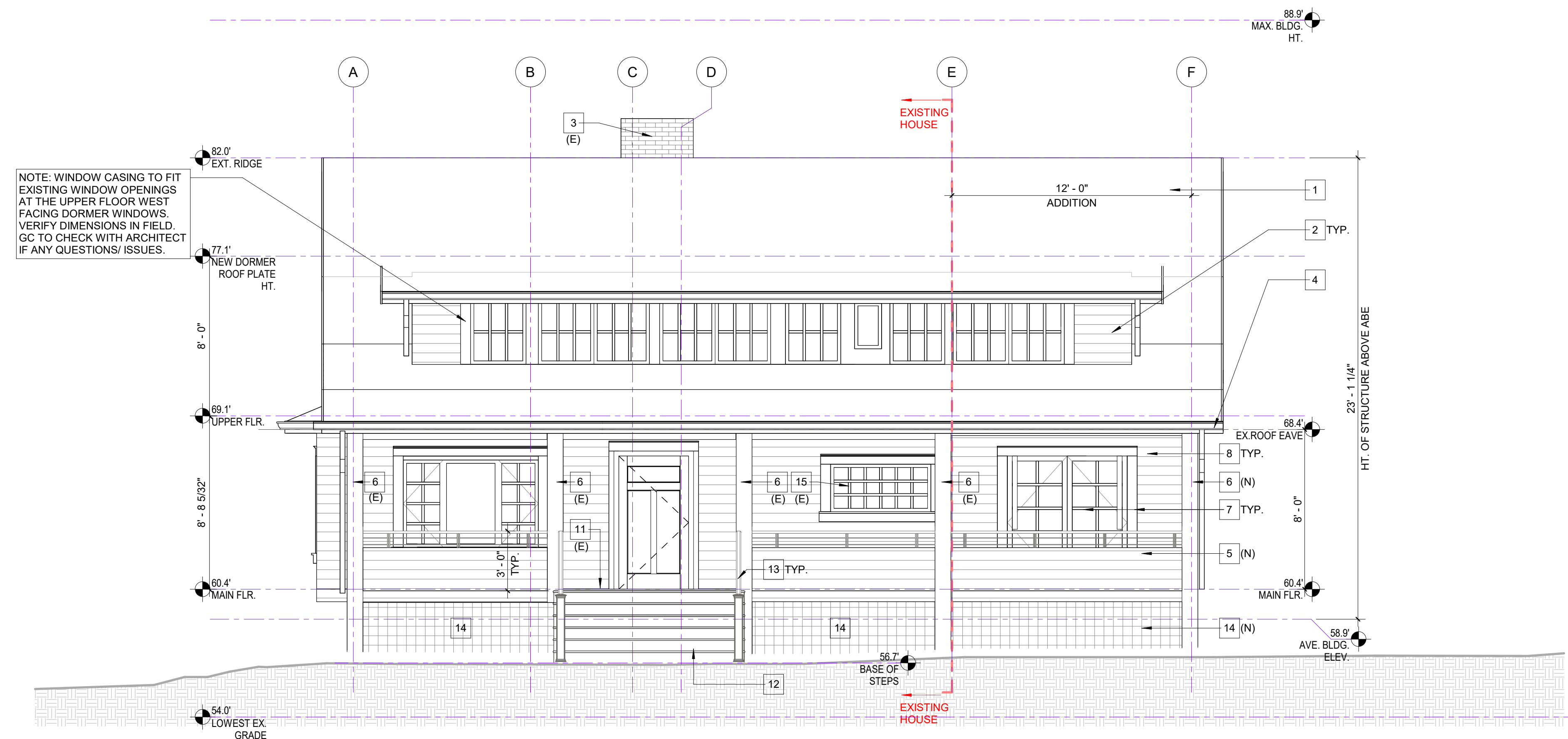
NELSON
ARCHITECTURE

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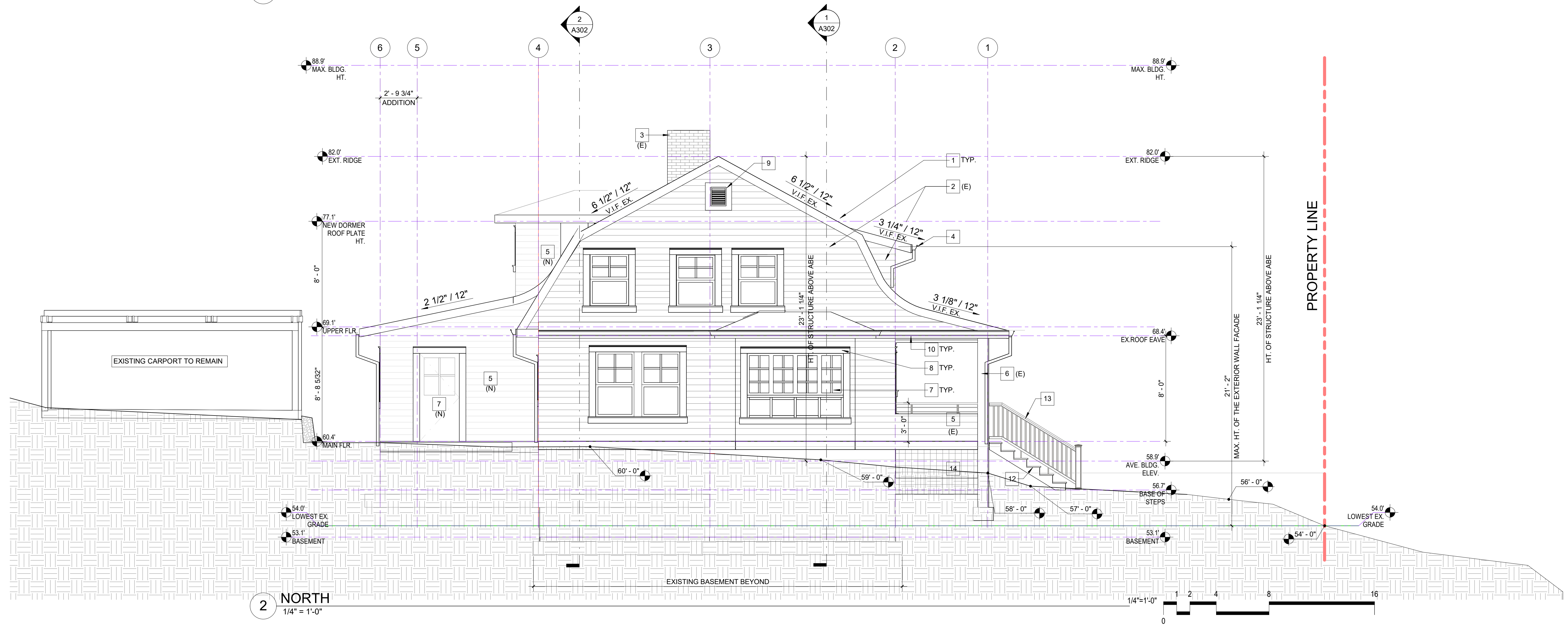
ELEVATION KEY NOTES:

- (N) = NEW, (E) = EXISTING
- ROOF FINISH, ASPHALT COMPOSITION SHINGLES. REPLACE EXISTING ROOFING TO MATCH NEW.
 - HORIZONTAL LAP SIDING TO MATCH EXISTING. RE-FINISH EXISTING SIDING. COLOR T.B.D.
 - EXISTING BRICK CHIMNEY TO REMAIN. PATCH AND REPAIR AS NEEDED FOR GOOD WORKING ORDER
 - GUTTERS, DOWNSPOUTS & METAL WRAP TRIM: CUSTOM SQUARE SHAPED METAL, 24 GA. GUTTERS PRODUCT BY T.B.D., COLOR T.B.D. 2"X3" DOWNSPOUTS, SMOOTH WALL NOT CORRUGATED. MATERIAL & COLOR TO MATCH GUTTER. FASCIA MATERIAL T.B.D.
 - PORCH PONY WALL TO MATCH EXISTING. REPAIR THE EXISTING PORTIONS AS REQUIRED TO RECEIVE NEW FINISH. NEW FINISH T.B.D.

ADD METAL RAILING ABOVE THE PONY WALL TO MEET CURRENT CODE REQUIREMENT FOR GUARDRAIL HEIGHT OF MIN. 36 INCHES PER 2021 WASHINGTON STATE IRC, SEC. R312.1.1 & R312.1.2
 - WOOD COLUMNS, PAINTED FINISH, COLOR T.B.D.
 - NEW DOORS AND INSULATED METAL CLAD WOOD WINDOWS, T.B.D. ALL EXISTING EXTERIOR DOORS AND WINDOWS TO BE REPLACED WITH NEW.
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 - WOOD STEPS. FINISH T.B.D.
 - WOOD RAILING AT ENTRY STEPS. FINISH T.B.D.
 - SQUARE PATTERN WOOD LATTICE PANEL. FINISH T.B.D.
 - EXISTING WINDOW WITH GLASS BLOCKS.



1 WEST
1/4" = 1'-0"



2 NORTH
1/4" = 1'-0"

PERMIT APPLICATION

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Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

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DICKINSON RESIDENCE

25-
2800 60th Ave. SE, Mercer Island

Drawing Title:
BUILDING ELEVATIONS

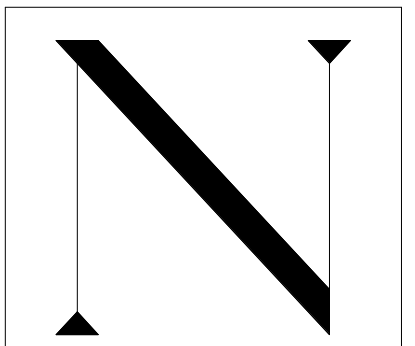
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Revisions:

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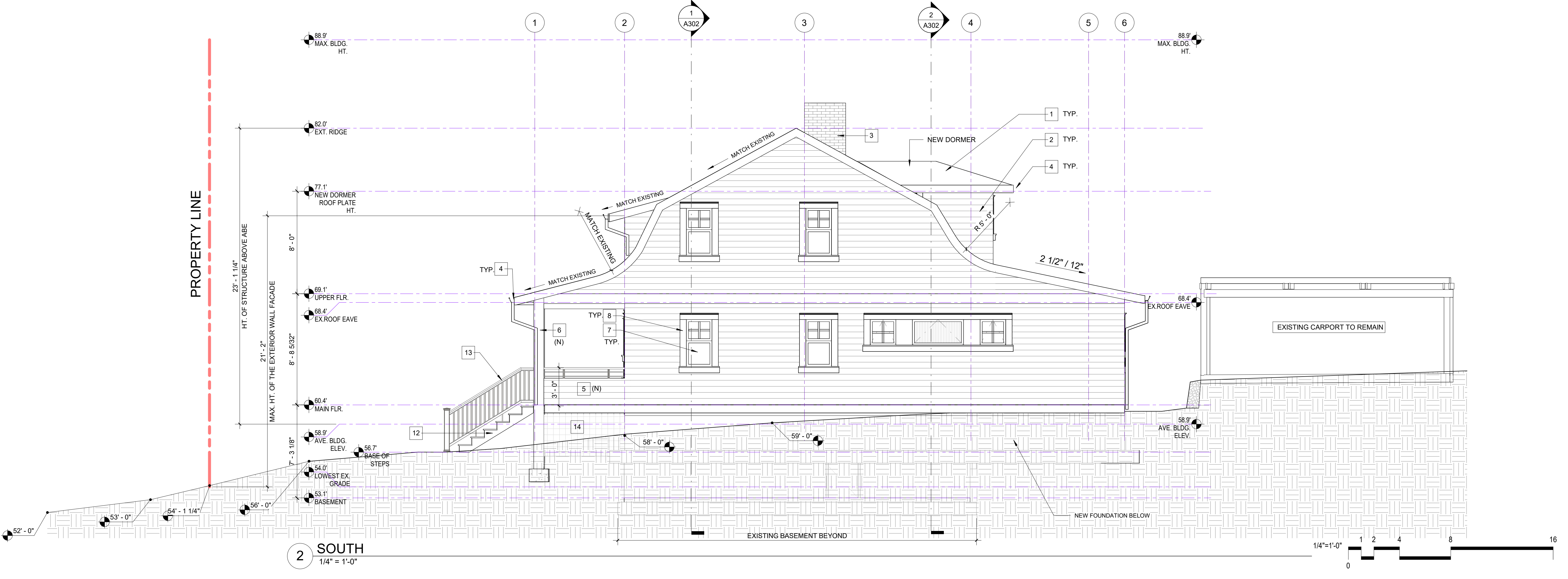
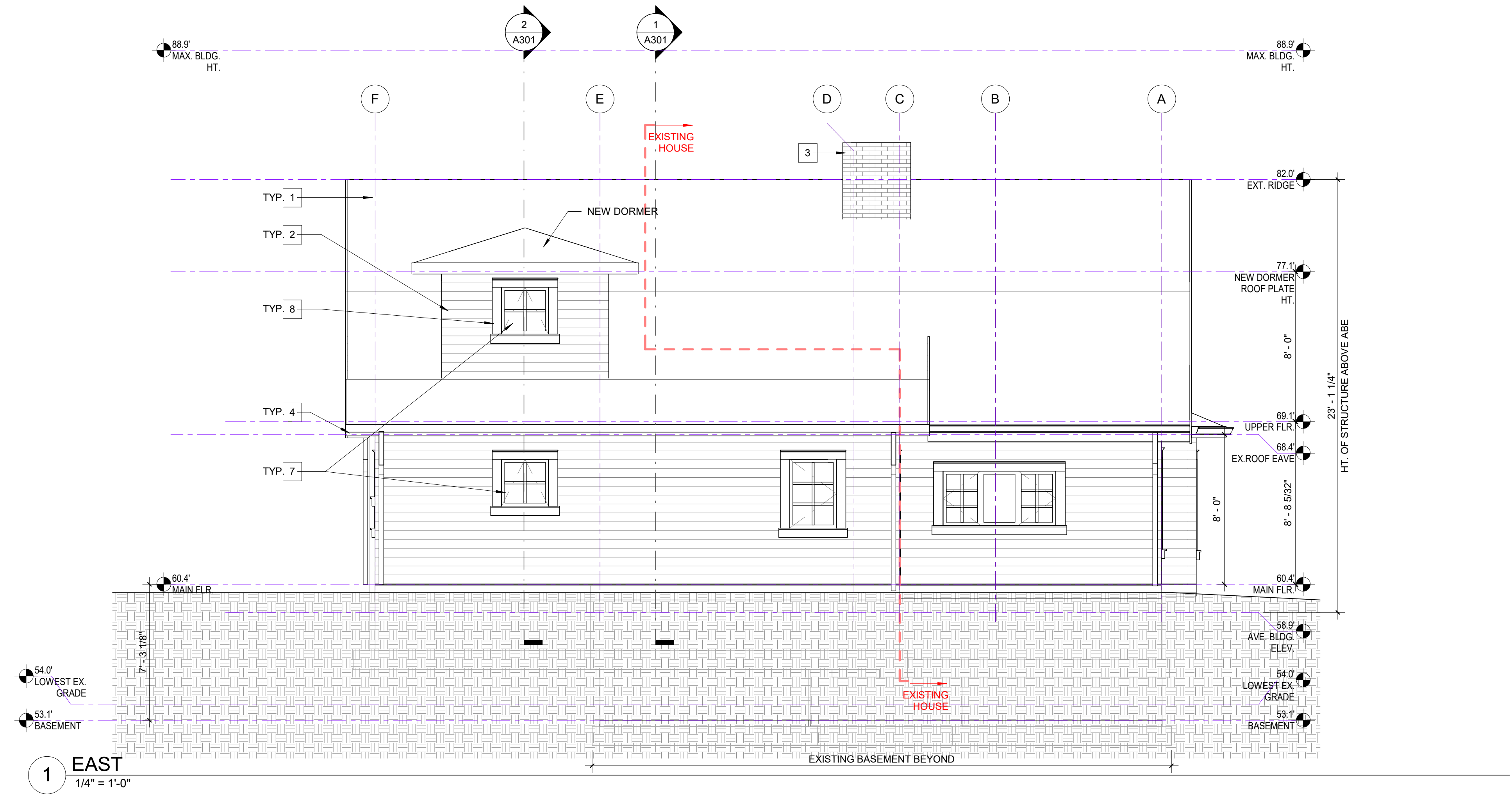
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 - SQUARE PATTERN WOOD LATTICE PANEL. FINISH T.B.D.
 - EXISTING WINDOW WITH GLASS BLOCKS.



PERMIT APPLICATION

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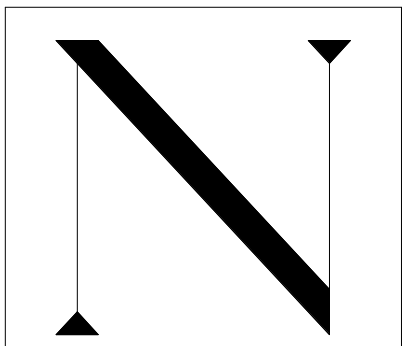
Drawn By: NC
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A202



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PERMIT
APPLICATION

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ARCHITECT
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STATE OF WASHINGTON

Project:
DICKINSON
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25-
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Drawing Title:
BUILDING SECTIONS

Drawn By: NC

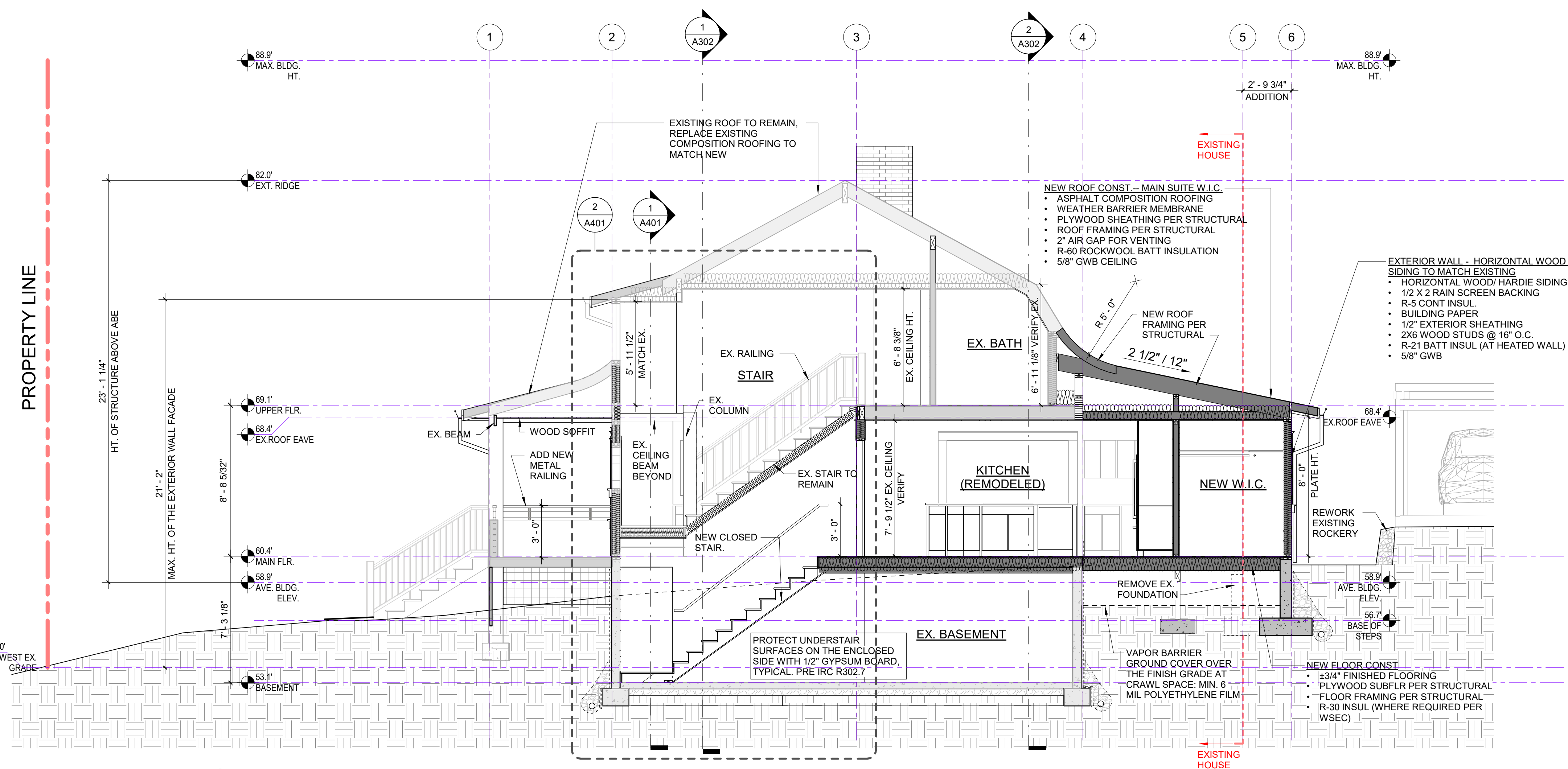
Checked By: MN

Approved By: MN

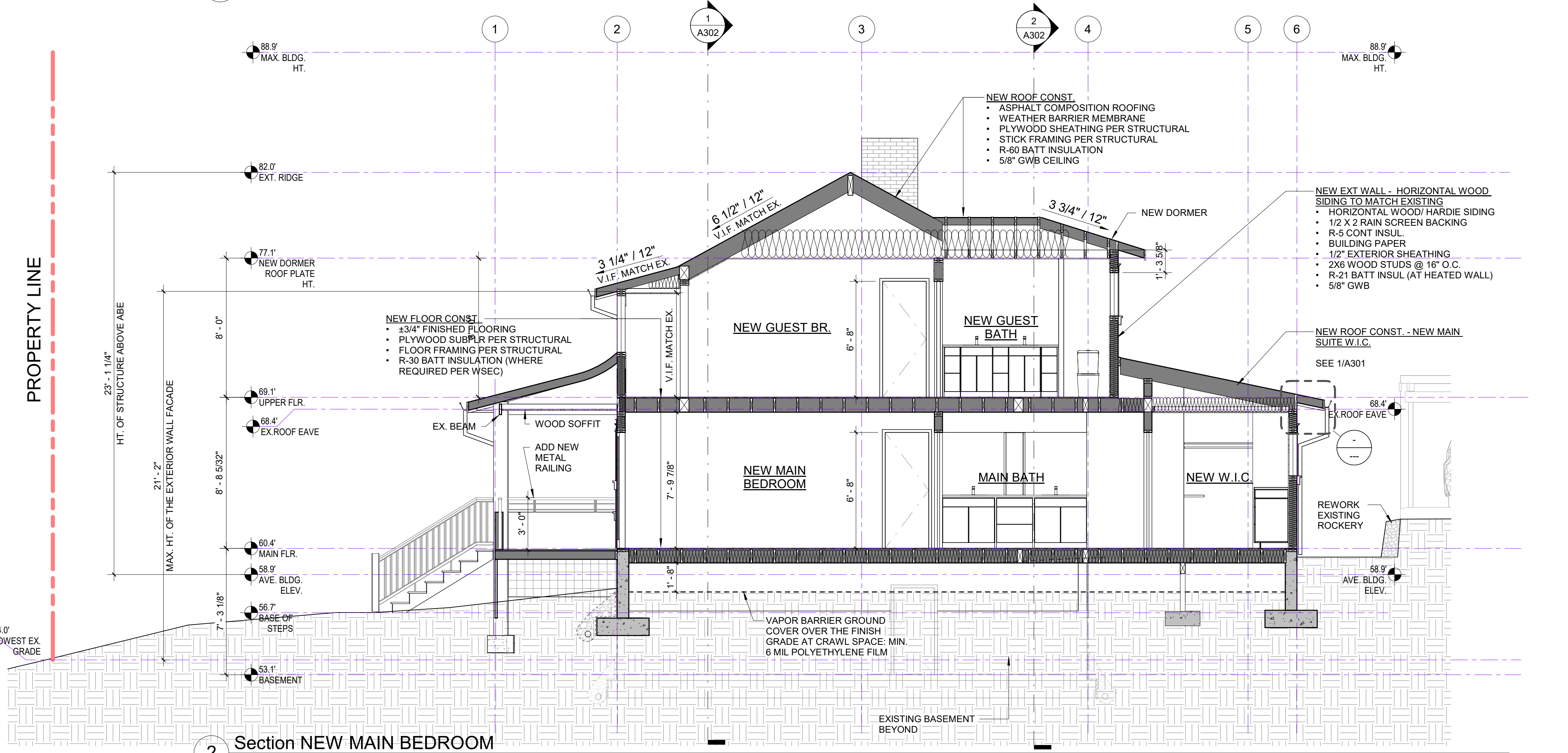
Issue Date: 2025-12-22

Revisions:

No.	Description	Date
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1 Section THRU STAIR E-W
1/4" = 1'-0"

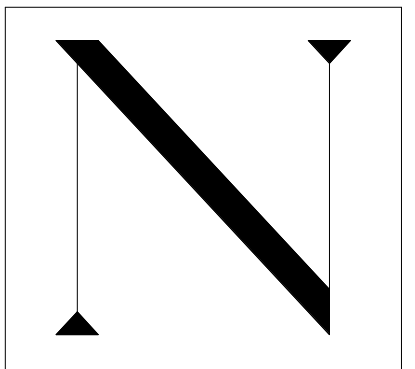


2 Section NEW MAIN BEDROOM
1/4" = 1'-0"



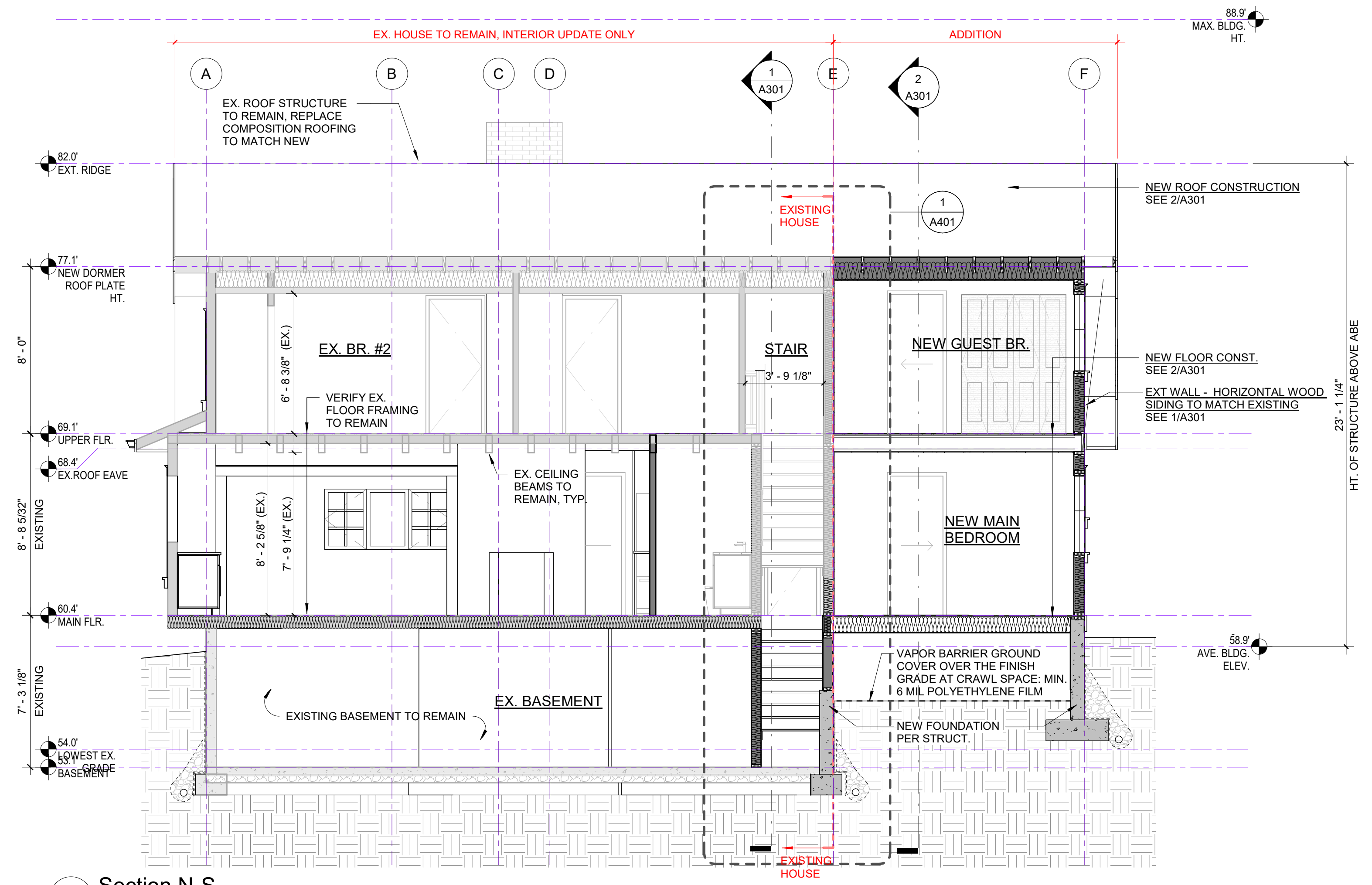
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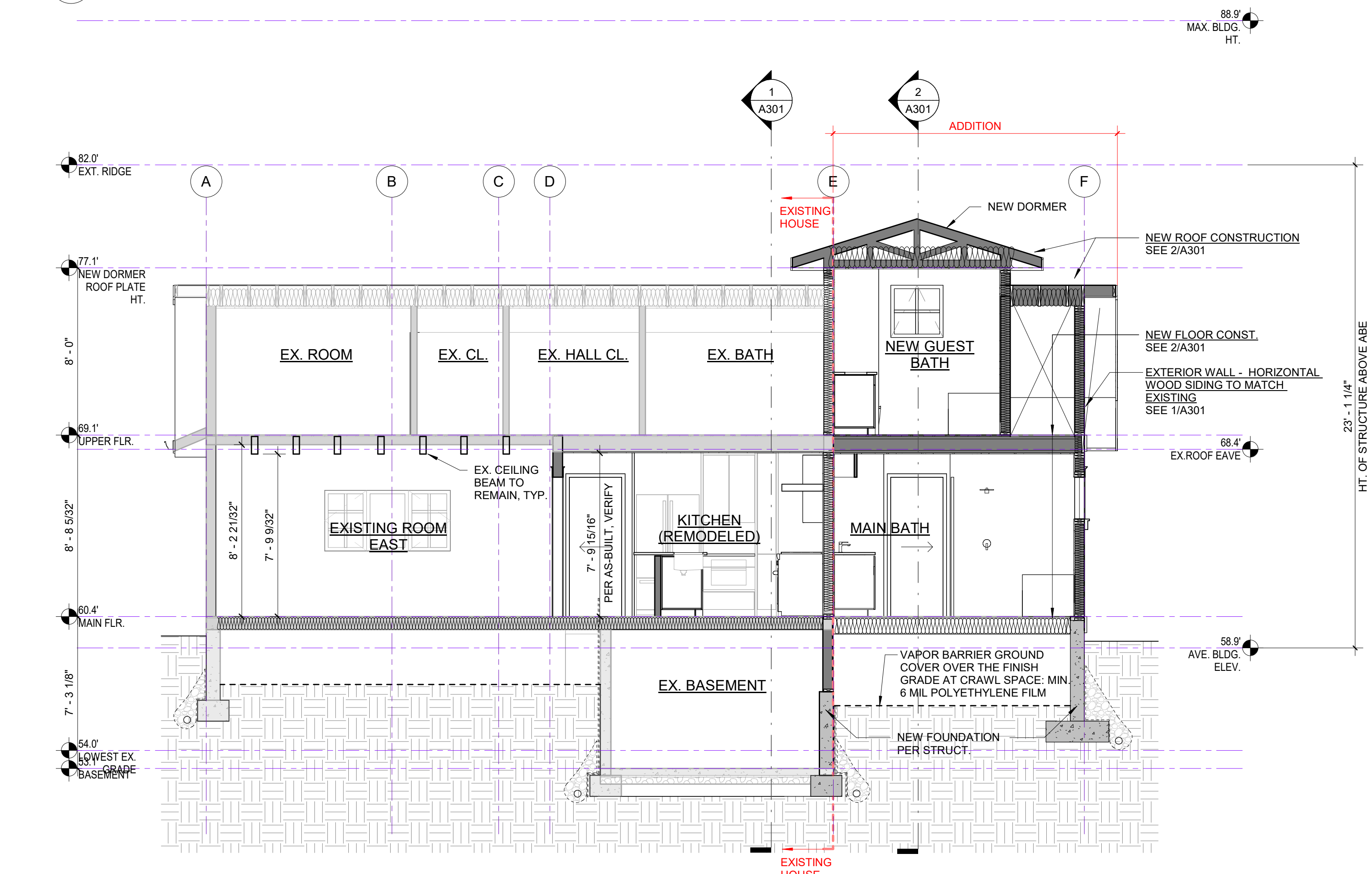


NELSON ARCHITECTURE

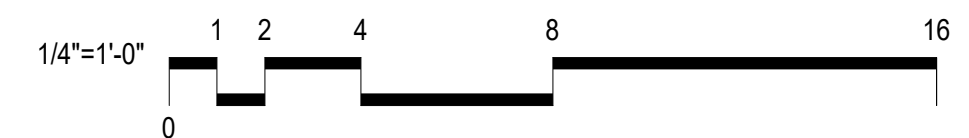
Mark L. Nelson AIA
Principal
1233 Evergreen Point Road
Medina, Washington 98039
Telephone (206) 617-8069
Facsimile (425) 454-7803



1 Section N-S
1/4" = 1'-0"



2 Section THRU KITCHEN
1/4" = 1'-0"



PERMIT APPLICATION

2870 REGISTERED ARCHITECT
Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

Project:
DICKINSON RESIDENCE

25-
2800 60th Ave. SE, Mercer Island

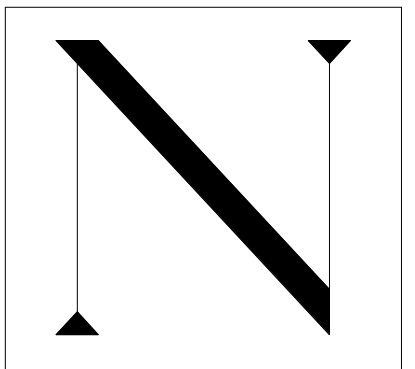
Drawing Title:
BUILDING SECTIONS

Drawn By: NC
Checked By: MN
Approved By: MN
Issue Date: 2025-12-22

Revisions:
No. Description Date

Scale: 1/4" = 1'-0"
Sheet No.

A302
Printed: 2/22/2025 1:59:16 PM



NELSON
ARCHITECTURE

Mark L. Nelson AIA
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**PERMIT
APPLICATION**

2870 REGISTERED
ARCHITECT
Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

Project:
**DICKINSON
RESIDENCE**

25-
2800 60th Ave. SE, Mercer Island

Drawing Title:
WALL & STAIR SECTION

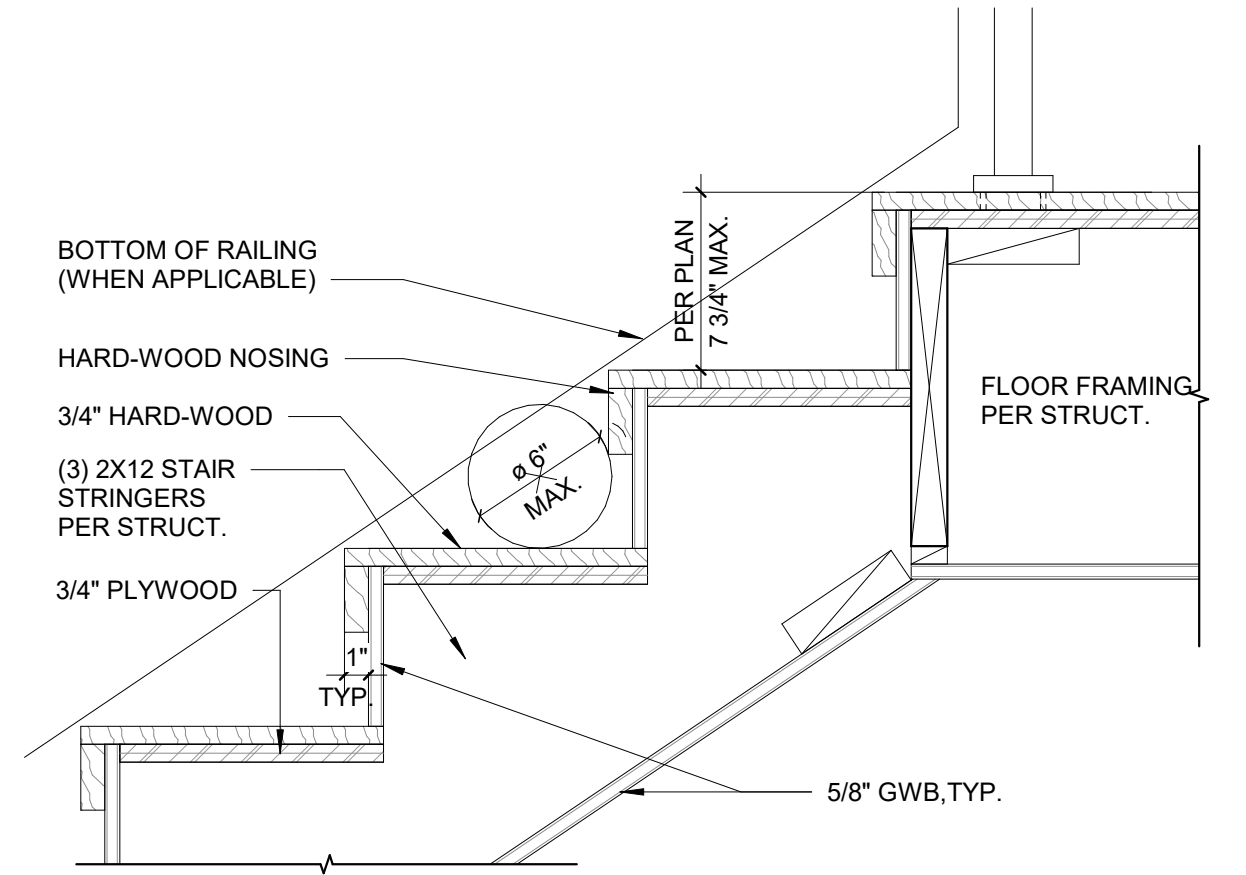
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Issue Date: 2025-12-22

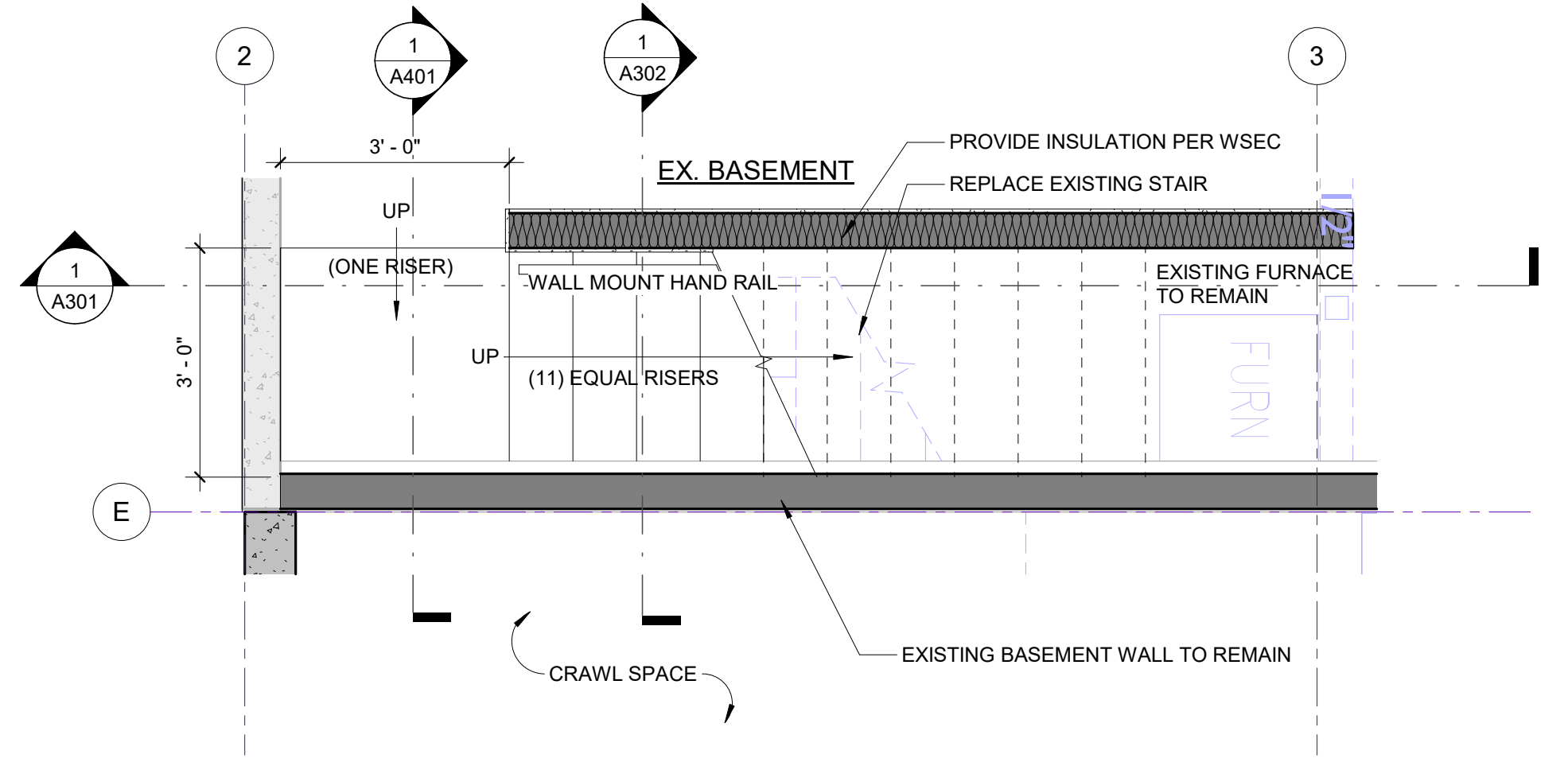
Revisions:
No. Description Date

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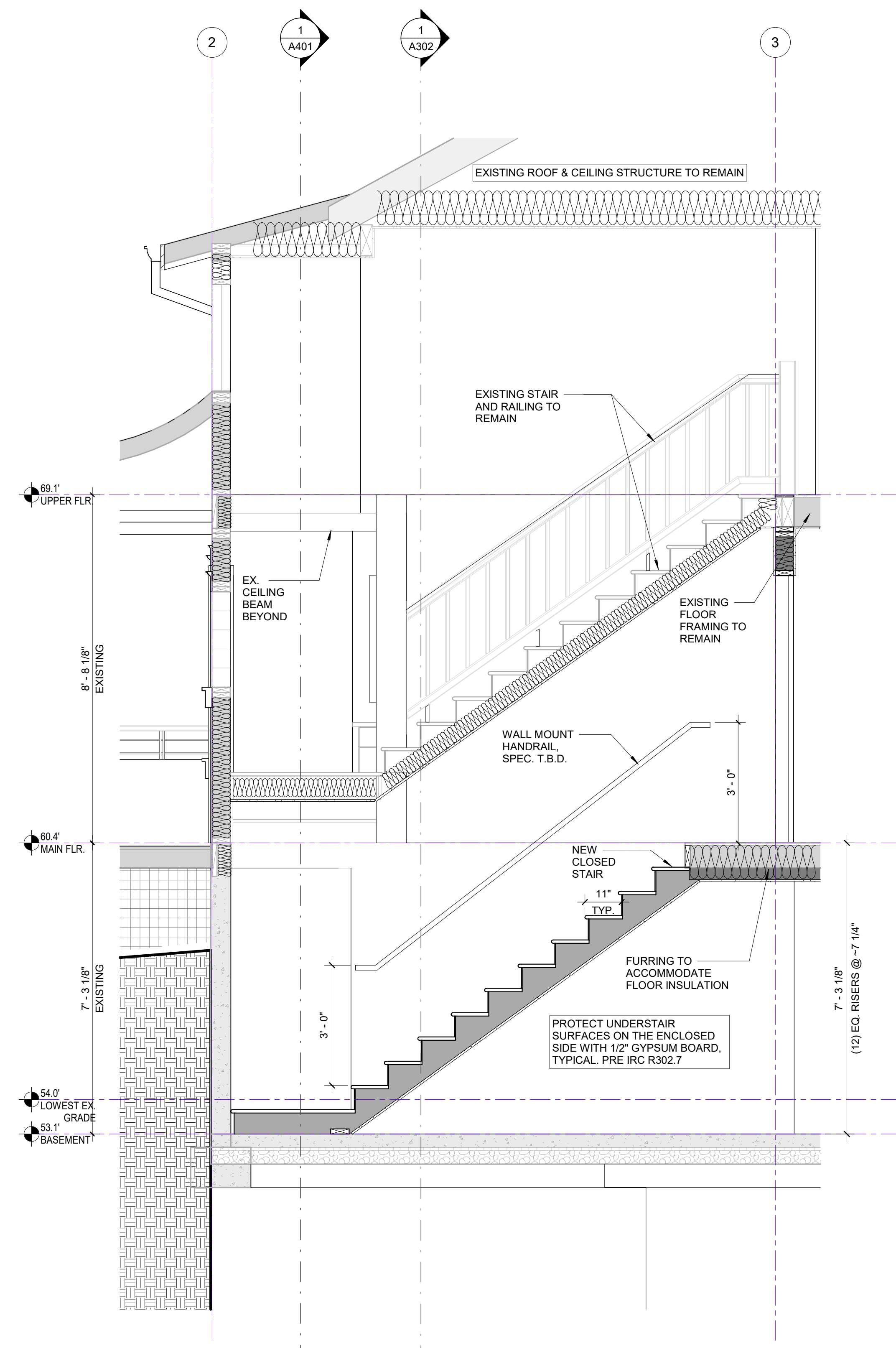
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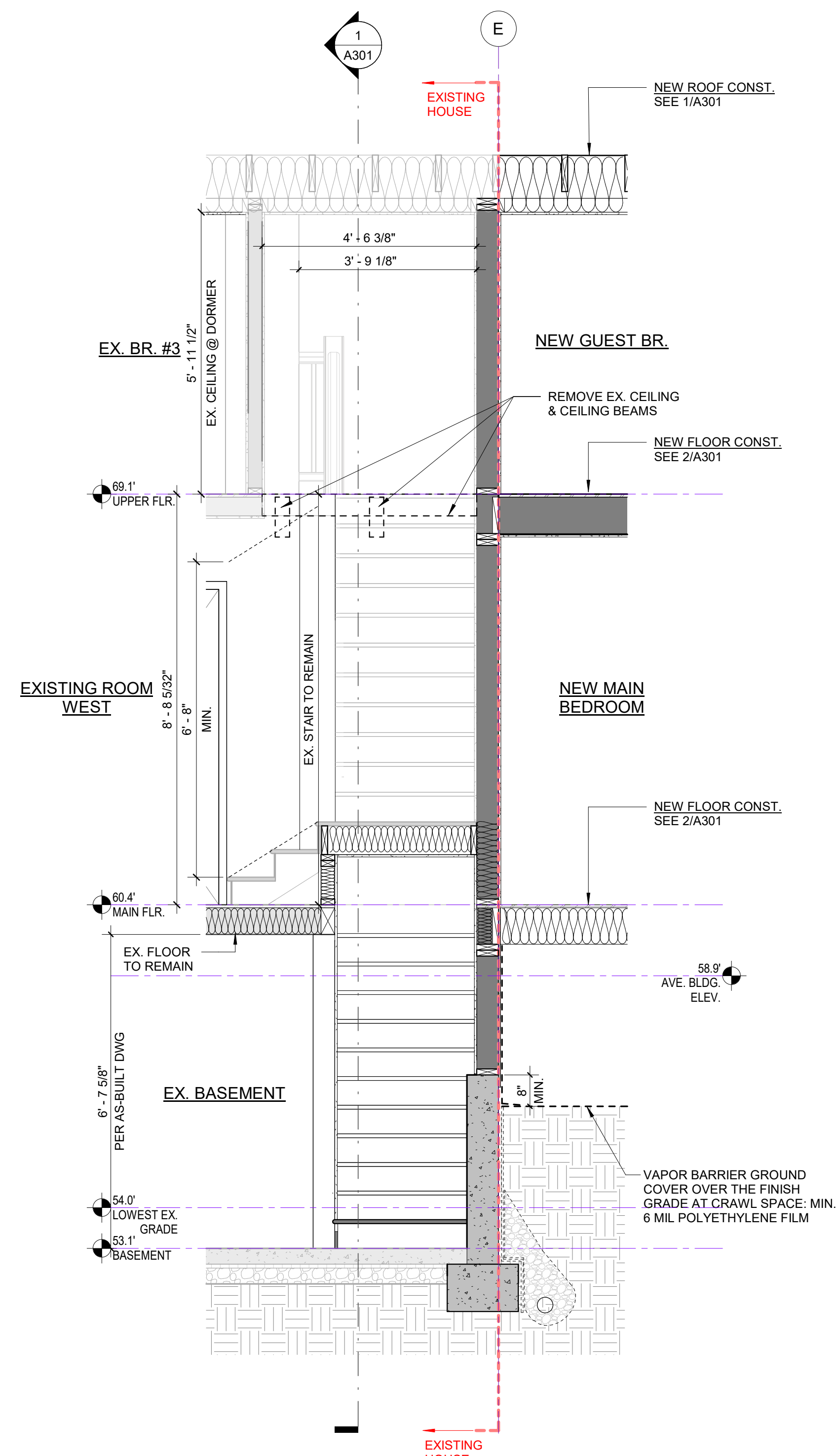
a CLOSED STAIR DETAIL
1/2" = 1'-0"



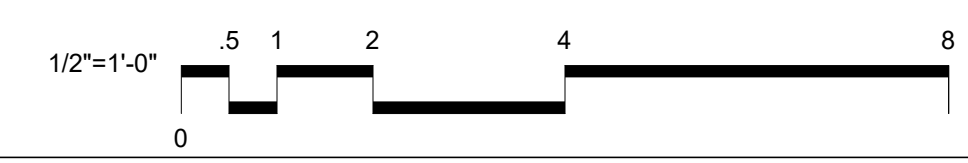
3 BASEMENT - STAIR PLAN
1/2" = 1'-0"

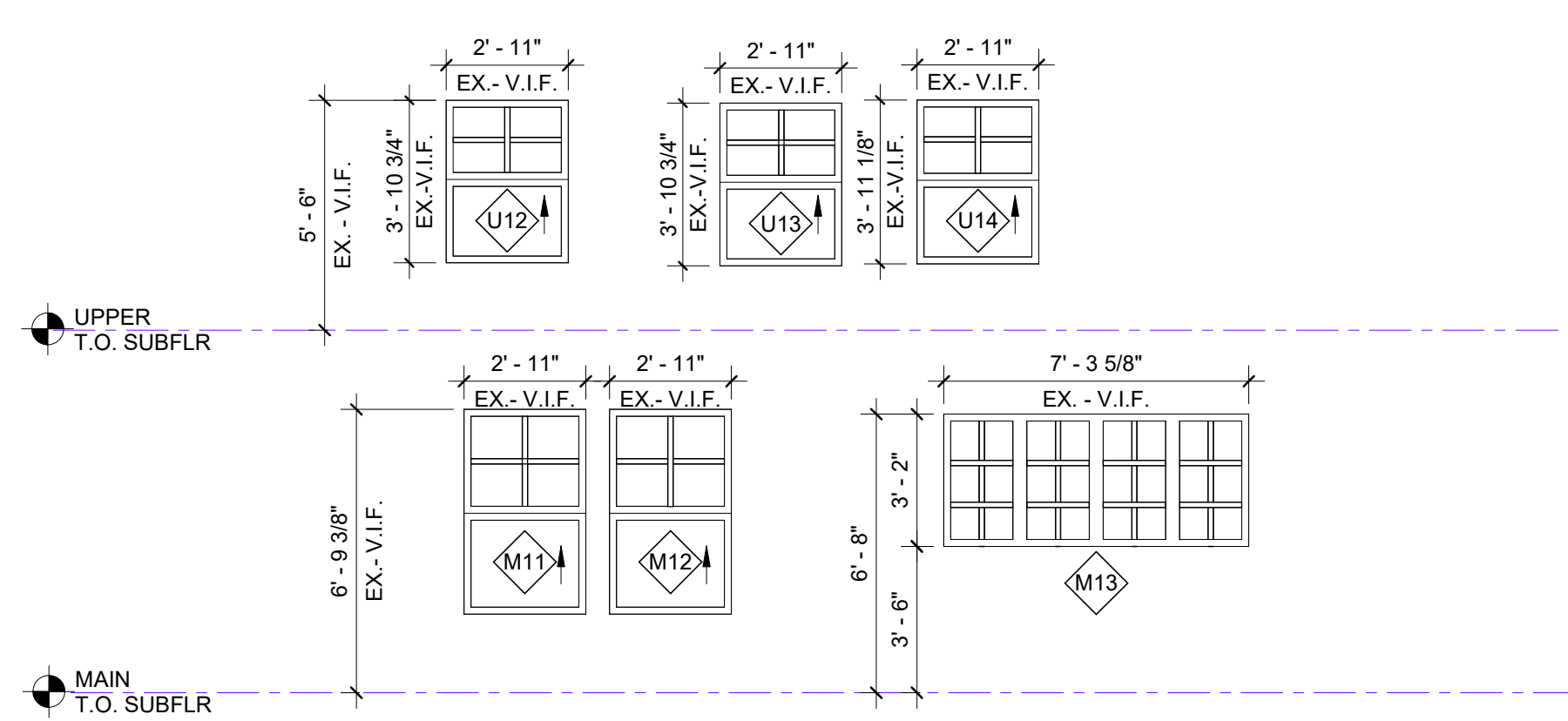
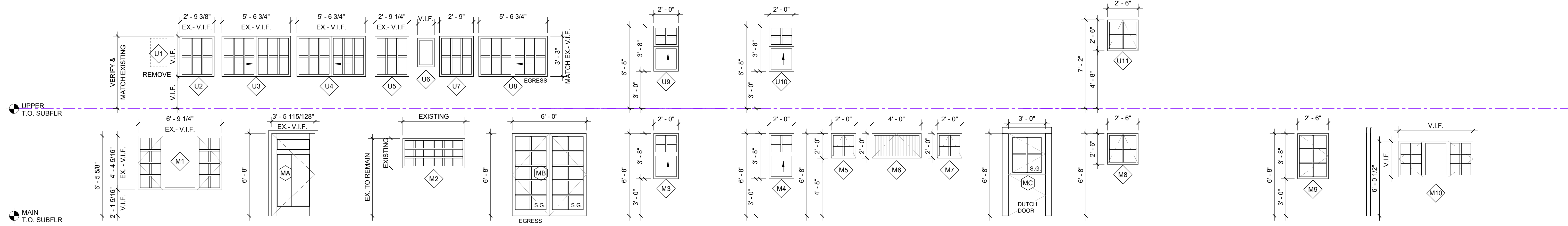


2 STAIR SECTION
1/2" = 1'-0"



1 WALL SECTION THRU STAIR N-S
1/2" = 1'-0"





EXT DOOR SCHEDULE - MAIN FLOOR

#	LOCATION	ROUGH OPENING		ROUGH HEADER HT From Subflr (ft-in)	DOOR TYPE	AREA (sf) (Glazed)	REMARKS: (U-VALUE: 0.30 MAX; S.G. - SAFETY GL; O.G. - OBSCURE GL; R.S - ROLLER SHADE)
		WIDTH (ft-in)	HEIGHT (ft-in)				
MA	EXISTING ROOM WEST	3'-5 115/128"	6'-8"	6'-11"		23.3 SF	SOLID WOOD DOOR W/ S.G.; THRESHOLD & WEATHER STRIP
MB	NEW MAIN BEDROOM	6'-0"	6'-8"	6'-10 1/2"	Swing - 2P	40.0 SF	S.G.; THRESHOLD & WEATHER STRIP
MC	LAUNDRY	3'-0"	6'-8"	6'-10 1/2"	Swing	20.0 SF	DUTCH DOOR; S.G.; THRESHOLD & WEATHER STRIP
Total Area of Ext Patio Doors						83.3 SF	

EXT WINDOW SCHEDULE - MAIN FLOOR

#	LOCATION	ROUGH OPENING (ft-in)		Head Height From Subflr (ft-in)	WINDOW		REMARKS: (U-VALUE: 0.30 MAX; S.G. - SAFETY GL; O.G. - OBSCURE GL; R.S - ROLLER SHADE)
		WIDTH	HEIGHT		TYPE	AREA (sf) (Glazed)	
M1	EXISTING ROOM WEST	6'-9 1/4"	4'-4 3/8"	6'-5 5/8"	CASEMENT	29.5 SF	
M2	EXISTING ROOM WEST	5'-0 1/4"	2'-4 5/8"	6'-3 1/8"	FIXED	12.0 SF	EXISTING GLASS BLOCKS TO REMAIN
M3	NEW MAIN BEDROOM	2'-0"	3'-8"	6'-8"	AWNING	7.3 SF	
M4	NEW MAIN BEDROOM	2'-0"	3'-8"	6'-8"	AWNING	7.3 SF	
M5	W.C.1	2'-0"	2'-0"	6'-8"	AWNING	4.0 SF	
M6	MAIN BATH	4'-0"	2'-0"	6'-8"	AWNING	8.0 SF	S.G.; O.G.
M7	W.C.2	2'-0"	2'-0"	6'-8"	AWNING	4.0 SF	
M8	NEW W.I.C.	2'-6"	2'-6"	6'-8"	AWNING	6.3 SF	
M9	LAUNDRY	2'-6"	3'-8"	6'-8"	CASEMENT	9.2 SF	
M10	EXISTING ROOM EAST	6'-0"	2'-10 7/8"	6'-0 1/2"	CASEMENT	17.4 SF	
M11	EXISTING ROOM EAST	2'-11"	4'-10 7/8"	6'-9 3/8"	SINGLE HUNG	14.3 SF	
M12	EXISTING ROOM EAST	2'-11"	4'-10 7/8"	6'-9 3/8"	SINGLE HUNG	14.3 SF	
M13	EXISTING ROOM WEST	7'-3 5/8"	3'-2"	6'-8"	FIXED	23.1 SF	
Total Area of Windows						156.7 SF	

EXT WINDOW SCHEDULE - UPPER FLOOR

#	LOCATION	ROUGH OPENING (ft-in)		HEAD HEIGHT From Subflr (ft-in)	WINDOW		REMARKS: (U-VALUE: 0.30 MAX; S.G. - SAFETY GL; O.G. - OBSCURE GL; R.S - ROLLER SHADE)
		WIDTH	HEIGHT		TYPE	AREA (sf) (Glazed)	
U1	EX. BR. #2	1'-4 1/4"	2'-3 7/8"	5'-8 1/8"	FIXED	3.1 SF	REMOVE EXISTING WINDOW
U2	EX. BR. #2	2'-9 3/8"	3'-3"	5'-10"	FIXED	9.0 SF	
U3	EX. BR. #2	5'-6 3/4"	3'-3"	5'-10"	SLIDING	18.1 SF	
U4	EX. BR. #3	5'-6 3/4"	3'-3"	5'-10"	SLIDING	18.1 SF	
U5	EX. BR. #3	2'-9 1/4"	3'-3"	5'-10"	FIXED	9.0 SF	
U6	STAIR	1'-4 1/4"	2'-3 7/8"	5'-8 1/8"	FIXED	3.1 SF	
U7	STAIR	2'-9"	3'-3"	5'-10"	FIXED	8.9 SF	
U8	NEW GUEST BR.	5'-6 3/4"	3'-3"	5'-10"	SLIDING	18.1 SF	EGRESS
U9	NEW GUEST BR.	2'-0"	3'-8"	6'-8"	SINGLE HUNG	7.3 SF	
U10	NEW GUEST BR.	2'-0"	3'-8"	6'-8"	SINGLE HUNG	7.3 SF	
U11	NEW GUEST BATH	2'-6"	2'-6"	7'-2"	AWNING	6.3 SF	S.G.; O.G.
U12	EX. ROOM	2'-11"	3'-10 3/4"	5'-6"	SINGLE HUNG	11.3 SF	
U13	EX. BR. #2	2'-11"	3'-10 3/4"	5'-5 1/4"	SINGLE HUNG	11.3 SF	
U14	EX. BR. #2	2'-11"	3'-11 1/8"	5'-6 1/8"	SINGLE HUNG	11.4 SF	
Total Area of Windows						142.5 SF	

WINDOW & EXTERIOR DOOR NOTES:

- EXISTING WINDOWS TO BE REPLACED; ALL WINDOWS TO MATCH IN STYLE AND MATERIAL.
- WINDOW & DOOR MANUFACTURER: TO BE DETERMINED.
- ALL GLAZING SHALL BE DOUBLE GLAZED, TRIPLE GLAZED IF NEEDED, W/ 1 LAYER OF LOW E COATING AND 5/8" AIRSPACE FILLED WITH ARGON GAS AS REQD., AVERAGE u-VALUE TO BE 0.30 OR LESS.
- ALL DOOR & WINDOW HEAD CASINGS TO ALIGN U.N.O.
- WINDOW CONFIGURATIONS PER A501
- ALL HEADER HEIGHTS ARE MEASURED FROM THE TOP OF SUBFLR. UNLESS NOTED OTHERWISE.
- CONTRACTOR TO VERIFY UNIT HEIGHT AND ROUGH OPENING W/ WINDOW MANUFACTURER AND ADJUST AS REQD. TO ALLOW DOOR & WINDOW HEIGHTS TO ALIGN.
- WINDOW & DOOR SUPPLIER TO VERIFY LOCATION OF ALL SAFETY GLASS PER CURRENT CODE REQUIREMENTS.
- PROVIDE SCREENS @ ALL OPERABLE WINDOWS.
- EGRESS WINDOW PER IRC CODE W/ MIN CLEAR OPEN 20" WIDTH & 24" HT & MIN. 5.7 SF NET CLEAR OPENING AREA, 44" MAX SILL HT.
- HARDWARE TYPES T.B.D.
- ALL EXTERIOR DOORS TO HAVE THRESHOLD & WEATHERSTRIP.
- ALL WINDOWS ON WHERE OPERABLE SECTIONS ARE LOCATED WITHIN 36 INCHES OF FINISHED FLOOR AND LOCATED MORE THAN 72 INCH ABOVE THE FINISHED GRADE OR SURFACE BELOW SHALL HAVE LIMITERS TO RESTRICT THE WINDOW OPERATION TO NOT ALLOWING A 4" SPHERE TO PASS THROUGH

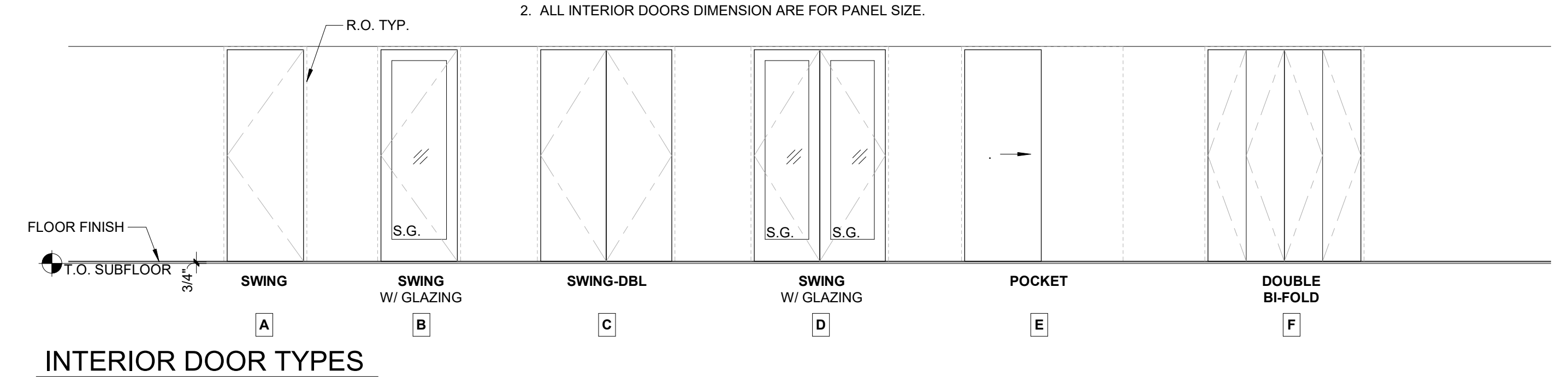
INT DOOR SCHEDULE - MAIN FLOOR

#	LOCATION	DOOR SIZE		ROUGH HEADER HEIGHT From Subflr (ft-in)	DOOR TYPE	REMARKS (S.G. Safety Glass; O.G. - Obscure Glass; T&W - Threshold & Weatherstrip)
		Width	Height			
MD	POWDER	2'-4"	6'-8"	6'-10 1/2"	A	
ME	COAT	2'-6"	6'-8"	6'-10 1/2"	A	
MF	KITCHEN (REMODELED)	2'-6"	6'-8"	7'-0 1/2"	E	
MG	PANTRY	2'-4"	6'-8"	7'-0 1/2"	E	
MH	EXISTING ROOM WEST	2'-4"	6'-8"	6'-10 1/2"	A	
MI	NEW MAIN BEDROOM	2'-6"	6'-8"	6'-10 1/2"	A	
MJ	MAIN BATH	2'-6"	6'-8"	7'-0 1/2"	E	MIRROR MOUNT ON THE BATHROOM SIDE FACE OF THE DOOR PANEL
MK	W.C.1	2'-6"	6'-8"	6'-10 1/2"	A	
ML	W.C.2	2'-6"	6'-8"	6'-10 1/2"	A	
MM	MAIN BATH	2'-6"	6'-8"	7'-0 1/2"	E	MIRROR MOUNT ON BOTH FACE OF THE DOOR PANEL

INT DOOR SCHEDULE - UPPER FLOOR

#	LOCATION	DOOR SIZE		ROUGH HEADER HEIGHT From Subflr (ft-in)	DOOR TYPE	REMARKS: (S.G. - SAFETY GL; O.G. - OBSCURE GL)
		Width	Height			
UA	STAIR	2'-6"	6'-8"	6'-10 1/2"	A	
UB	NEW GUEST BATH	2'-6"	6'-8"	7'-0 1/2"	E	
UC	NEW GUEST BR.	5'-0"	6'-8"	6'-10 1/2"	F	
UD	NEW GUEST BATH	1'-6"	6'-8"	6'-10 1/2"	A	
UE	EX. BATH	2'-6"	6'-5 3/8"	EXISTING	A	EXISTING TO REMAIN
UF	EX. BR. #3	2'-6"	6'-5 3/8"	EXISTING	A	EXISTING TO REMAIN
UG	EX. HALLWAY	2'-6"	6'-5 3/8"	EXISTING	A	EXISTING TO REMAIN
UH	EX. BR. #2	2'-6"	6'-5 3/8"	EXISTING	A	EXISTING TO REMAIN
UI	EX. ROOM	2'-6"	6'-8"	EXISTING	A	EXISTING TO REMAIN
UJ	EX. ROOM	2'-4"	6'-8"	EXISTING	A	EXISTING TO REMAIN

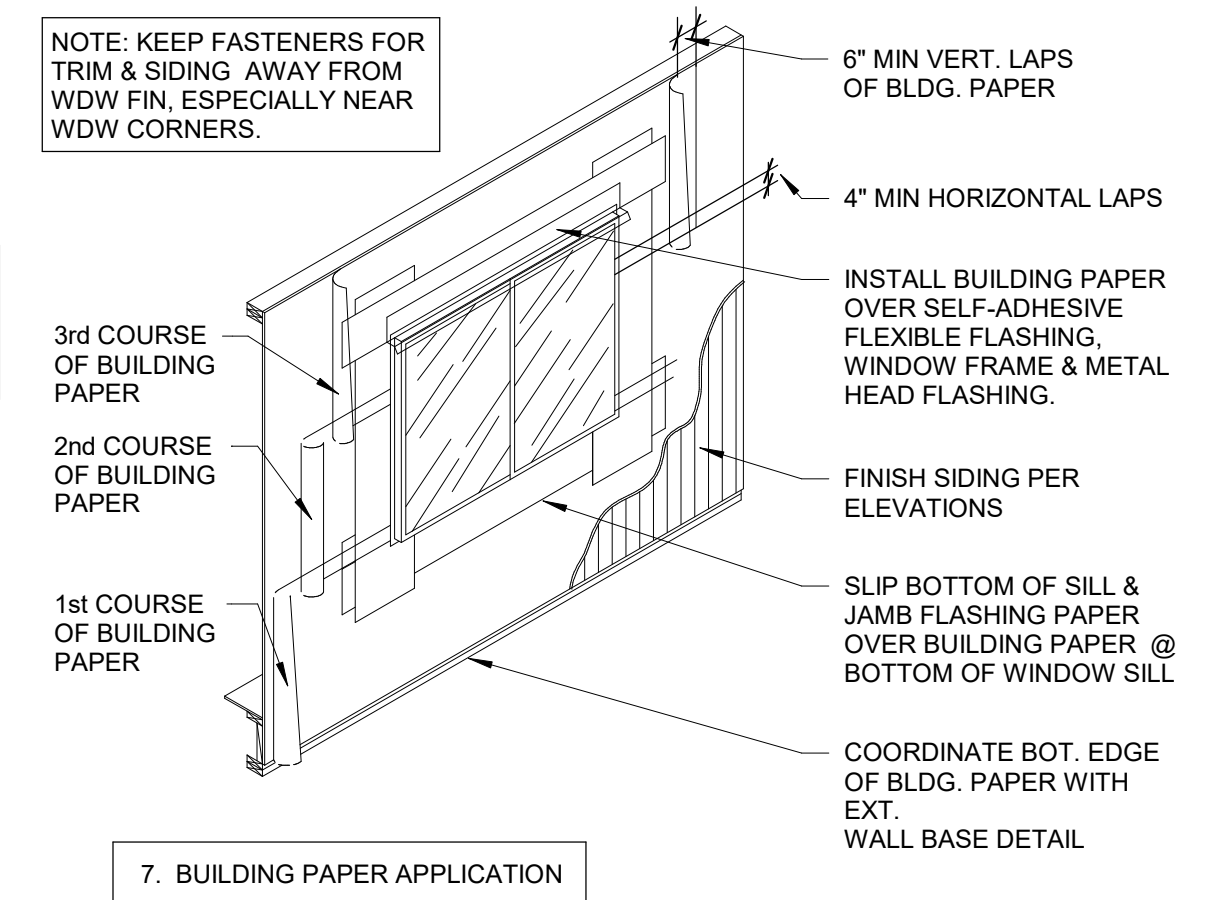
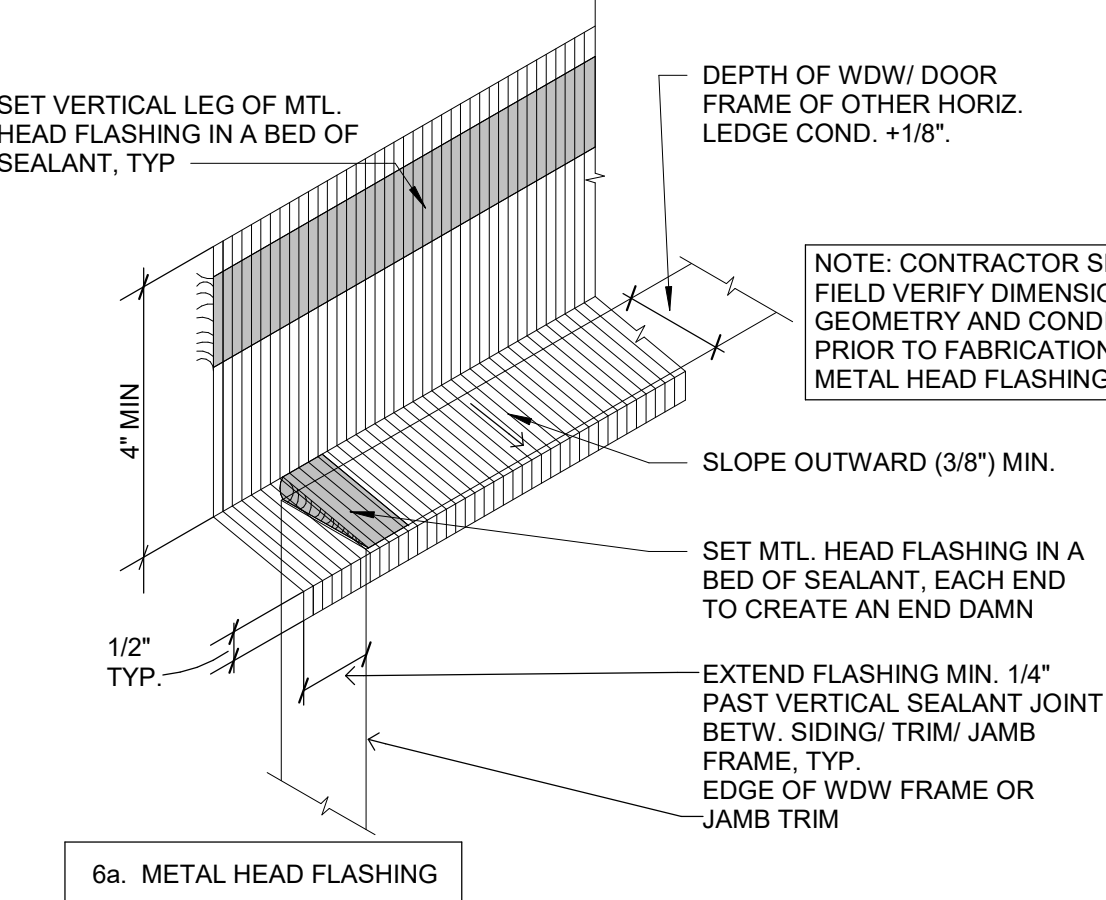
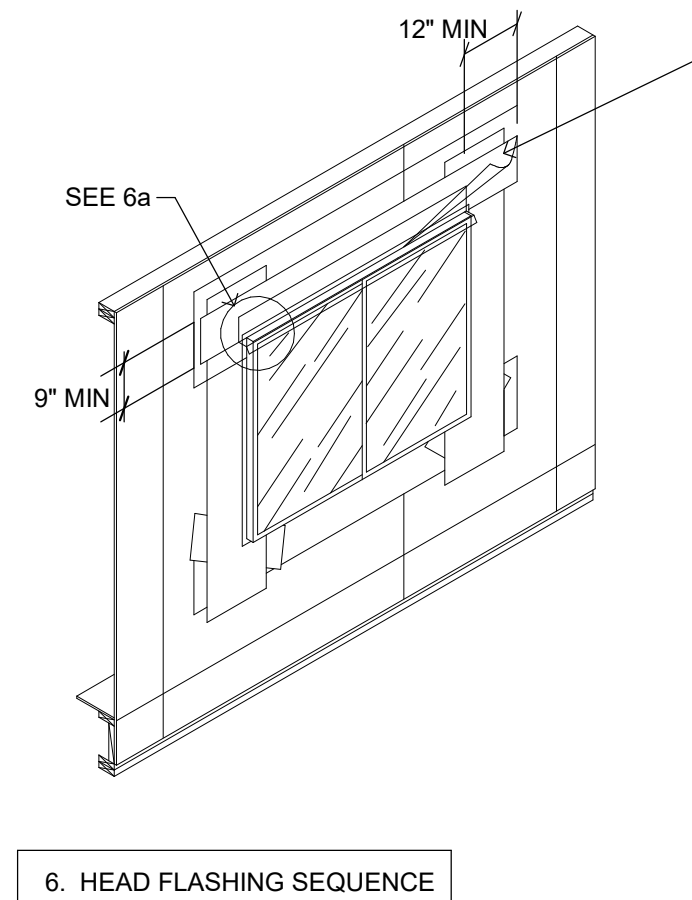
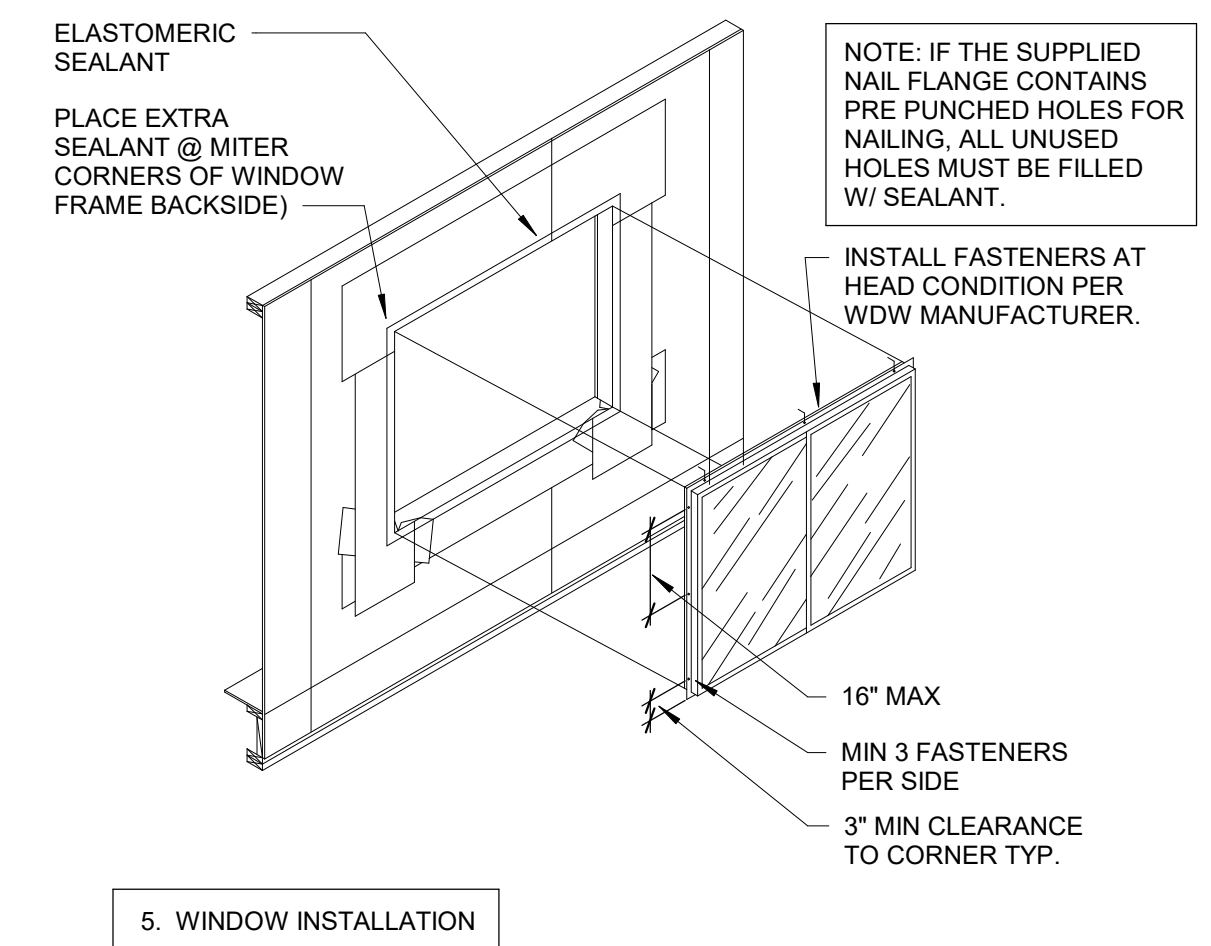
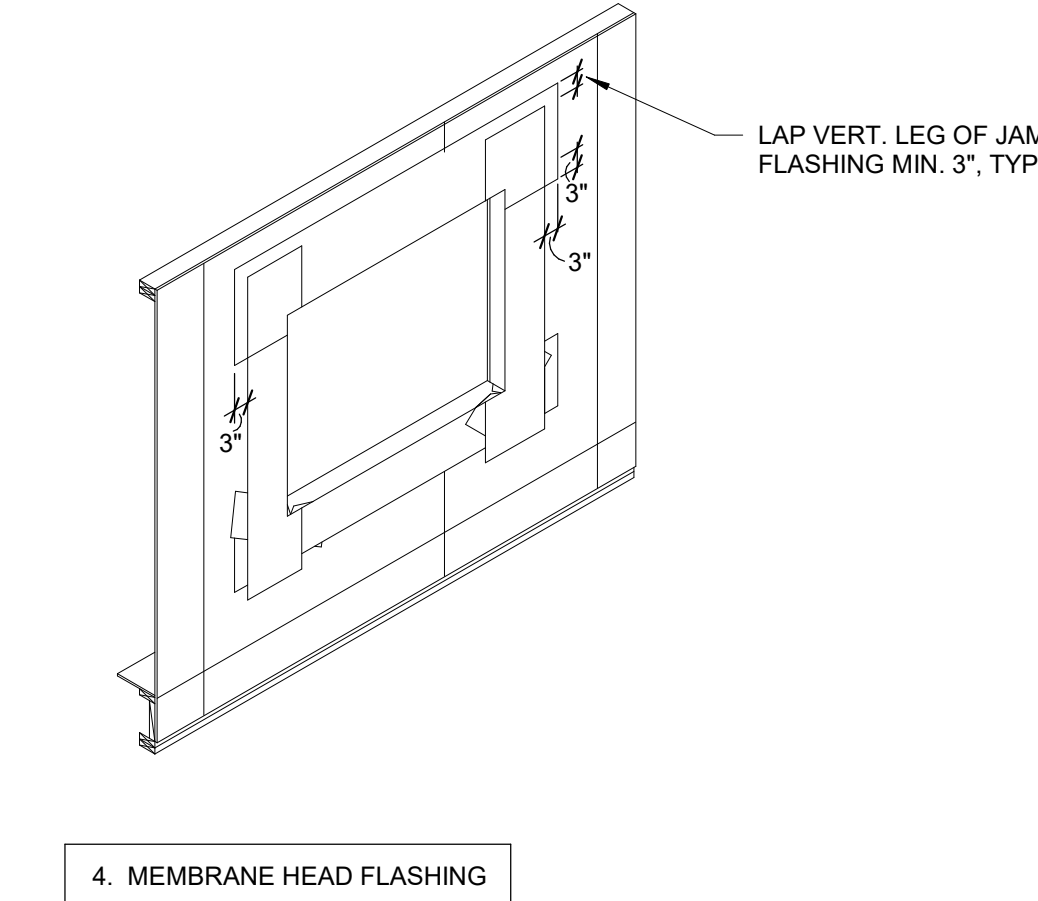
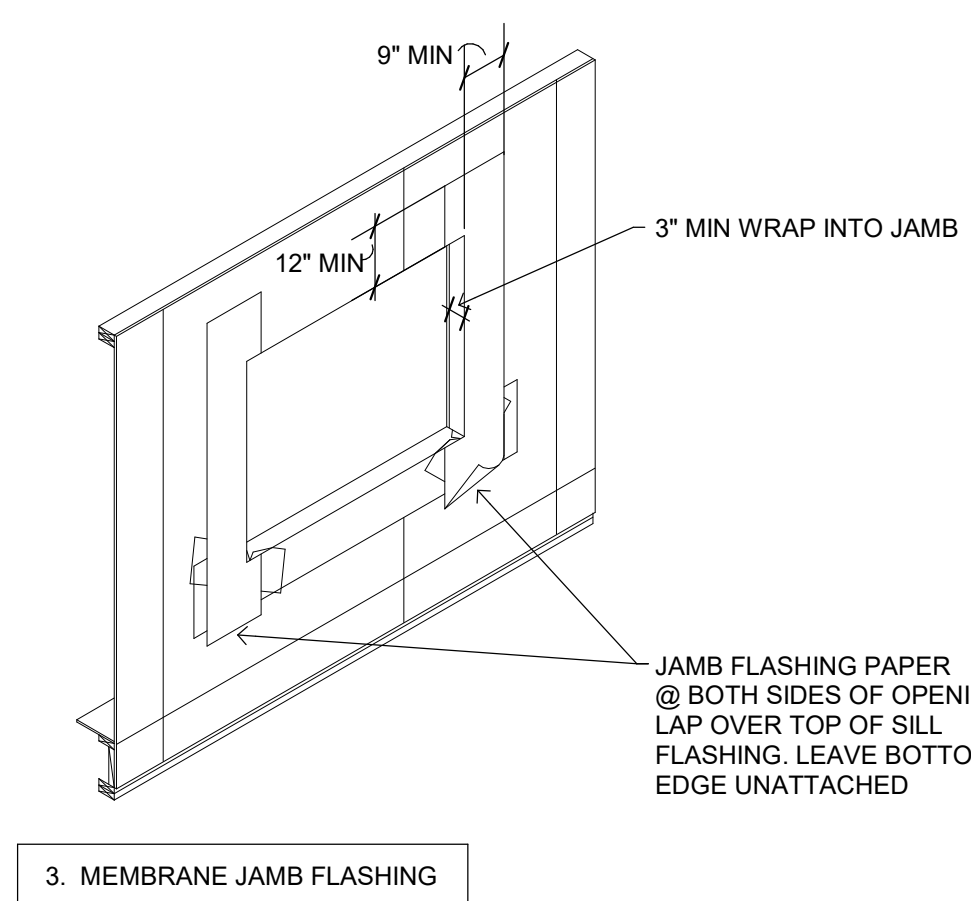
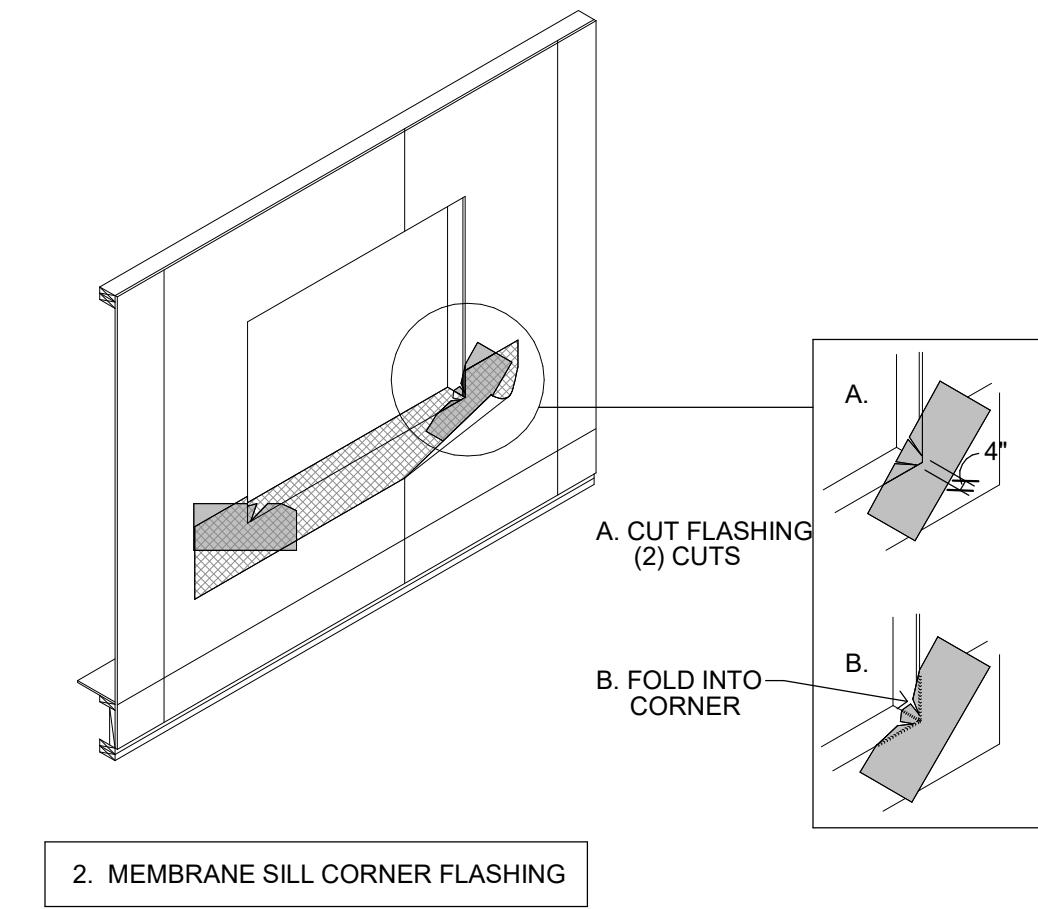
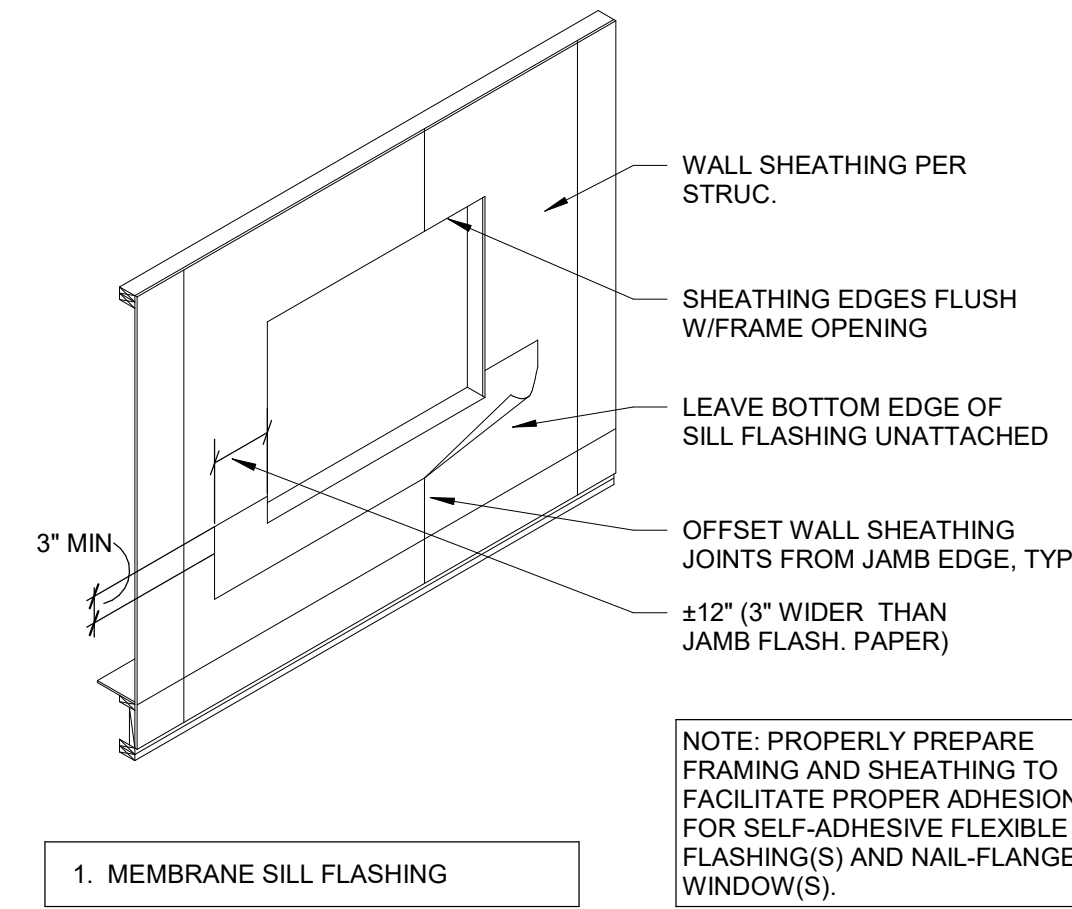
- NOTE:**
- ALL INTERIOR DOORS ARE SINGLE PANEL STYLE DOOR UNLESS NOTED OTHERWISE. DOOR FINISH, HARDWARE, AND DOOR ACCESSORIES PER INTERIOR DESIGN SPECIFICATION.
 - ALL INTERIOR DOORS DIMENSION ARE FOR PANEL SIZE.



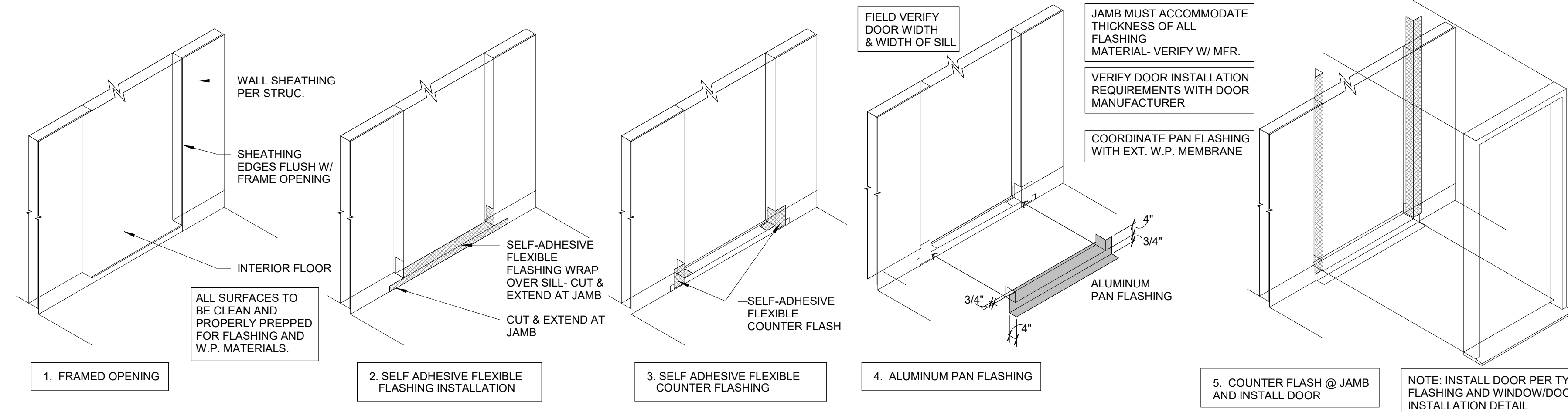
INTERIOR DOOR TYPES

INSTALLATION STEPS:

- CUT AND FOLD SELF-ADHESIVE FLEXIBLE SILL FLASHING INTO FRAME OPENING; LEAVE BOTTOM EDGE OF SILL FLASHING UNATTACHED.
- CUT AND FOLD SELF-ADHESIVE FLEXIBLE CORNER FLASHING INTO BOTH BOTTOM CORNERS OF FRAME OPENING
- CUT AND FOLD SELF-ADHESIVE FLEXIBLE FLASHING INTO JAMB FRAME OPENING; LEAVE BOTTOM EDGES OF JAMB FLASHING UNATTACHED
- CUT AND FOLD SELF-ADHESIVE FLEXIBLE FLASHING INTO HEAD FRAME OPENING.
- SEAL WINDOW FRAME TO OPENING. APPLY CONT. BEAD OF SEALANT WITHIN 1/2" OF EDGE OF OPENING OR APPLY CONT. SEALANT ON BACKSIDE OF WINDOW FLANGES @ HEAD, JAMB & SILL; THEN INSTALL FRAME TO OPENING.
CHECK WINDOW FINN FOR DAMAGE. REPAIR OR REPLACE DAMAGED FINN.
**FASTENERS TO BE STAINLESS STEEL ROOFING NAILS (1 1/2") OR EQUAL. MINIMUM PENETRATION INTO FRAMING TO BE 1"
- WHEN INSTALLING A WINDOW: NAIL BOTTOM CORNER FIRST. SET WINDOW STRAIGHT, PLUMB & LEVEL BEFORE SECURING. PROVIDE CONTINUOUS SUPPORT OR SHIMS UNDER FRAME OF SILL IF REQUIRED BY MFR. FASTEN THROUGH SIDES OF FRAME. DO NOT FASTEN THROUGH HEAD UNLESS PERMITTED BY WINDOW MFR.
- INSTALL BUILDING PAPER FROM THE BOTTOM TO TOP OF THE WALL SHINGLE EACH COARSE TO FACILITATE PROPER DRAINAGE.



1 FLASHING & NAILFLANGE WINDOWS INSTALLATION
1" = 1'-0"



PERMIT APPLICATION

2870 REGISTERED ARCHITECT
MARK L. NELSON
STATE OF WASHINGTON

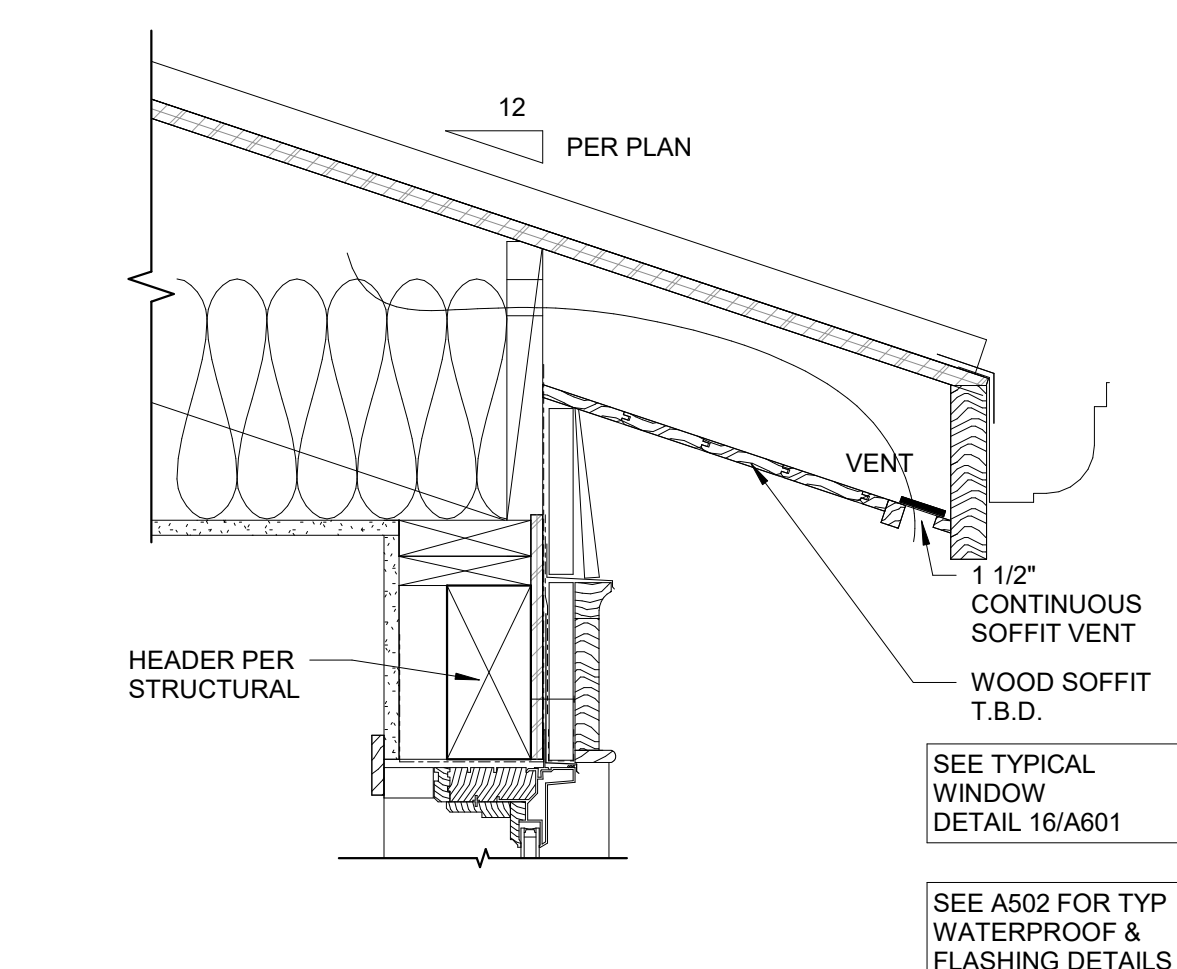
Project:
DICKINSON RESIDENCE

25-
2800 60th Ave. SE, Mercer Island

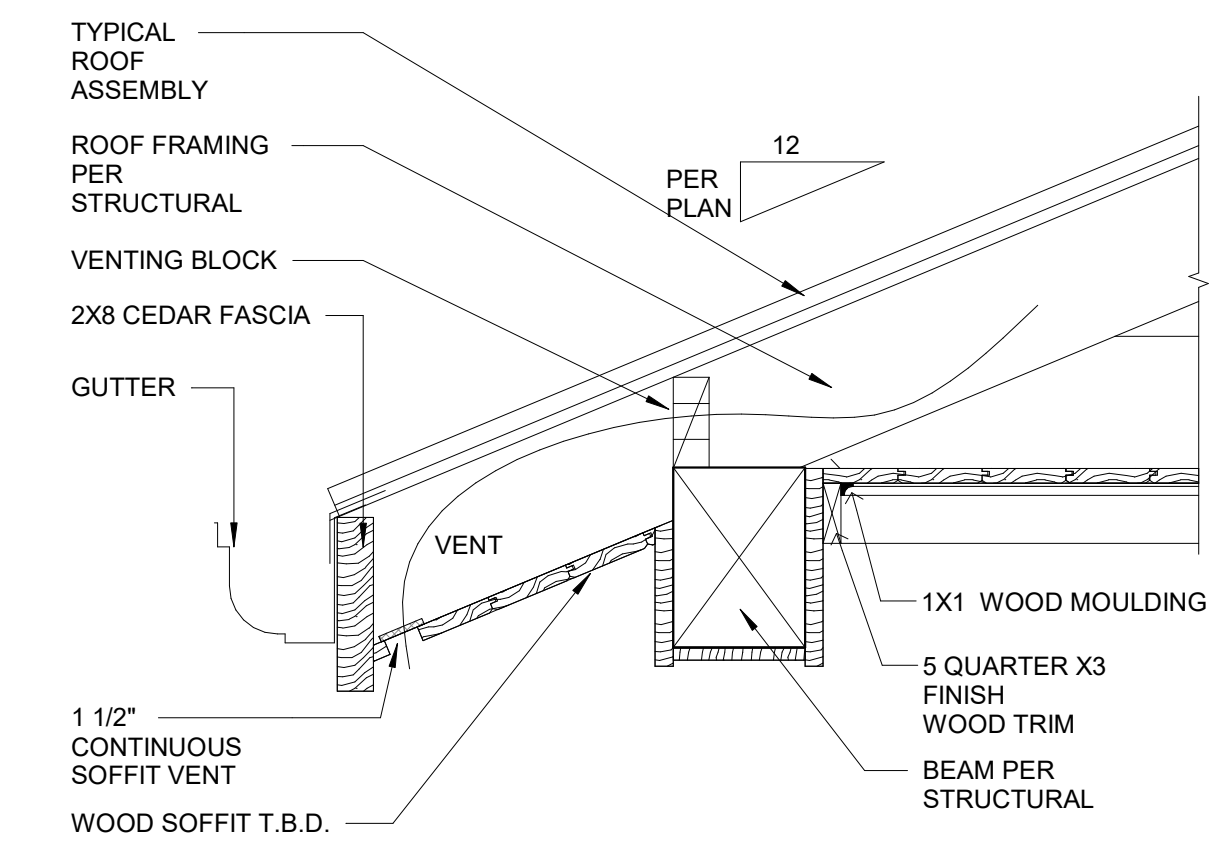
Drawing Title:
WATERPROOF DETAILS
Drawn By: NC
Checked By: MN
Approved By: MN
Issue Date: 2025-12-22
Revisions:
No. Description Date

Scale: 1" = 1'-0"
Sheet No.

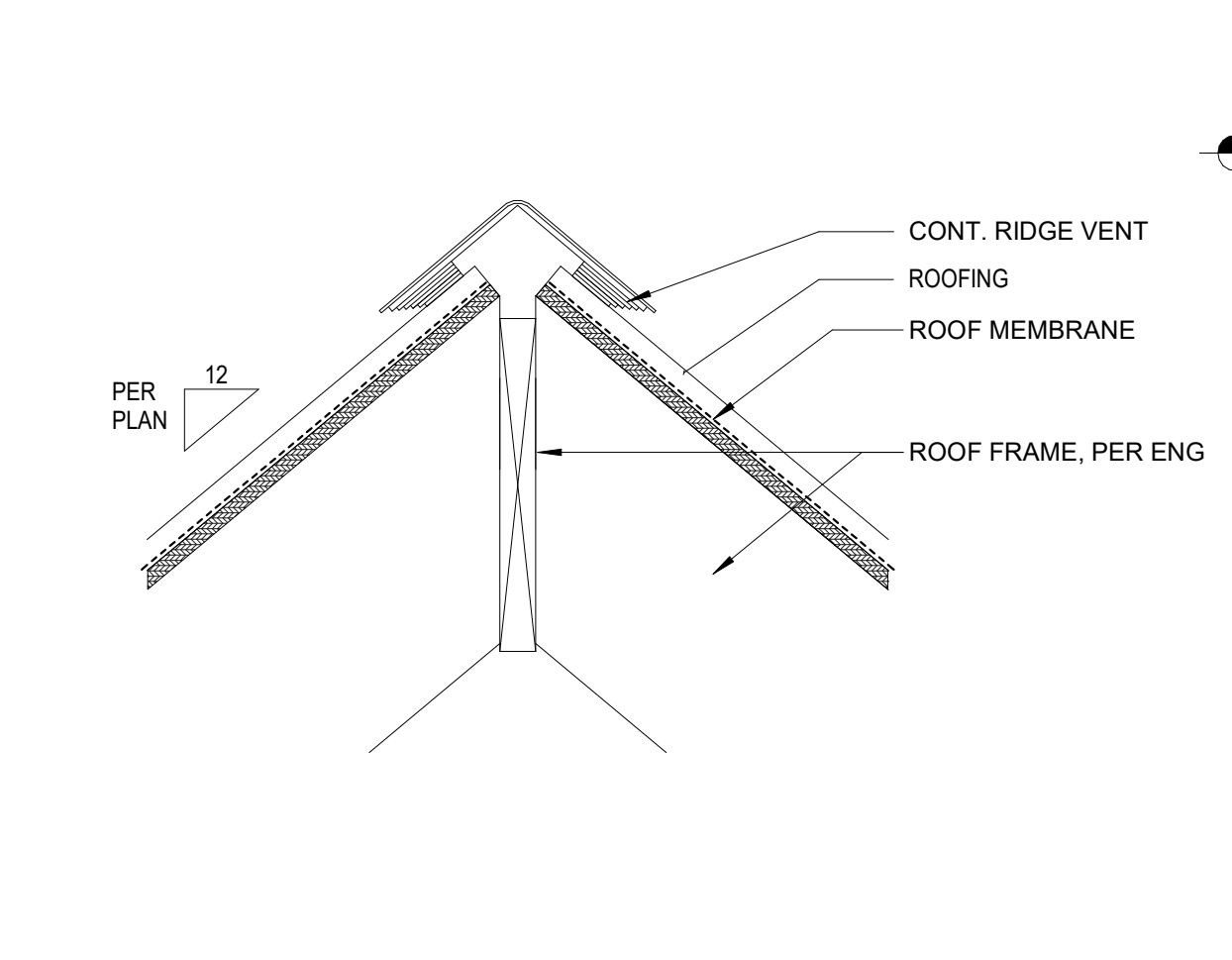
A502



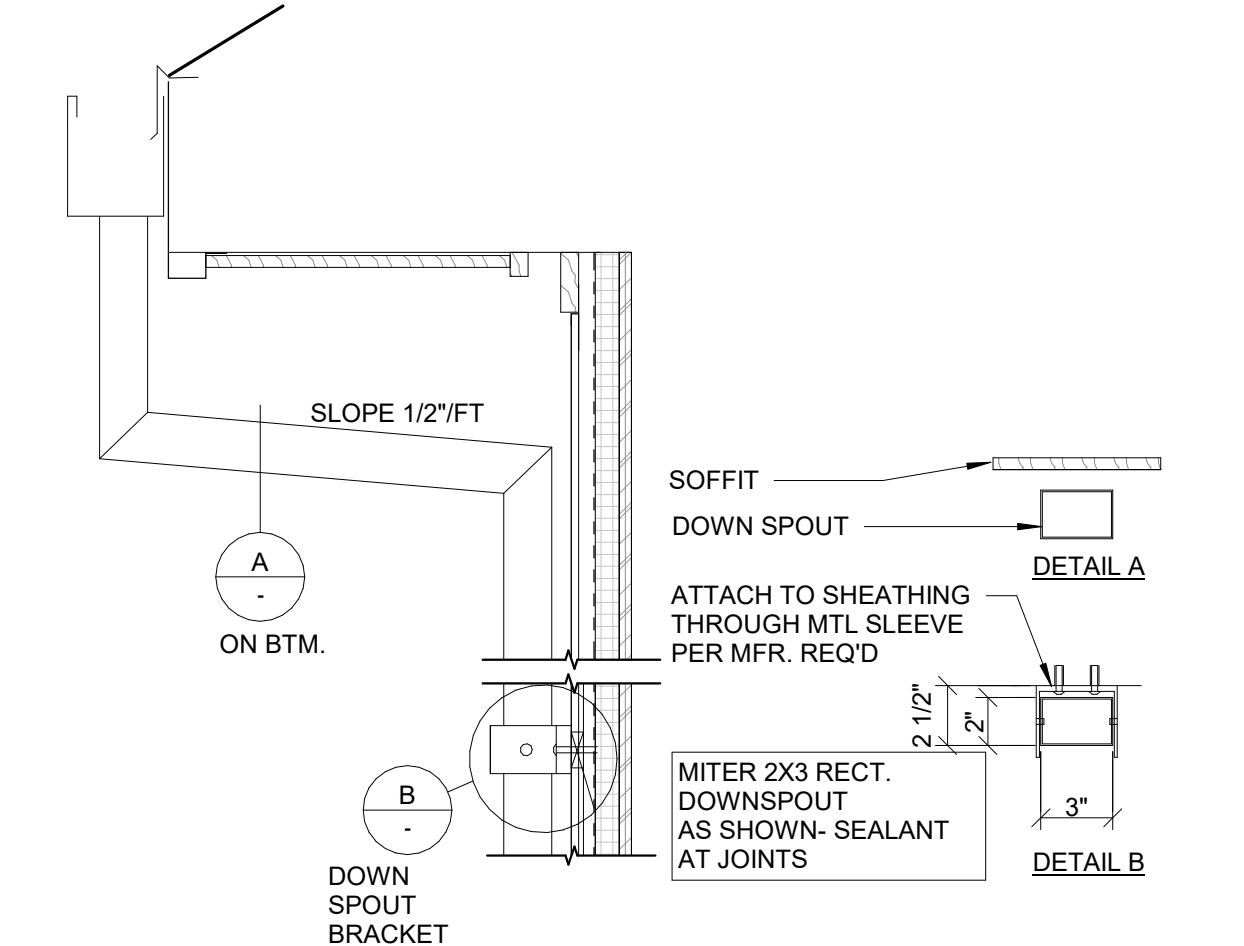
9 EAVE @ DORMER
1 1/2" = 1'-0"



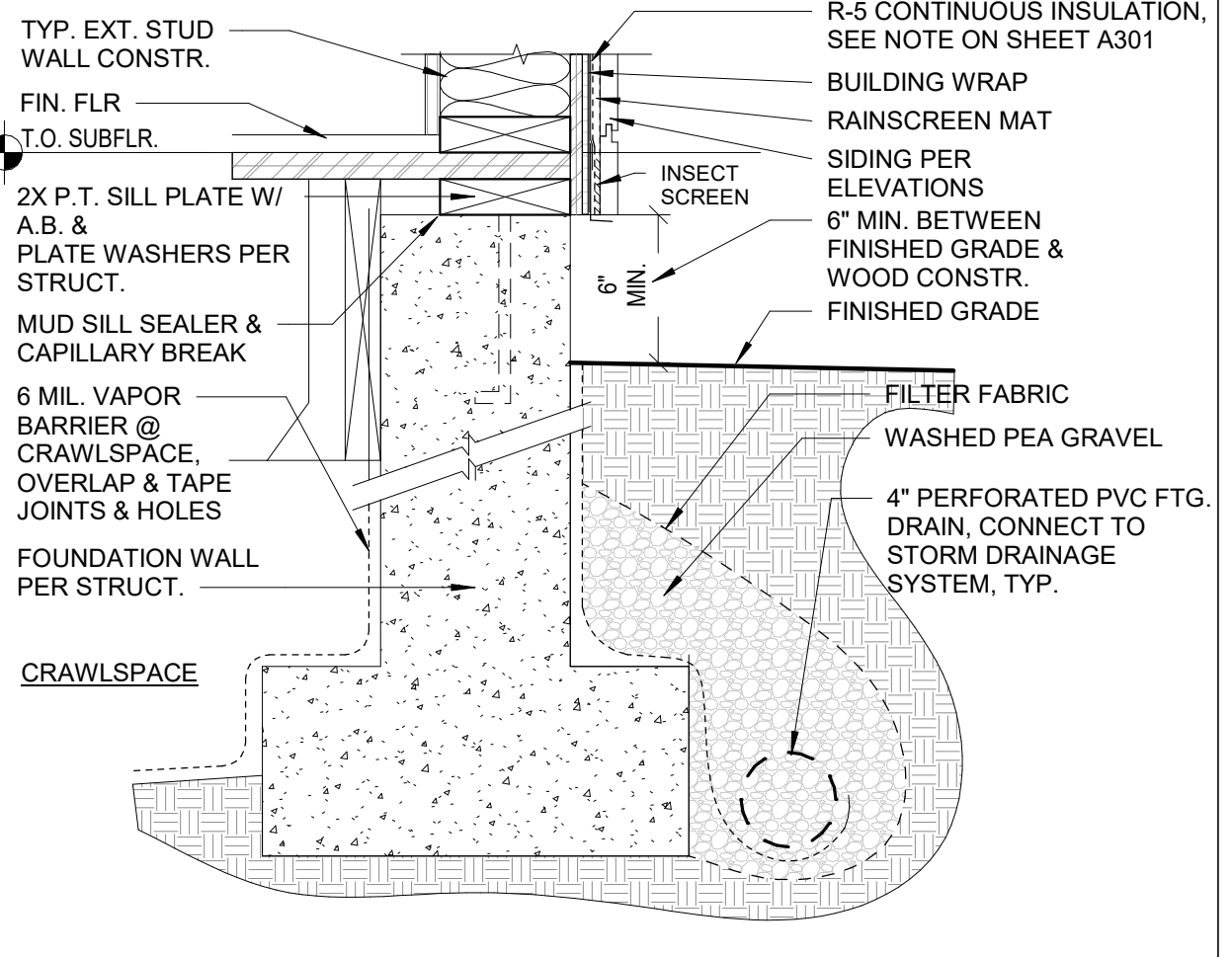
10 EAVE @ FRONT PORCH
1 1/2" = 1'-0"



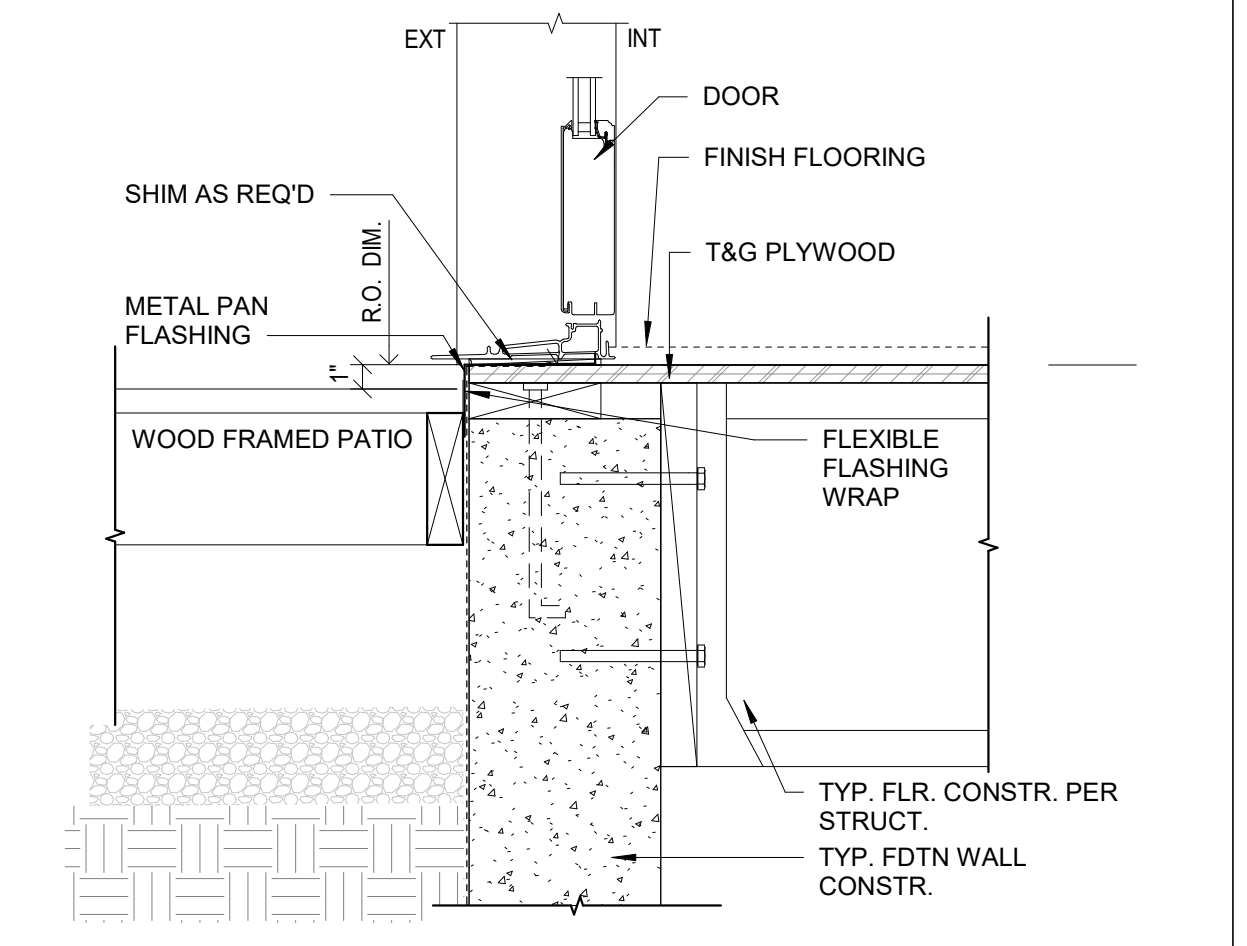
5 RIDGE VENT
1 1/2" = 1'-0"



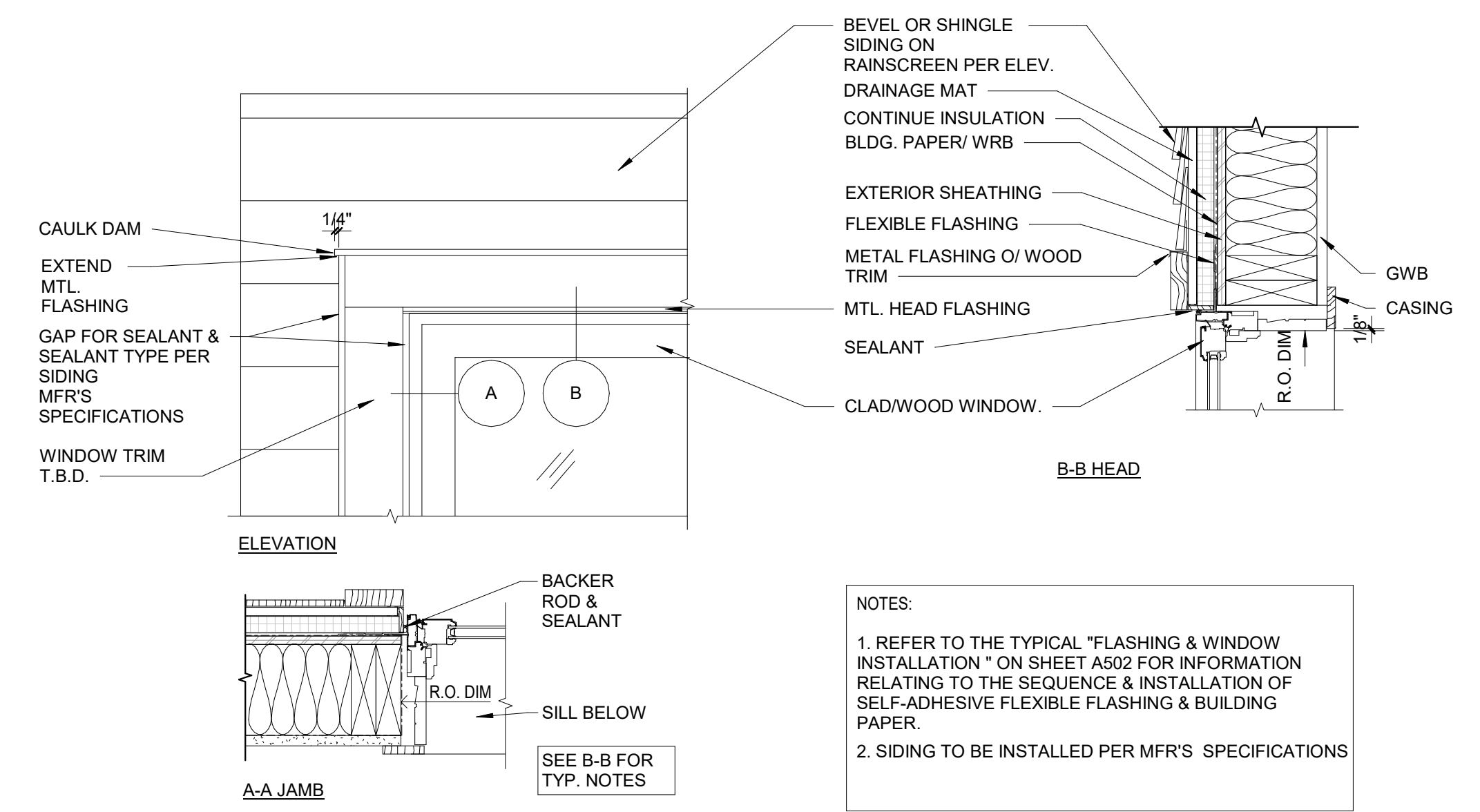
6 TYP. DOWNSPOUT DETAIL
1 1/2" = 1'-0"



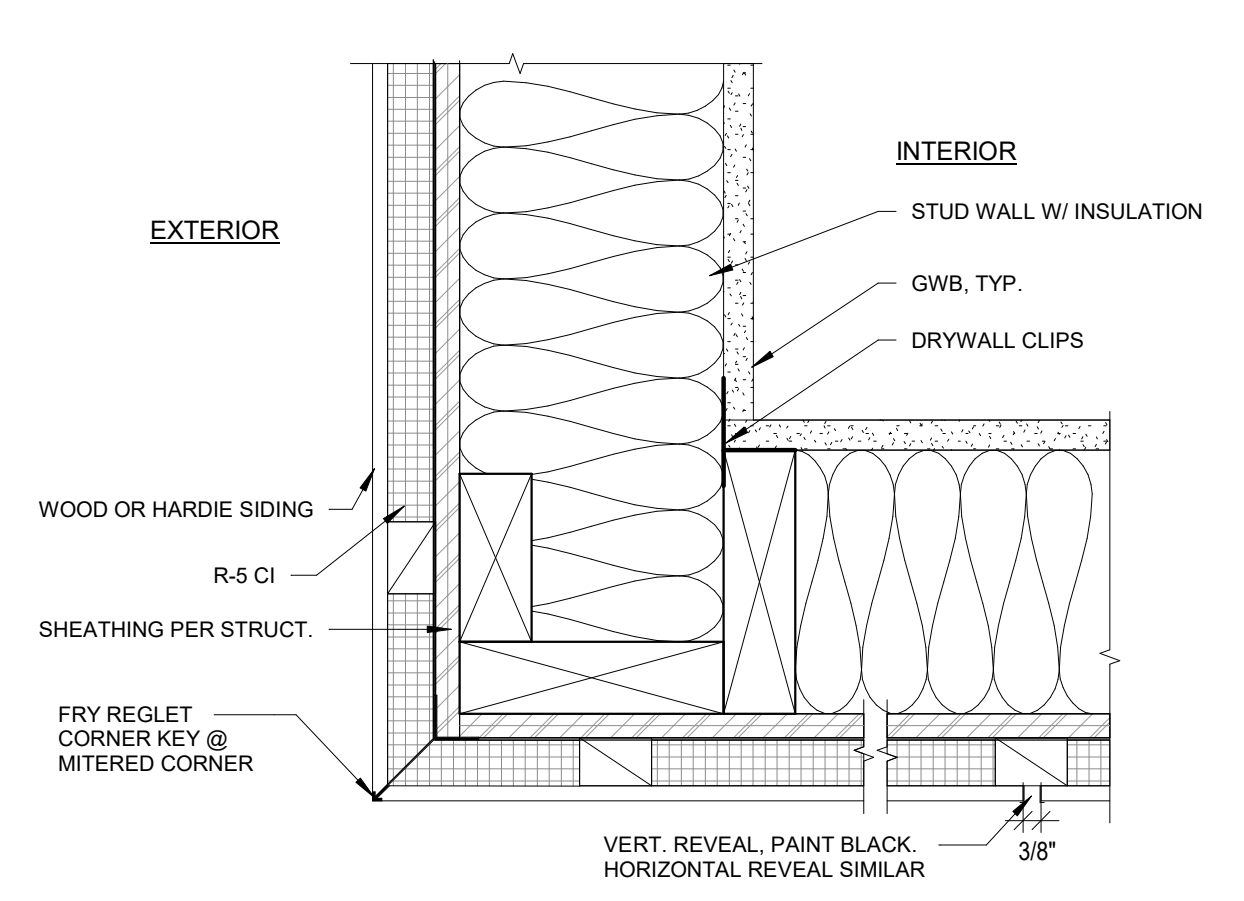
1 FOUNDATION TYP.
1 1/2" = 1'-0"



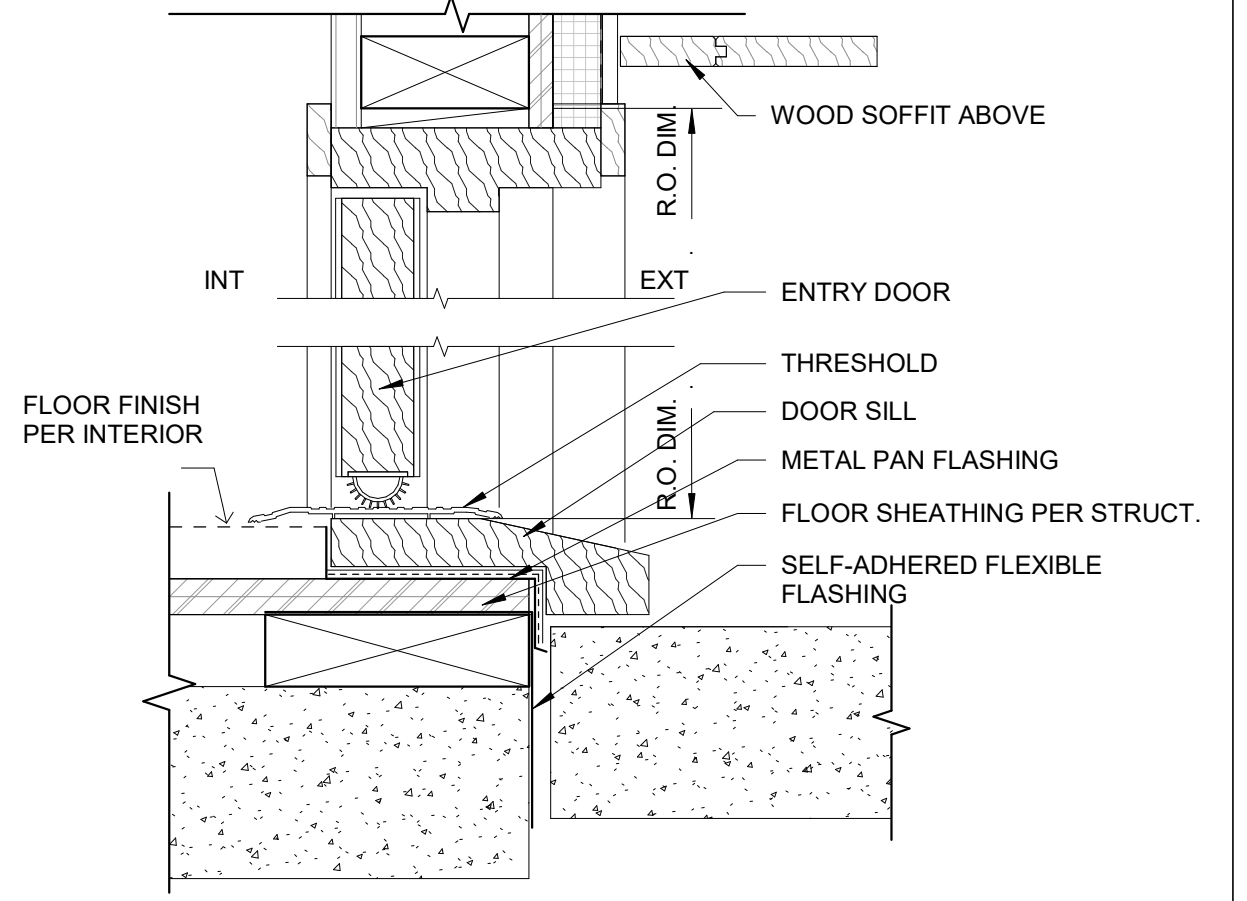
2 PATIO DOOR THRESHOLD - SWING DOOR
1 1/2" = 1'-0"



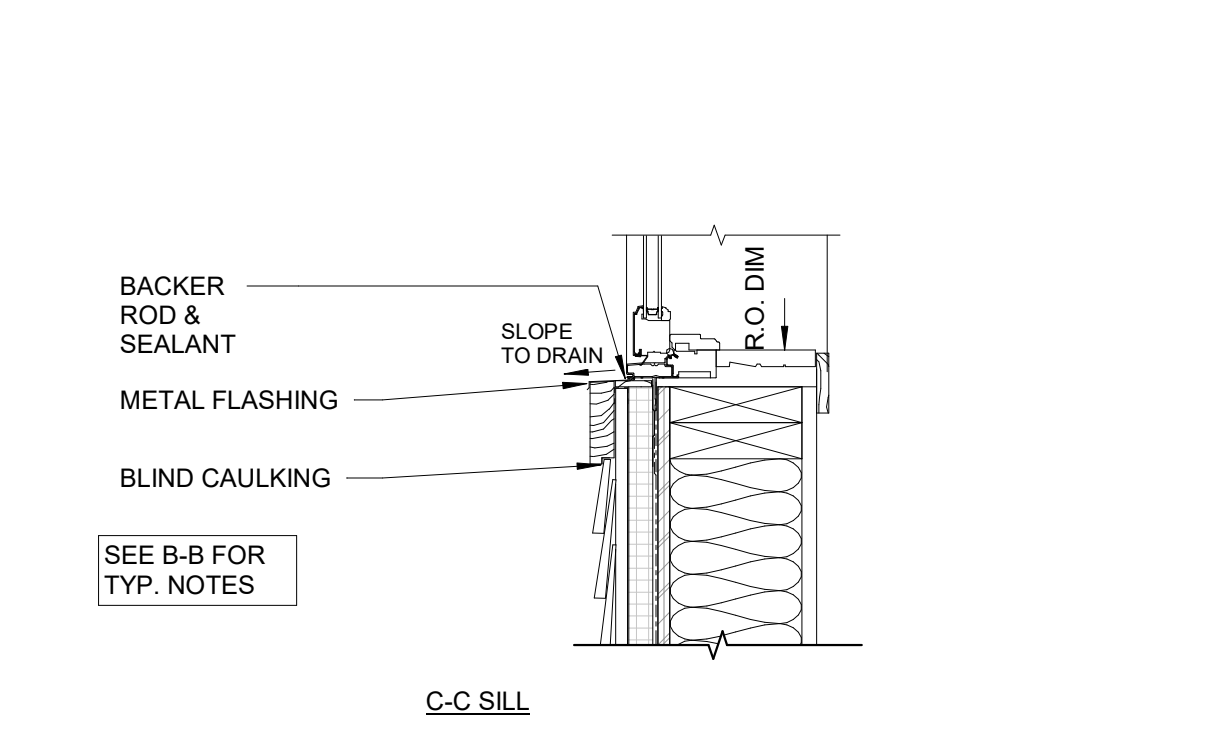
16 TYP. WINDOW DETAIL
1 1/2" = 1'-0"



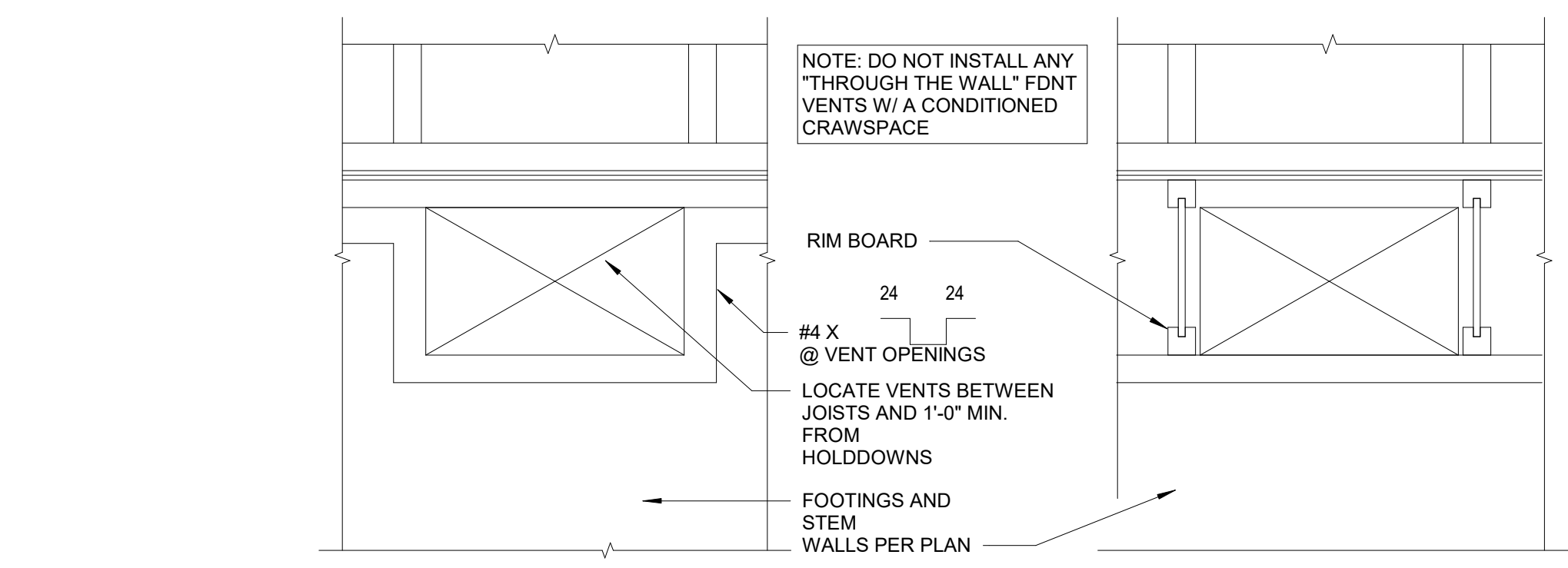
7 SIDING CORNER
3" = 1'-0"



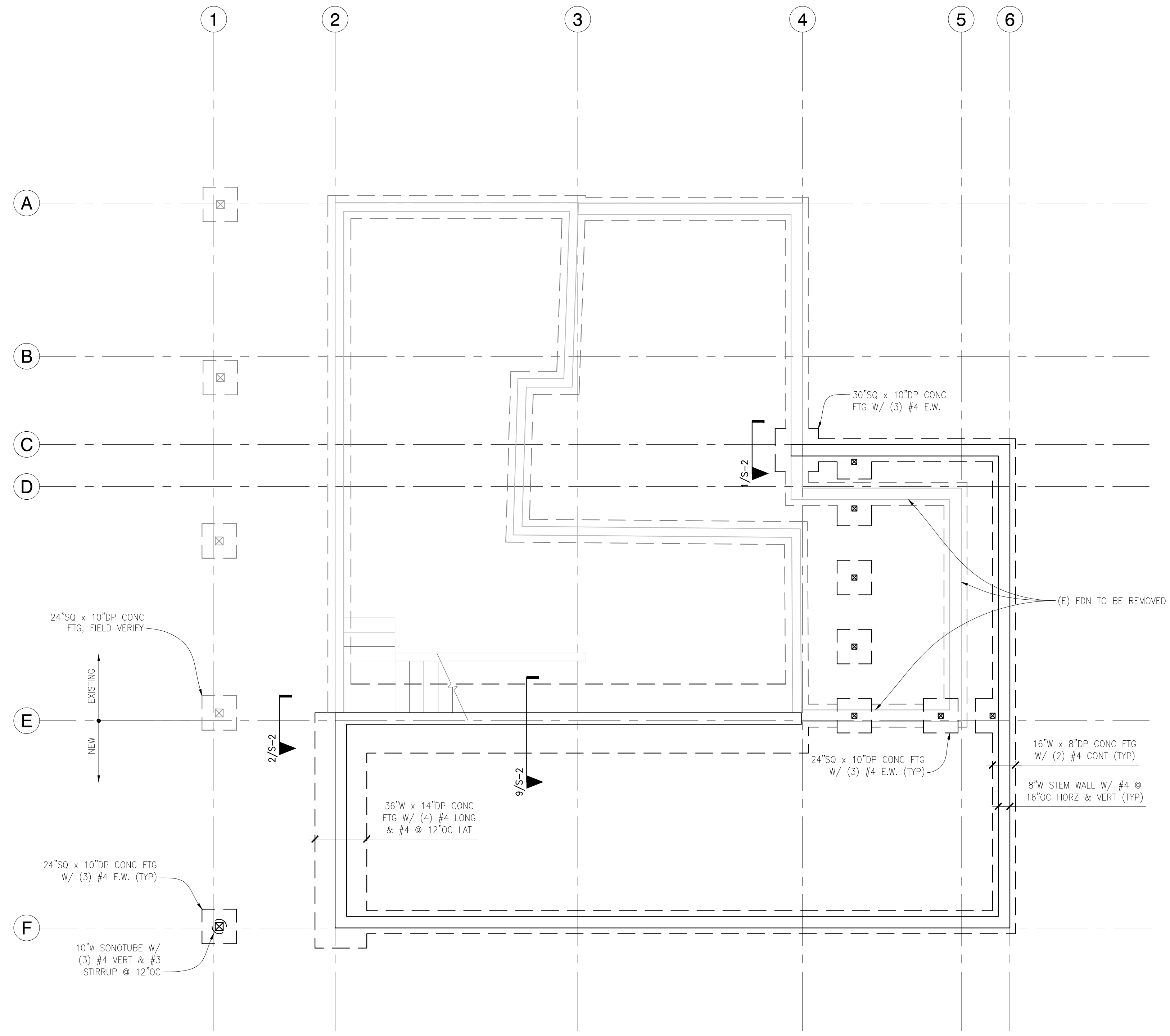
3 ENTRY DOOR THRESHOLD
3" = 1'-0"



16 TYP. WINDOW DETAIL
1 1/2" = 1'-0"



8 CRAWSPACE VENTS - TYP.
1 1/2" = 1'-0"



24"SQ x 10"DP CONC FTG, FIELD VERIFY

EXISTING

NEW

24"SQ x 10"DP CONC FTG W/ (3) #4 E.W. (TYP)

10" SONOTUBE W/ (3) #4 VERT & #3 STIRRUP @ 12"OC

36"W x 14"DP CONC FTG W/ (4) #4 LONG & #4 @ 12"OC LAT

30"SQ x 10"DP CONC FTG W/ (3) #4 E.W.

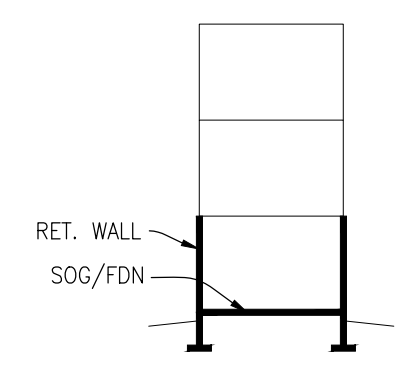
24"SQ x 10"DP CONC FTG W/ (3) #4 E.W. (TYP)

16"W x 8"DP CONC FTG W/ (2) #4 CONT (TYP)

8"W STEM WALL W/ #4 @ 16"OC HORZ & VERT (TYP)

FOUNDATION PLAN NOTES

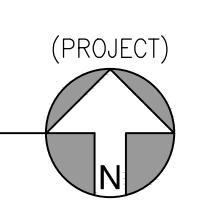
1. REFERENCE S-1.0 FOR STRUCTURAL GENERAL NOTES AND DESIGN CRITERIA.
2. DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. FACE OF STUD EQUALS FACE OF CONCRETE. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED ON FOOTINGS OR WALL PIERS.
3. CONTRACTOR TO COORDINATE CURBS AND ELECTRICAL & MECHANICAL FLOOR OPENINGS & PENETRATIONS WITH ARCHITECTURAL DRAWINGS.
4. THE BOTTOM OF ALL FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE AND BEAR UPON FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACKFILL.
5. MOISTURE PROOF ALL WALLS BELOW GRADE PER ARCHITECTURAL SPECIFICATIONS.
6. VERIFY POINT LOADS ARE SUPPORTED CONTINUOUSLY THROUGH FLOORS TO THE FOUNDATION.
7. ALL WOOD IN CONTACT WITH WEATHER-EXPOSED CONCRETE OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESSURE-TREATED.
8. USE HOT DIPPED GALVANIZED FASTENERS AND EITHER HOT DIPPED GALVANIZED OR ZMAX COATED HANGERS AT CONNECTIONS TO PRESSURE TREATED LUMBER.
9. POST BASE SHALL BE "CB OR AB/UT" TO MATCH POST, TYPICAL, UNO
10. BACKFILL RETAINING WALLS PRIOR TO INSTALLATION OF FLOOR FRAMING ABOVE.



BUILDING KEY

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



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 Phone: (206) 417-0670



10/10/2025

DICKINSON RESIDENCE
 2800 60TH AVE SE
 MERCER ISLAND, WA 98040

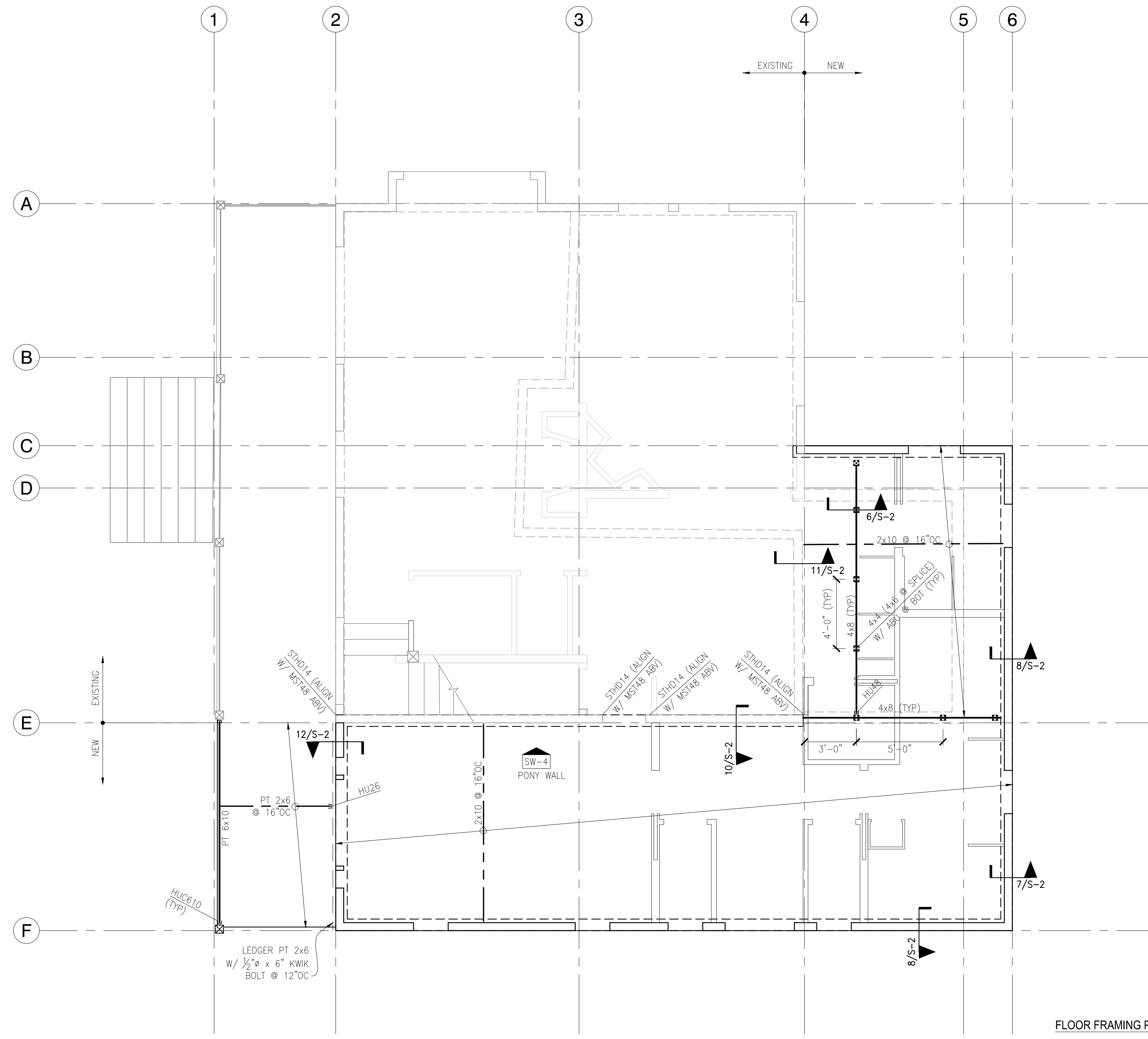
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 Date: 10.10.25

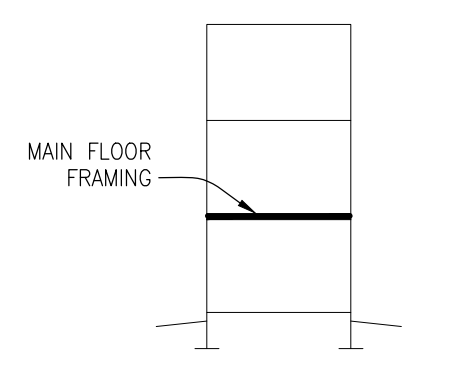
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25-010

FOUNDATION PLAN

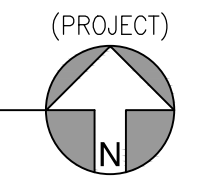
S-1.1



- FLOOR FRAMING PLAN NOTES:**
1. REFERENCE S-1.0 FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA.
 2. DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS.
 3. RIMS BELOW SHEAR WALLS, SHALL BE LSL RIMBOARD PER SHEAR WALL SCHEDULE THICKNESS, TYPICAL. ELSEWHERE, RIMS MAY BE 1/4" TIMBERSTRAND MINIMUM, UNO.
 4. MATCH BUNDLED STUDS FROM ABOVE TYP, UNO.
 5. ALL EXTERIOR WALLS SHALL BE SW-6, UNO ON PLAN. REFERENCE S-1.0 FOR TYPICAL HOLDOWN AND SHEAR WALL SCHEDULE.
 6. REFERENCE GENERAL NOTES FOR ALL WOOD-FRAMED, BEARING AND SHEAR WALLS, STUD GRADE, SIZES AND SPACING.
 7. FULLY BLOCK FLOOR CAVITY AT ALL POINT LOADS. VERIFY POINT LOADS ARE SUPPORTED CONTINUOUSLY THROUGH FLOORS TO THE FOUNDATION.
 8. ALL HEADERS TO BE 4x8 MINIMUM. HEADERS SHALL BE SUPPORTED BY (2)x2 STUDS MINIMUM, UNO ON PLAN. ALL BEAMS TO BE FLUSH FRAMED ON PLAN UNLESS NOTED AS "DROP"
 9. TYPICAL TOP PLATE SPLICE: PROVIDE A MINIMUM 48" LAP W/ 16d @ 2" OC STAGGERED.
 10. TOP PLATE BEARING WALL ELEVATION PER ARCHITECTURAL DRAWINGS.
 11. BLOCKING: PROVIDE SOLID BLOCKING OVER ALL SHEAR WALLS AND BEARING WALLS. AT SHEAR WALLS PARALLEL TO FRAMING, ALIGN (1) FLOOR TRUSS OR CONTINUOUS BLOCKING OVER SHEAR WALLS.
 12. POST CAP SHALL BE "AC" TO MATCH POST SIZE, TYPICAL UNO.



FOUNDATION / MAIN FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



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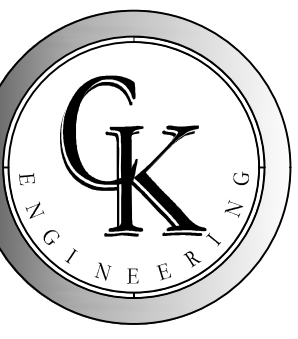
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FOUNDATION / MAIN
FLOOR FRAMING
PLAN
S-1.2

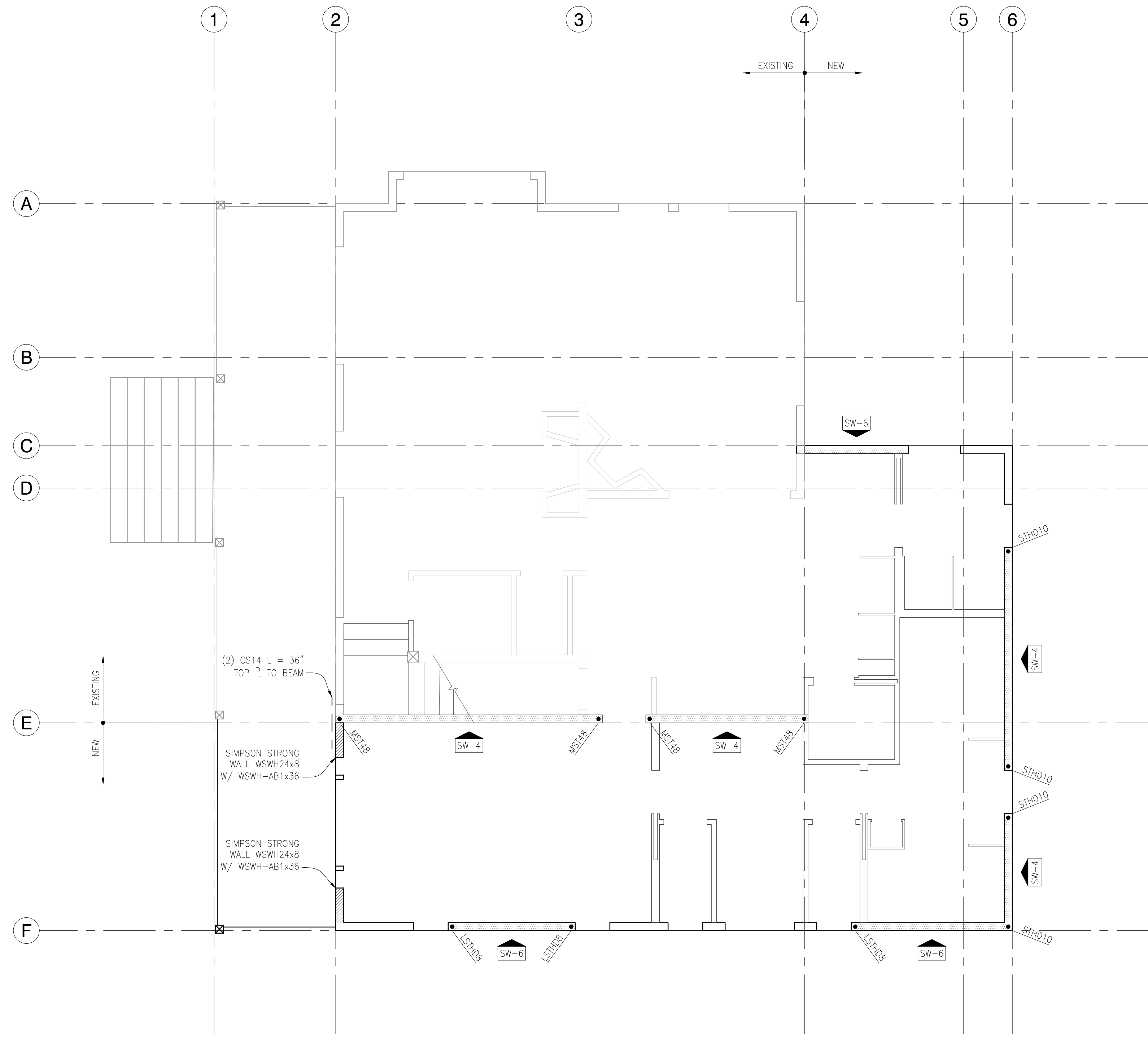


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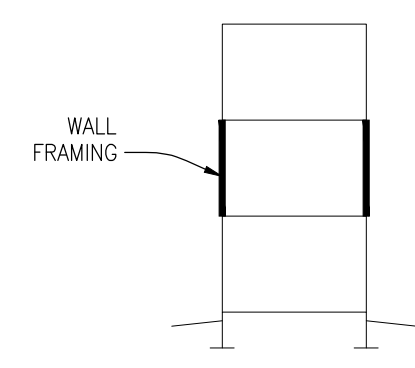
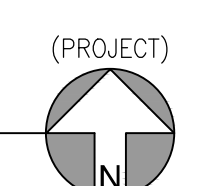
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 MERCER ISLAND, WA 98040



MAIN FLOOR SHEAR WALL PLAN

SCALE: 1/4" = 1'-0"



BUILDING KEY

WALL FRAMING PLAN NOTES

1. REFERENCE S-1 FOR STRUCTURAL GENERAL NOTES AND DESIGN CRITERIA.
2. DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS.
3. VERIFY POINT LOADS ARE SUPPORTED CONTINUOUSLY THROUGH FLOORS TO THE FOUNDATION.
4. ALL WOOD IN CONTACT WITH WEATHER-EXPOSED CONCRETE OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESSURE-TREATED.
5. USE HOT DIPPED GALVANIZED FASTENERS AND EITHER HOT DIPPED GALVANIZED OR ZMAX COATED HANGERS AT CONNECTIONS TO PRESSURE TREATED LUMBER.
6. INDICATES WOOD FRAMED SHEAR WALL. REFER TO 12/S-1 FOR SHEAR WALL SHEATHING AND FASTENING REQUIREMENTS. REFER TO STRUCTURAL GENERAL NOTES FOR WOOD GRADE. ALL EXTERIOR WALLS TO BE SW-6 UNO. REFER TO S-1 FOR TYPICAL SCHEDULES.
7. INDICATES TYPICAL HOLDOWN PER 8/S-1 UNO.

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MAIN FLOOR SHEAR
 WALL PLAN

S-1.3



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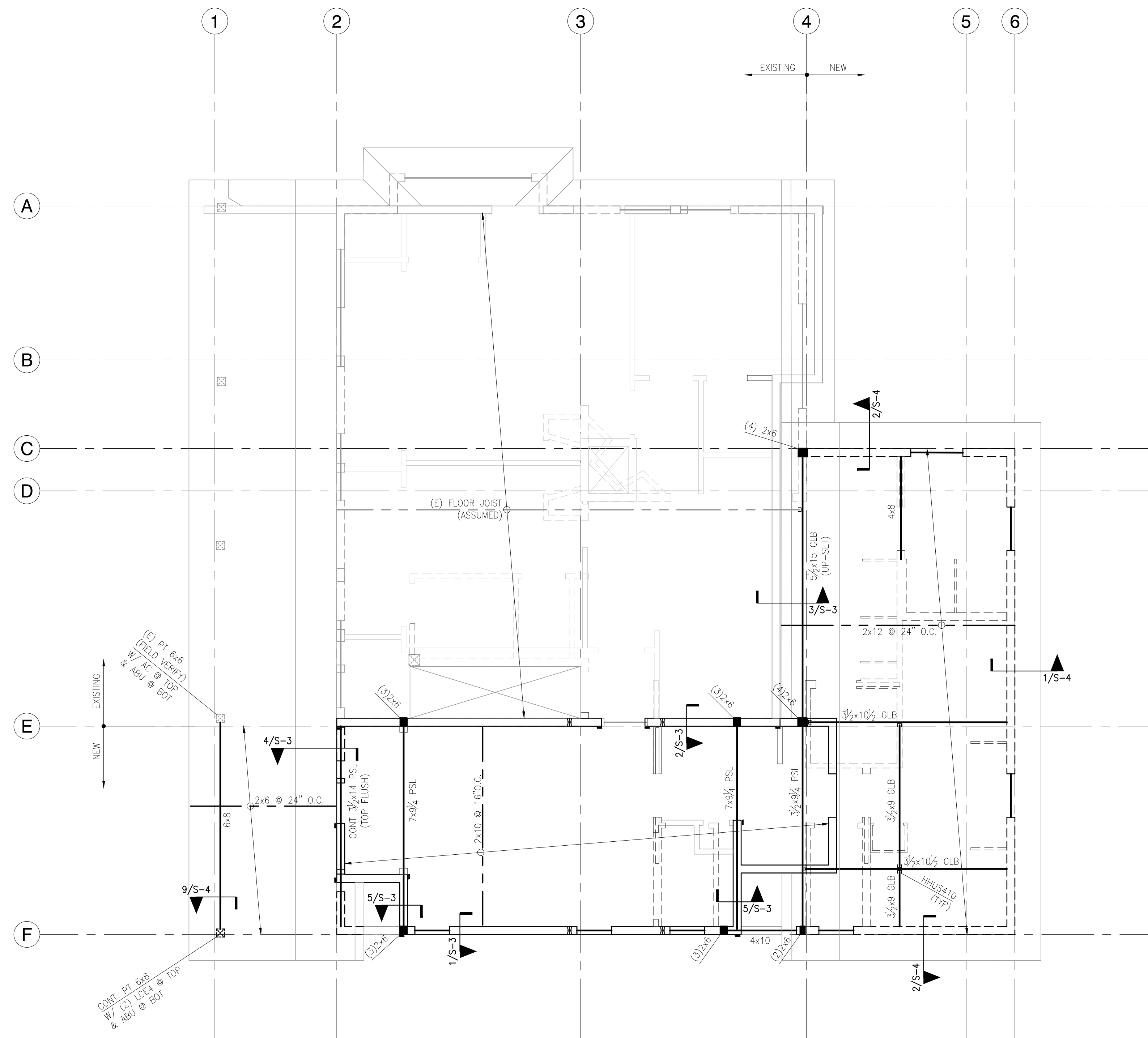
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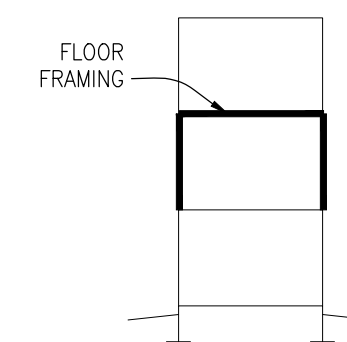
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FLOOR FRAMING PLAN NOTES:

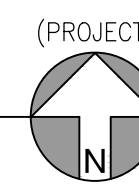
- REFERENCE S-1.0 FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA.
- DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS.
- RIMS BELOW SHEAR WALLS, SHALL BE LSL RIMBOARD PER SHEAR WALL SCHEDULE THICKNESS, TYPICAL. ELSEWHERE, RIMS MAY BE 1/2" TIMBERSTRAND MINIMUM, UNO.
- MATCH BUNDLED STUDS FROM ABOVE TYP, UNO.
- REFERENCE GENERAL NOTES FOR ALL WOOD-FRAMED, BEARING AND SHEAR WALLS, STUD GRADE, SIZES AND SPACING.
- FULLY BLOCK FLOOR CAVITY AT ALL POINT LOADS. VERIFY POINT LOADS ARE SUPPORTED CONTINUOUSLY THROUGH FLOORS TO THE FOUNDATION.
- ALL HEADERS TO BE 4x8 MINIMUM. HEADERS SHALL BE SUPPORTED BY (2)2x STUDS MINIMUM, UNO ON PLAN. ALL BEAMS TO BE FLUSH FRAMED ON PLAN UNLESS NOTED AS "DROP"
- SUPPORT GLB BEAMS WITH (3)2x STUDS MINIMUM, UNO ON PLAN.
- TOP PLATE BEARING WALL ELEVATION PER ARCHITECTURAL DRAWINGS.
- BLOCKING: PROVIDE SOLID BLOCKING OVER ALL SHEAR WALLS AND BEARING WALLS. AT SHEAR WALLS PARALLEL TO FRAMING, ALIGN (1) FLOOR TRUSS OR CONTINUOUS BLOCKING OVER SHEAR WALLS.
- HANGERS: PARALLAM AND MICROLLAM HANGERS ARE AS SPECIFIED ON PLAN. HANGERS SHALL BE SUPPLIED AND DESIGNED BY JOIST/TRUSS SUPPLIER. HANGERS TO BE SIMPSON ITS HANGERS, UNO.



BUILDING KEY

MAIN FLOOR ROOF / UPPER FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

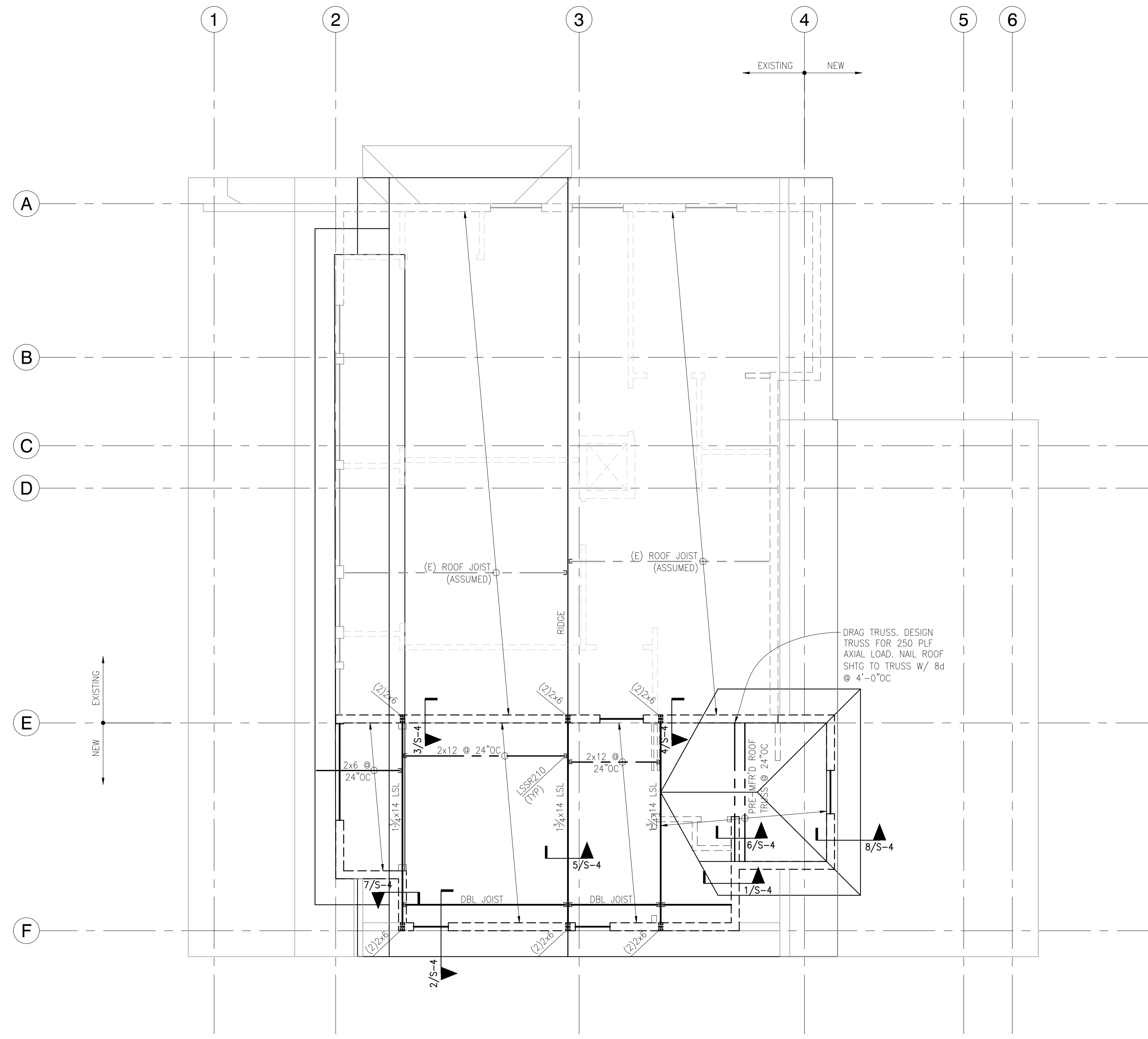


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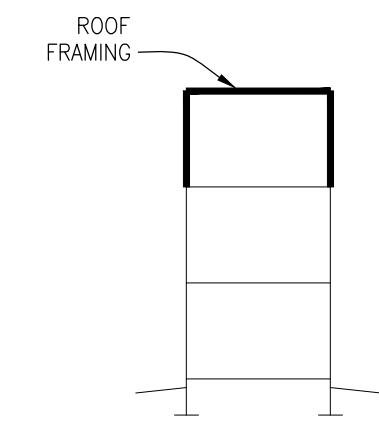
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MAIN FLOOR ROOF /
UPPER FLOOR
FRAMING PLAN
S-1.4



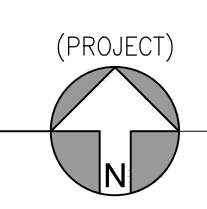
ROOF FRAMING PLAN NOTES:

1. REFERENCE S-1.0 FOR STRUCTURAL GENERAL NOTES AND DESIGN CRITERIA.
2. DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS.
3. PROVIDE SIMPSON H2.5A AT ALL ROOF FRAMING TO EXTERIOR WALLS, UNO.
4. AT ALL WOOD-FRAMED, BEARING AND SHEAR WALLS, STUD GRADE, SIZES AND SPACING
5. ALL HEADERS TO BE 4x8 MINIMUM. HEADERS SHALL BE SUPPORTED BY (2)2x STUDS MINIMUM, UNO ON PLAN. ALL BEAMS TO BE FLUSH FRAMED ON PLAN UNLESS NOTED AS "DROP".
6. TYPICAL TOP PLATE SPLICE: PROVIDE A MINIMUM 48" LAP W/ 16d @ 6" OC STAGGERED.
7. TOP PLATE BEARING WALL ELEVATION PER ARCHITECTURAL DRAWINGS.
8. BLOCKING: PROVIDE SOLID BLOCKING OVER ALL SHEAR WALLS AND BEARING WALLS. AT SHEAR WALLS PARALLEL TO FRAMING, ALIGN CONTINUOUS BLOCKING OVER SHEAR WALLS.
9. ALL POSTS TO BE (2) 2x6, UNO.



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



BUILDING KEY



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 MERCER ISLAND, WA 98040

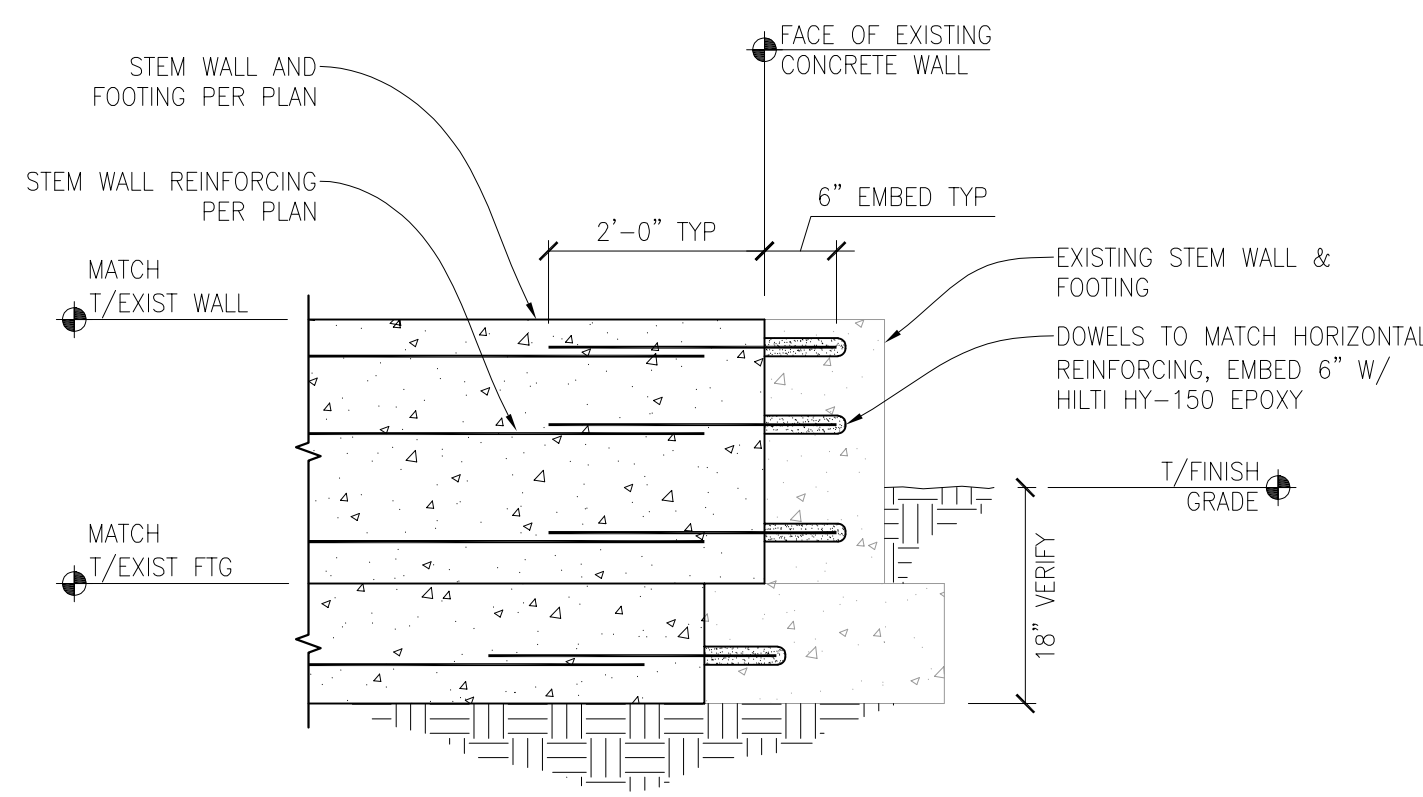
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ROOF FRAMING
 PLAN

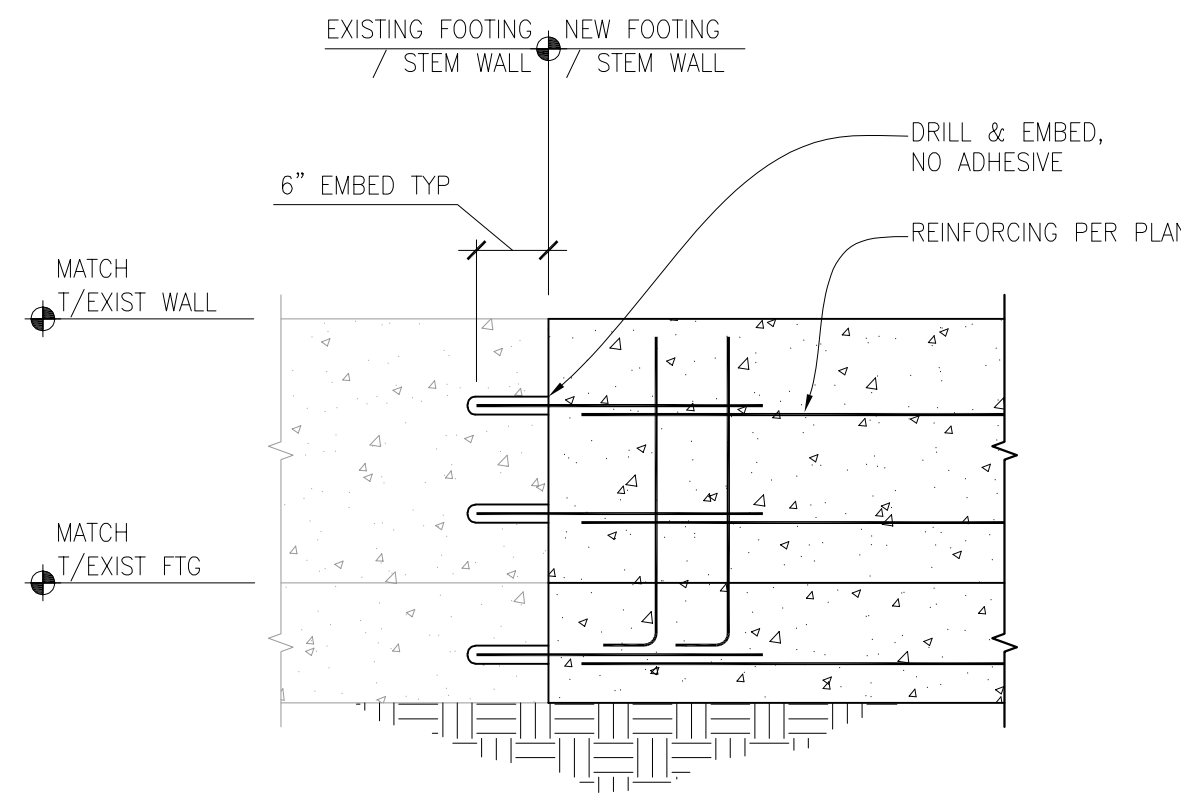
S-1.6



NEW FOUNDATION CONNECTION TO EXISTING

SCALE: 3/4" = 1'-0"

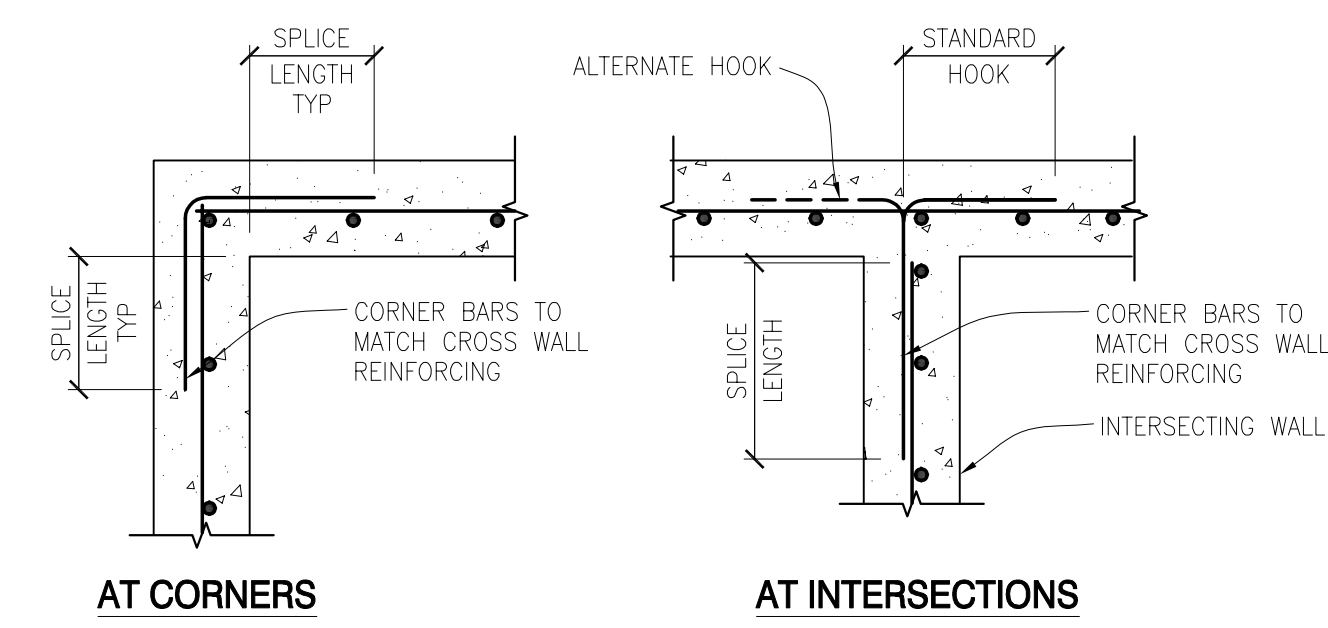
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NEW FOUNDATION CONNECTION TO EXISTING

SCALE: 3/4" = 1'-0"

2



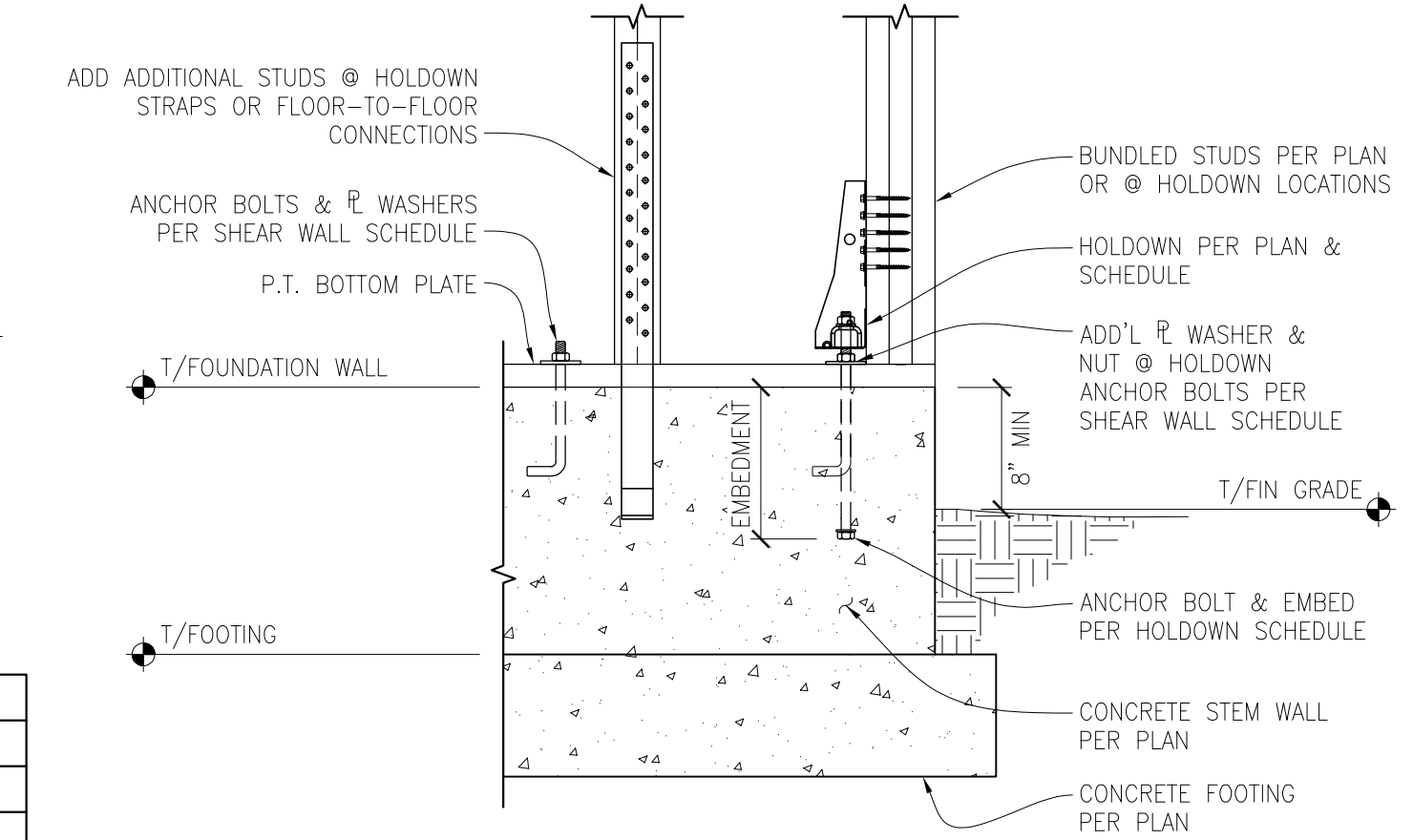
NOTES:
1. WALL SIZE & REINFORCING PER PLAN.
2. CORNER BARS SIZE & SPACING TO MATCH HORIZONTAL REINFORCING.

TYPICAL CORNER BARS AT CONCRETE WALLS - SINGLE MAT

SCALE: N.T.S.

3

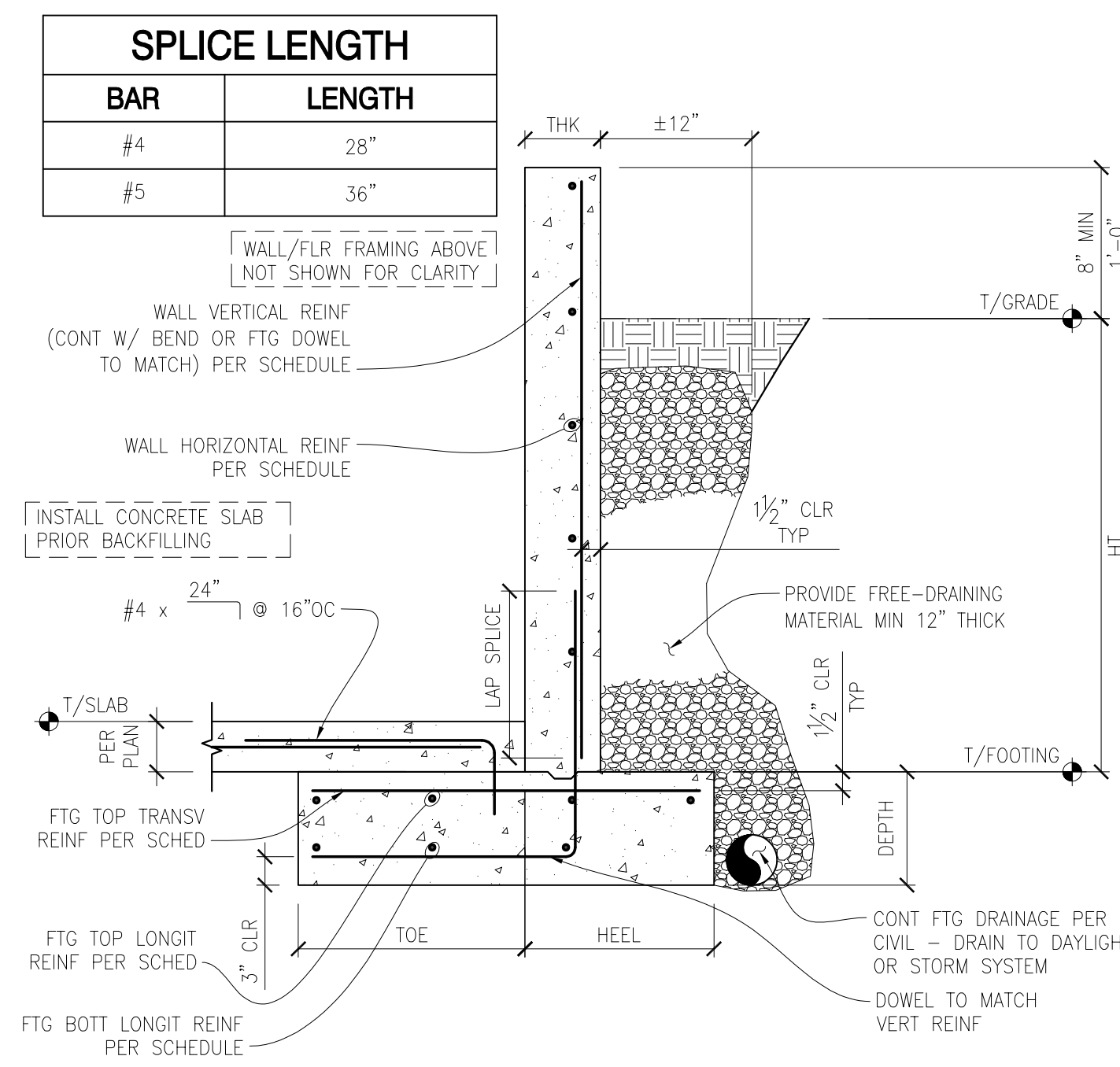
SPLICE LENGTH	
BAR	LENGTH
#4	28"
#5	36"



TYPICAL SHEAR WALL HOLDOWN CONNECTIONS AT FOUNDATION CONCRETE WALL

SCALE: N.T.S.

4

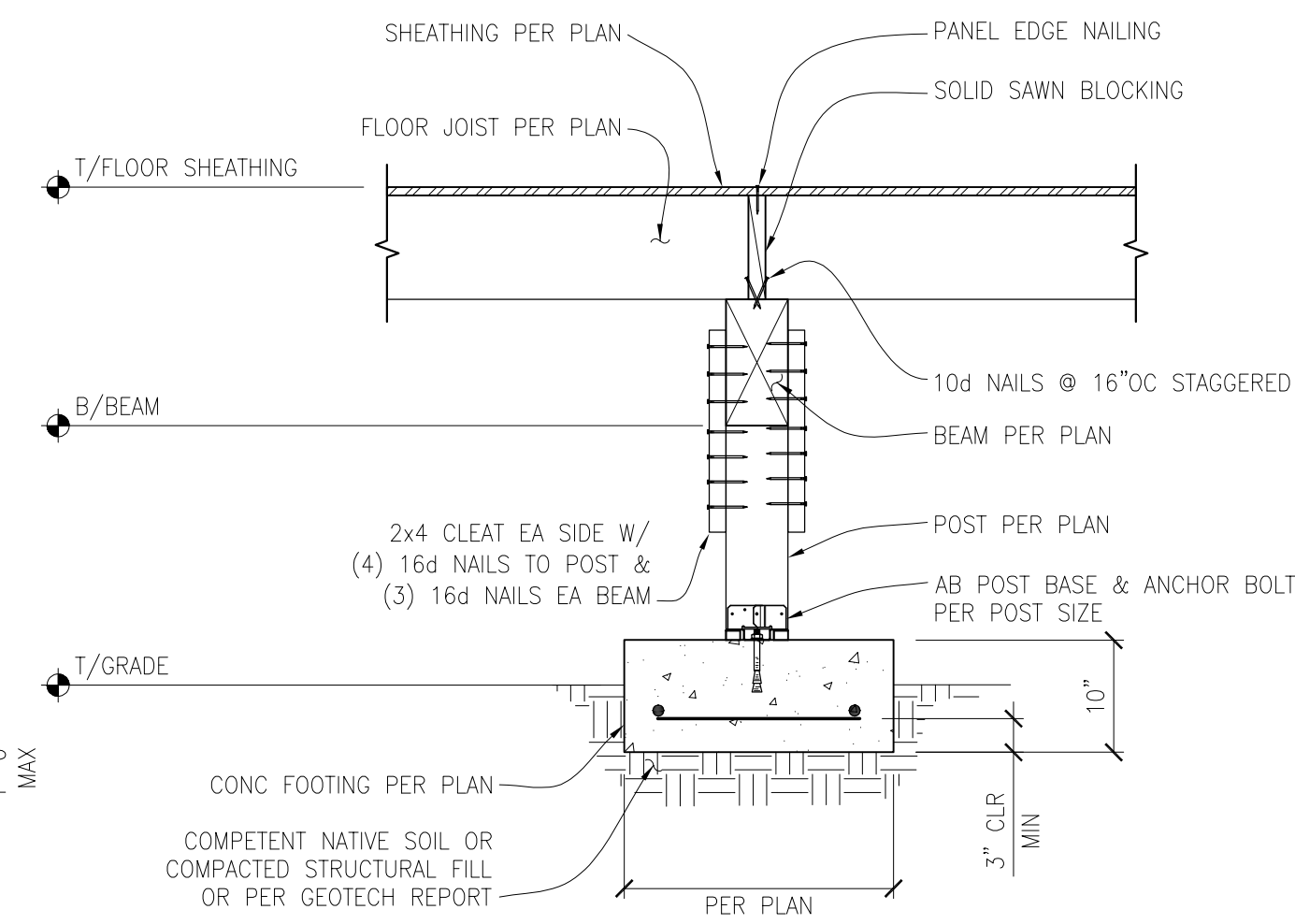


RETAINING WALL/FOOTING SCHEDULE									
WALL					FOOTING				
HT (MAX)	THK	VERTICAL REINFORCEMENT	HORIZONTAL REINFORCEMENT	TOE	HEEL	DEPTH	TOP/TRANSV	TOP/LONGIT	BOTTOM/LONGIT
4'-0"	8"	#4 @ 12"OC	#4 @ 12"OC	1'-0"	1'-6"	10"	#4 @ 10"OC	(3) #4	(2) #4
6'-0"	8"	#4 @ 8"OC	#4 @ 12"OC	1'-6"	2'-6"	10"	#4 @ 10"OC	(4) #4	(3) #4
8'-0"	8"	#5 @ 12"OC	#4 @ 12"OC	2'-6"	3'-0"	14"	#5 @ 10"OC	(5) #5	(4) #5

RETAINING WALL SCHEDULE

SCALE: N.T.S.

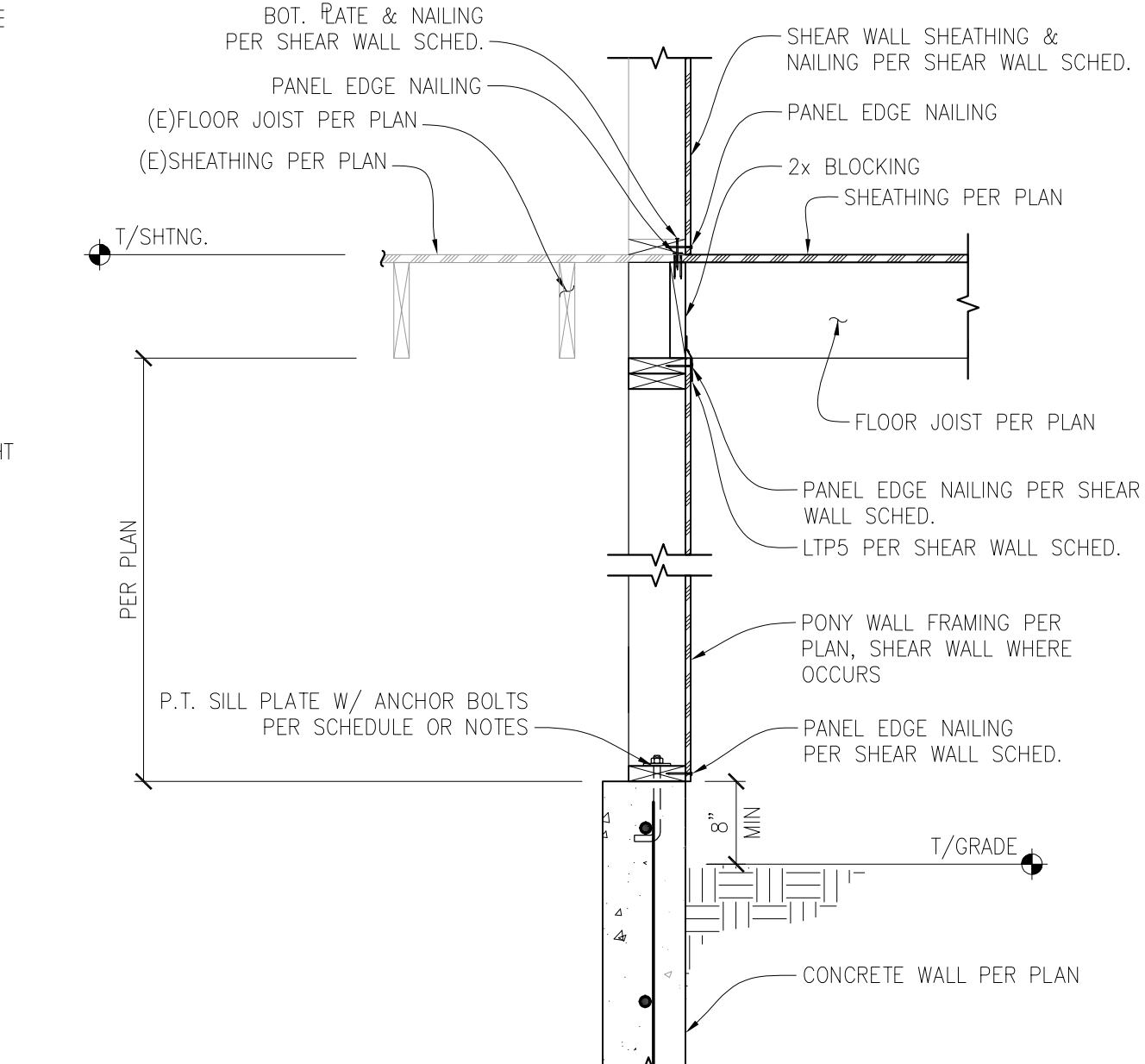
9



POST AND BEAM AT CRAWLSPACE

SCALE: 3/4" = 1'-0"

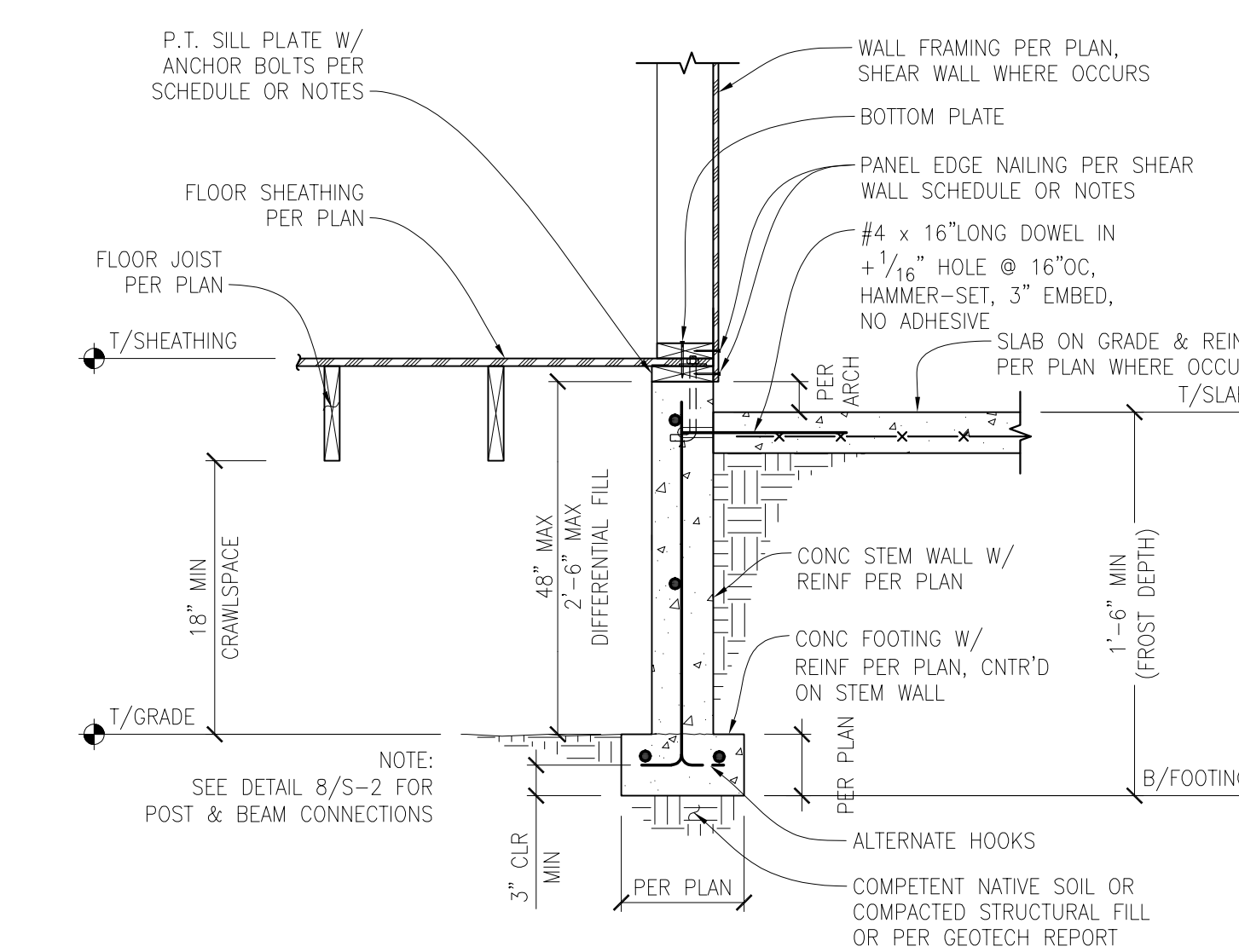
6



MAIN FLOOR JOIST TO INT. PONY WALL CON.

SCALE: 3/4" = 1'-0"

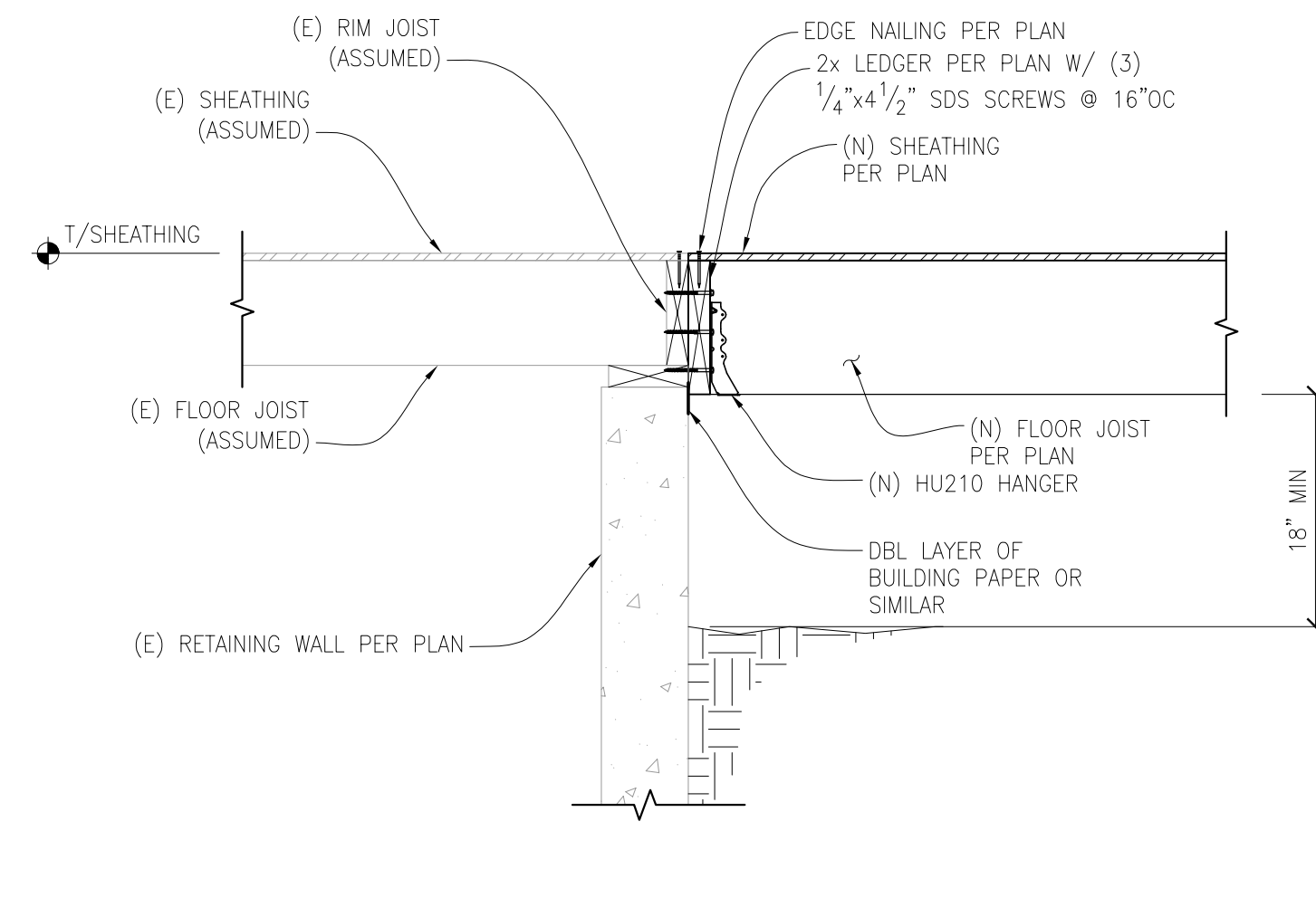
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CRAWL SPACE EXTERIOR SHEAR WALL WITH JOISTS PARALLEL TO RAISED STEM WALL

SCALE: 3/4" = 1'-0"

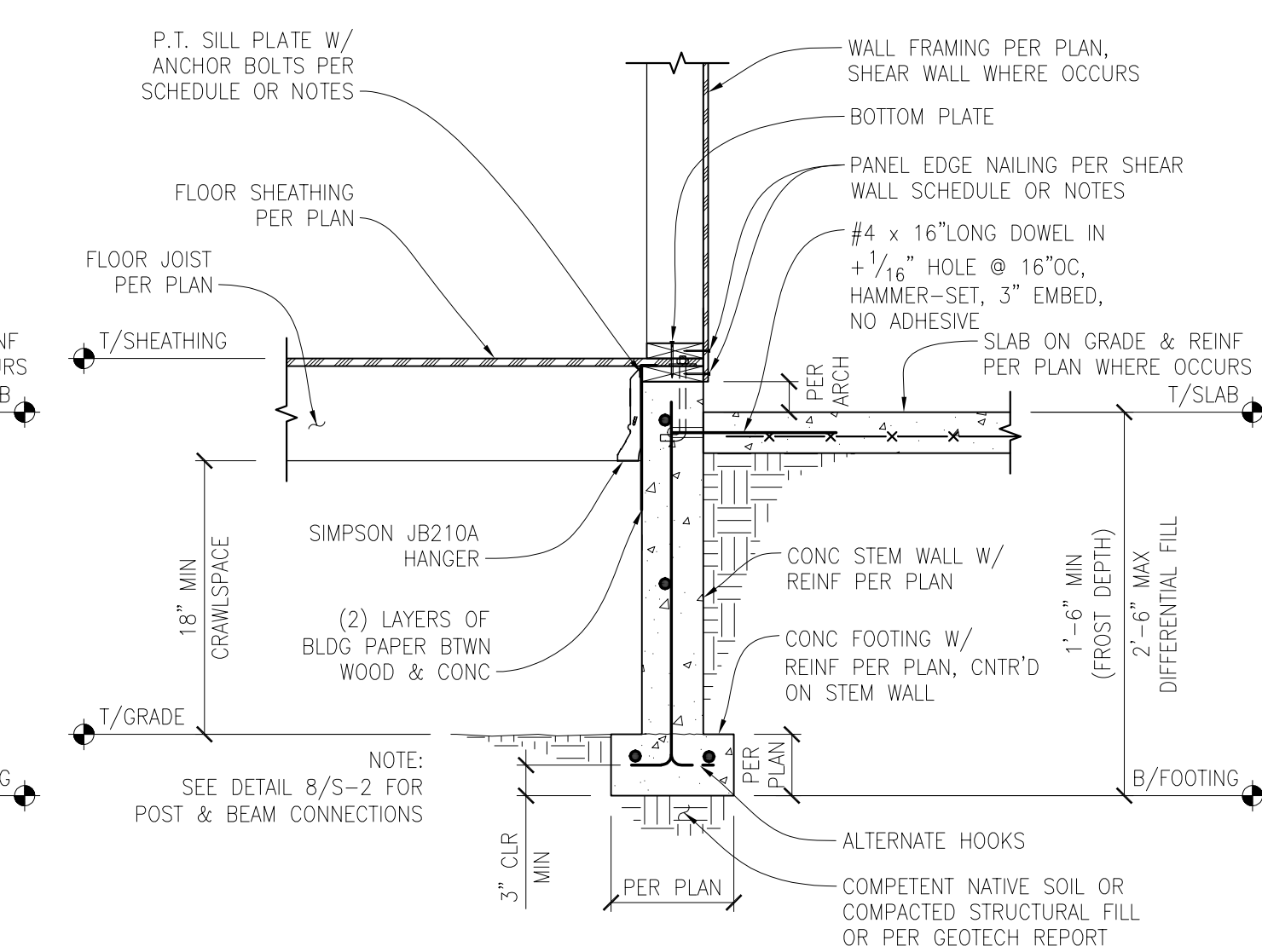
7



EXISTING TO NEW FLOOR CONNECTION

SCALE: 1" = 1'-0"

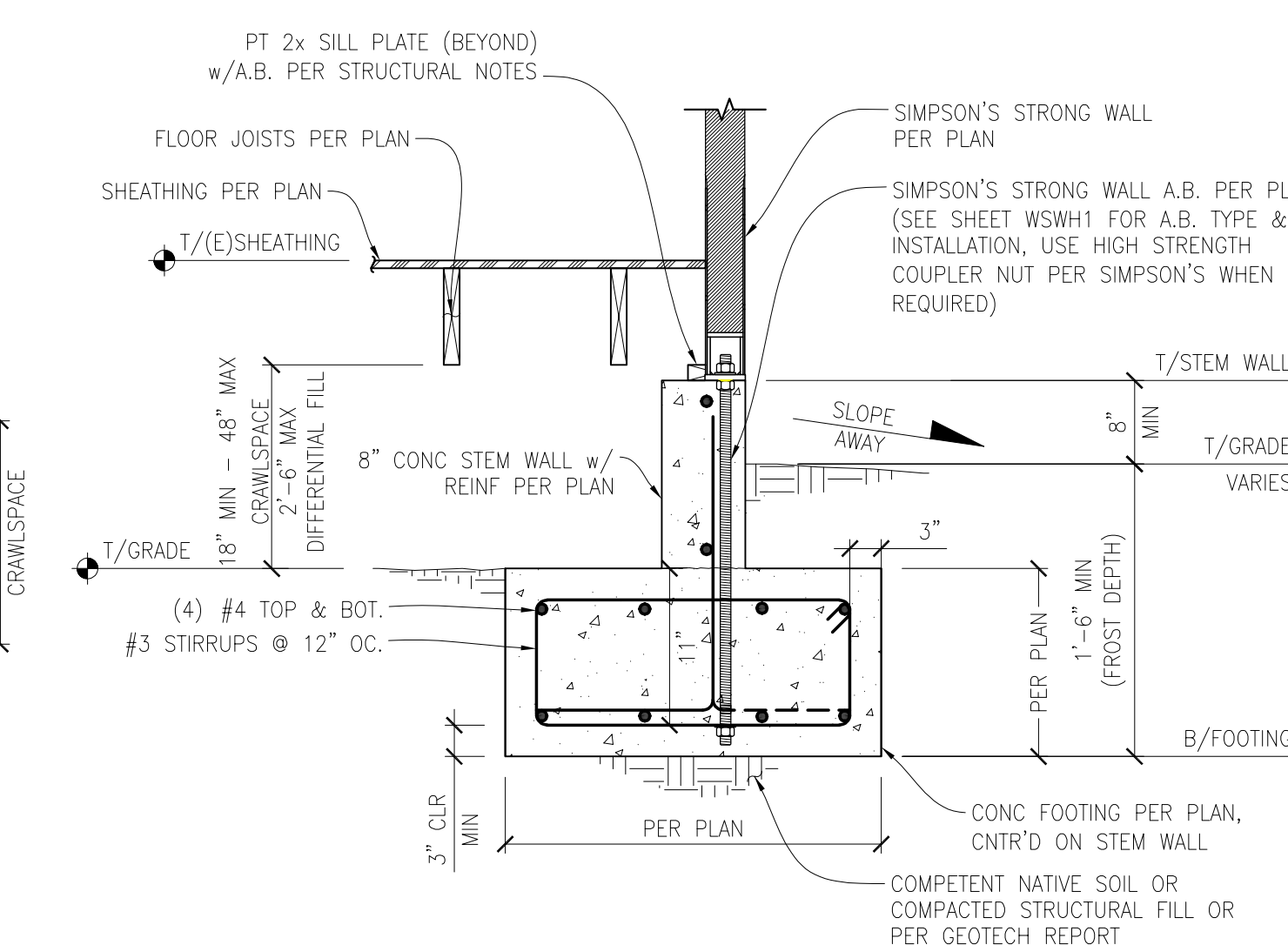
11



CRAWL SPACE EXTERIOR SHEAR WALL WITH JOISTS PERPENDICULAR TO RAISED STEM WALL

SCALE: 3/4" = 1'-0"

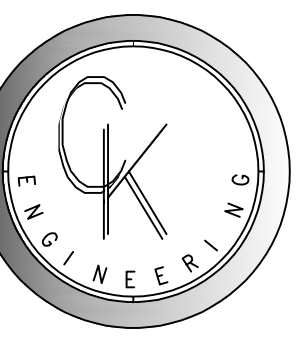
8



SIMPSON'S STRONG WALL/FOOTING CONNECTION

SCALE: 3/4" = 1'-0"

12



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DICKINSON RESIDENCE
2800 60th Ave SE
MERCER ISLAND, 98040

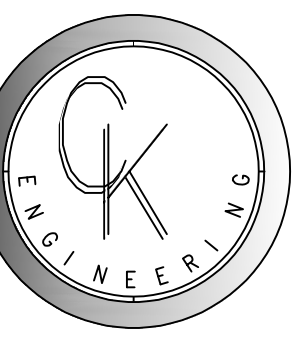
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S-2.0



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 MERCER ISLAND, 98040

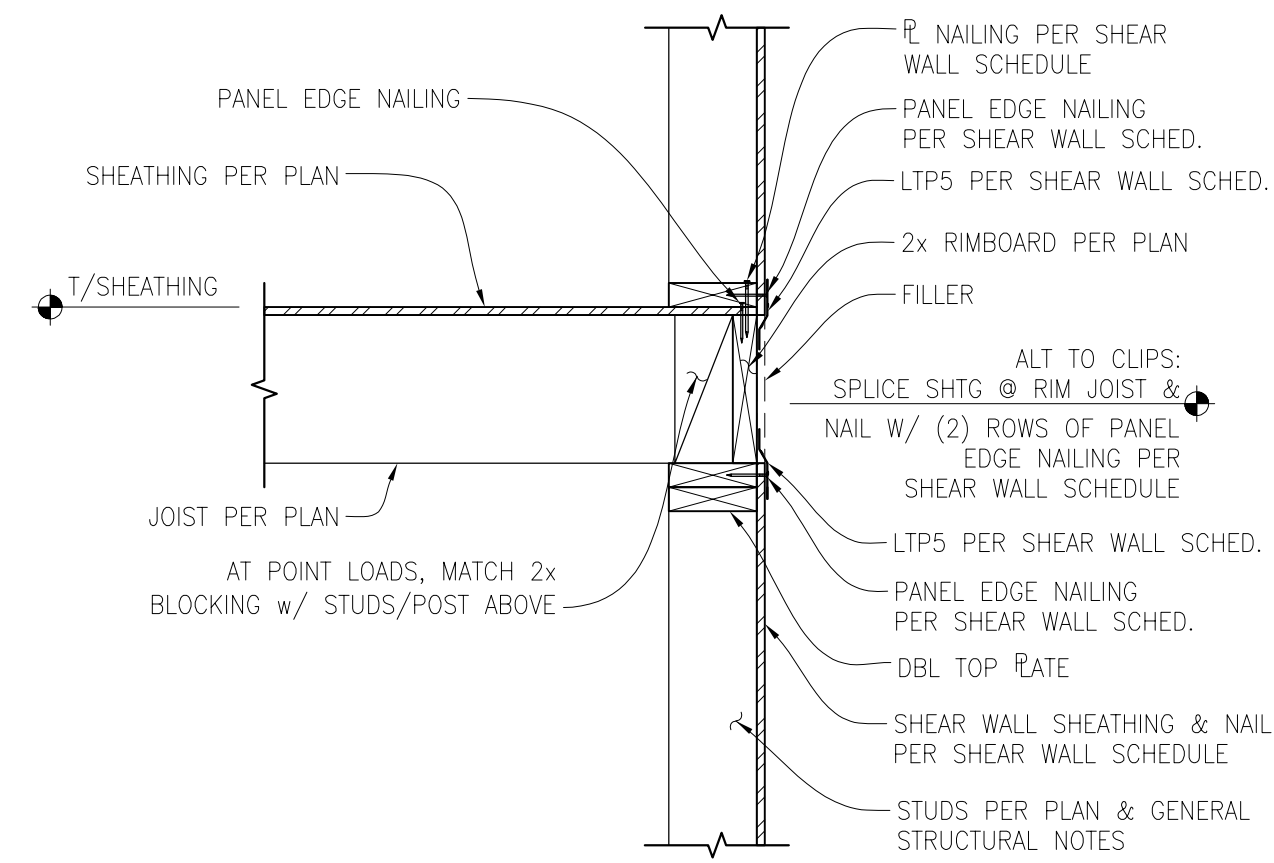
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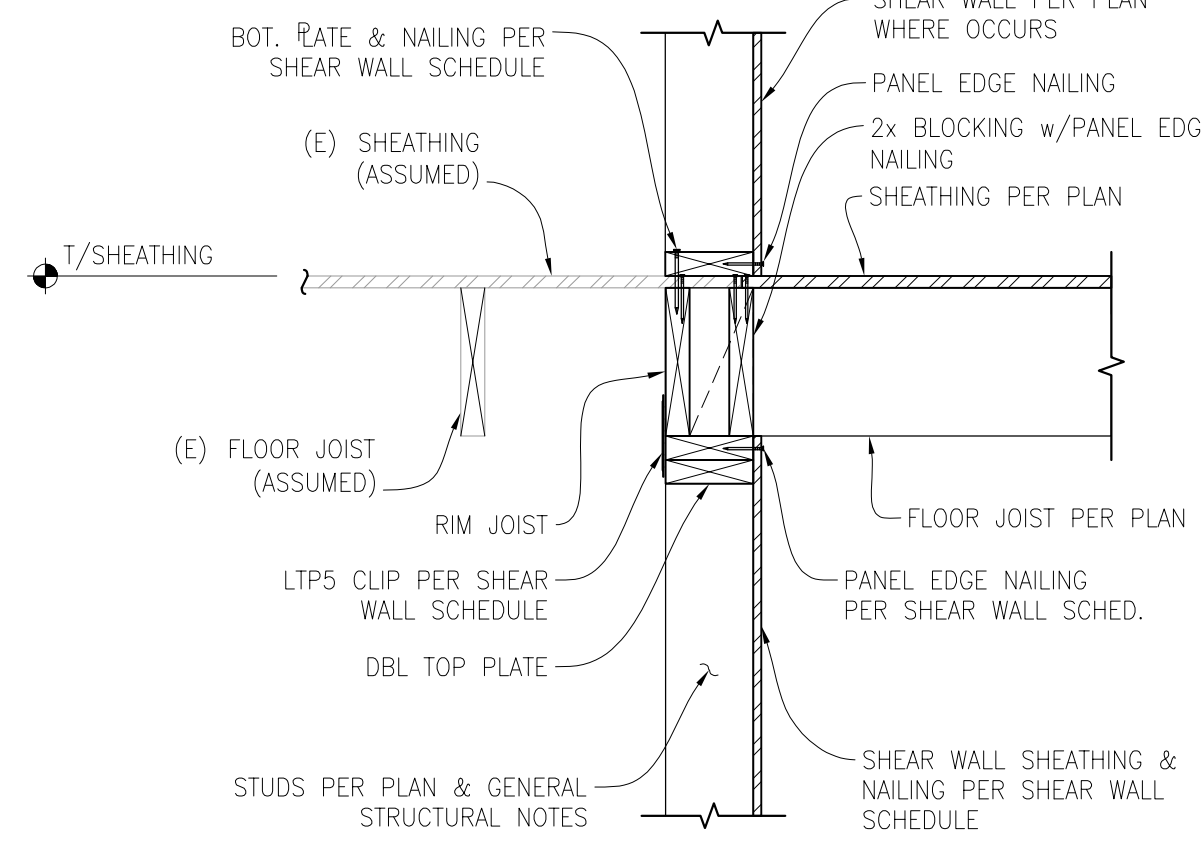
S-3.0



FLOOR JOIST TO SHEAR WALL CONNECTION (JOIST PERPENDICULAR)

SCALE: 1" = 1'-0"

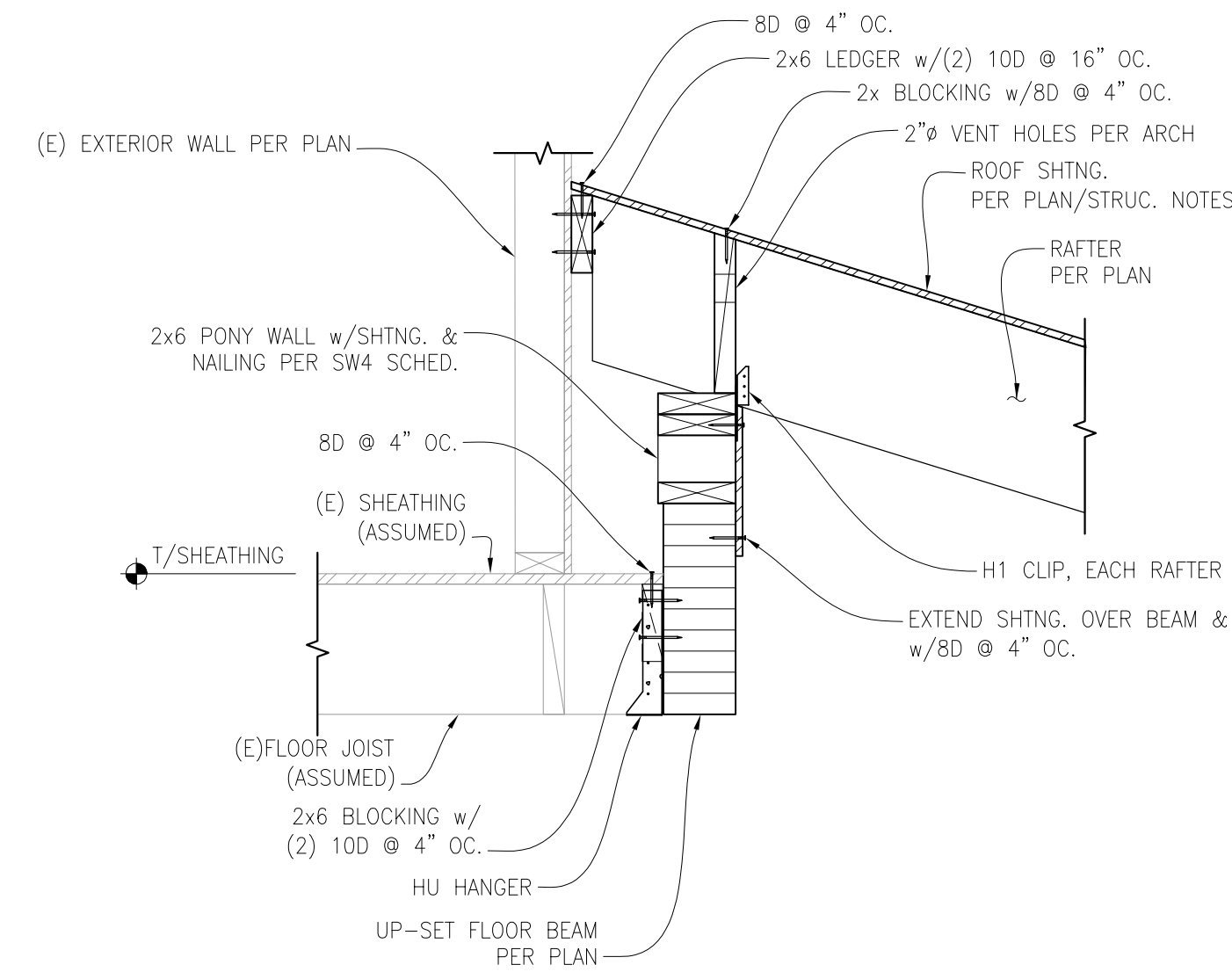
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FLOOR JOIST/INT. BEARING/SHEAR WALL CON.

SCALE: 1" = 1'-0"

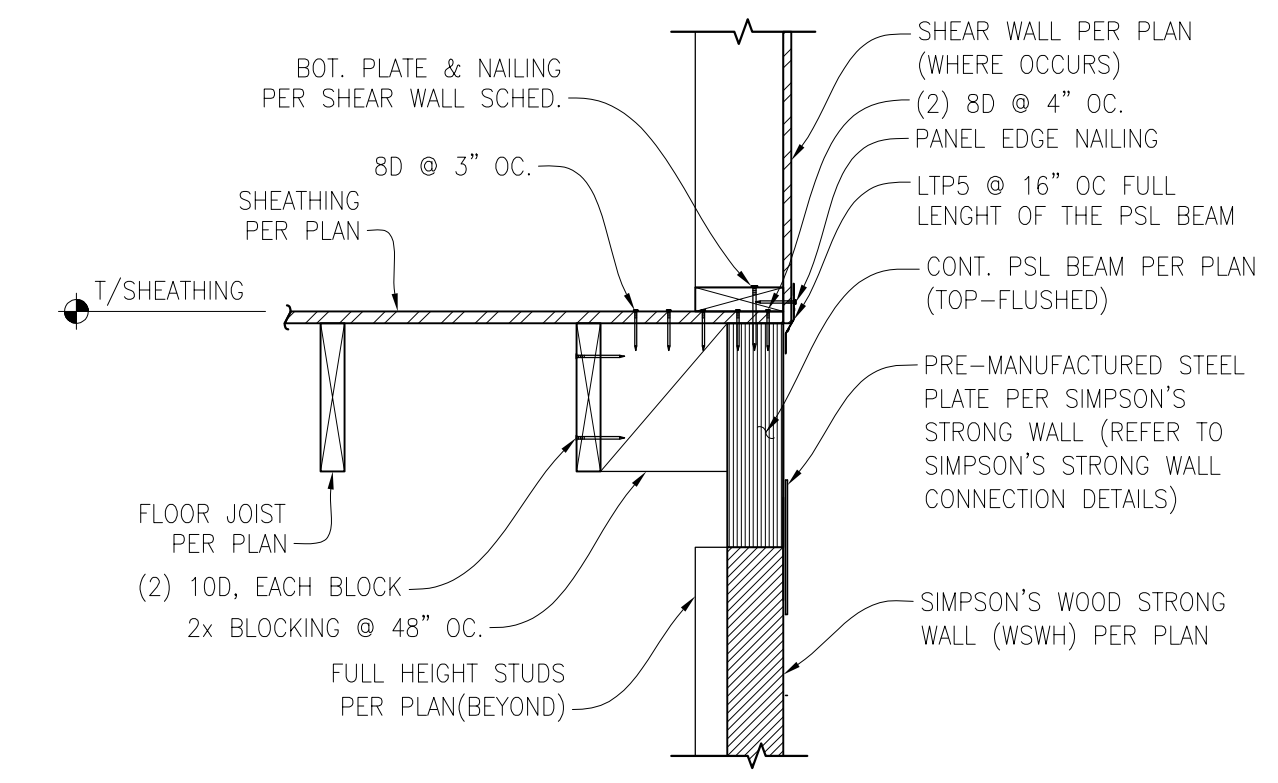
2



(E) FLOOR JOIST/UP-SET BEAM CONNECTION

SCALE: 1" = 1'-0"

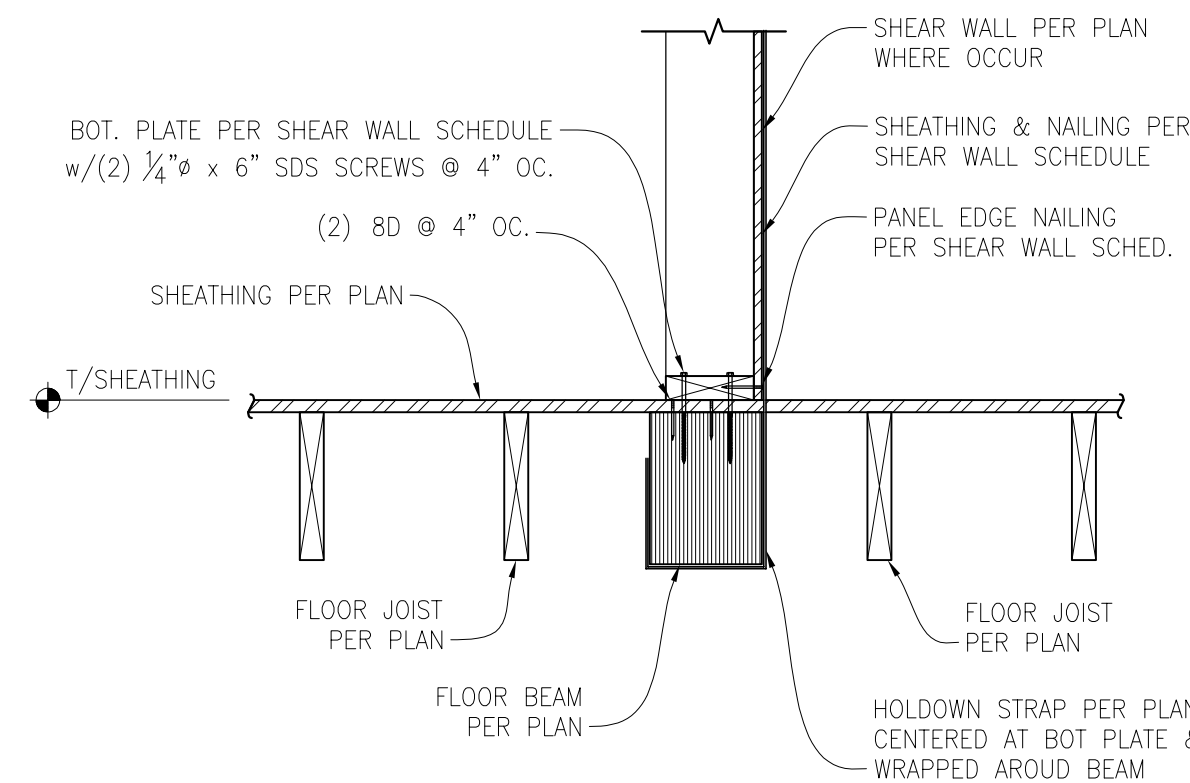
3



UPPER FL. SHEAR WALL TO CONT. FLOOR BEAM SIMPSON'S STRONG WALL CONNECTION

SCALE: 1" = 1'-0"

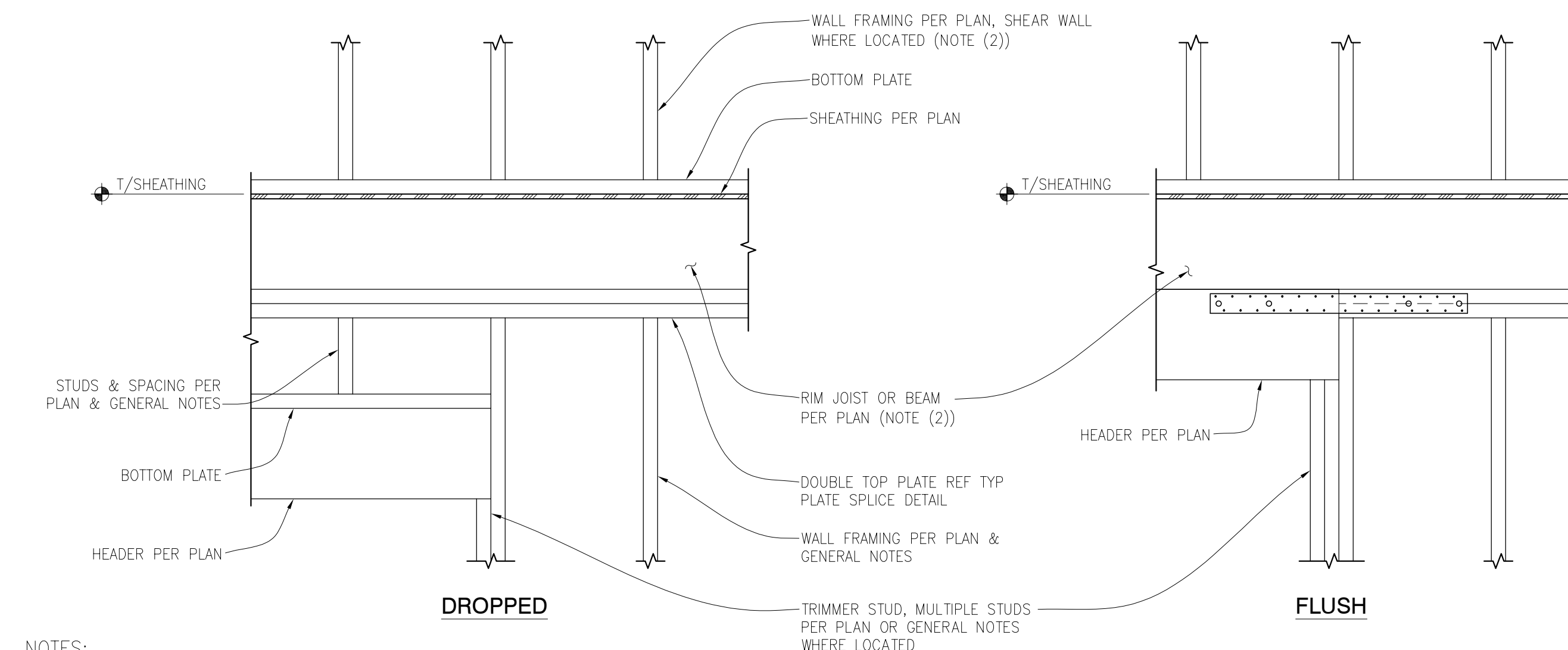
4



UPPER FL. SHEAR WALL TO BEAM CONNECTION

SCALE: 1" = 1'-0"

5

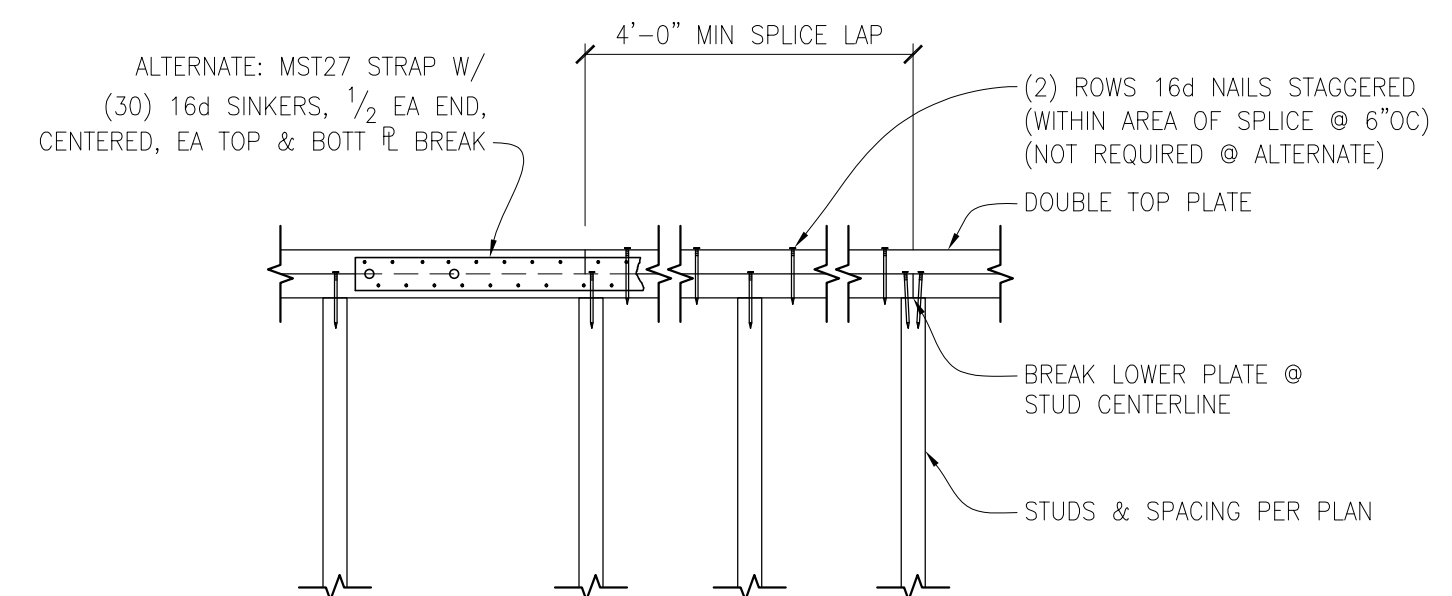


NOTES:
 1. WALL SHEATHING NOT SHOWN FOR CLARITY
 2. WHERE ROOF ABOVE, RAFTERS OR PRE-MANUFACTURED TRUSSES PER PLAN REPLACES RIM JOIST

TYPICAL HEADER FRAMING

SCALE: 1" = 1'-0"

7

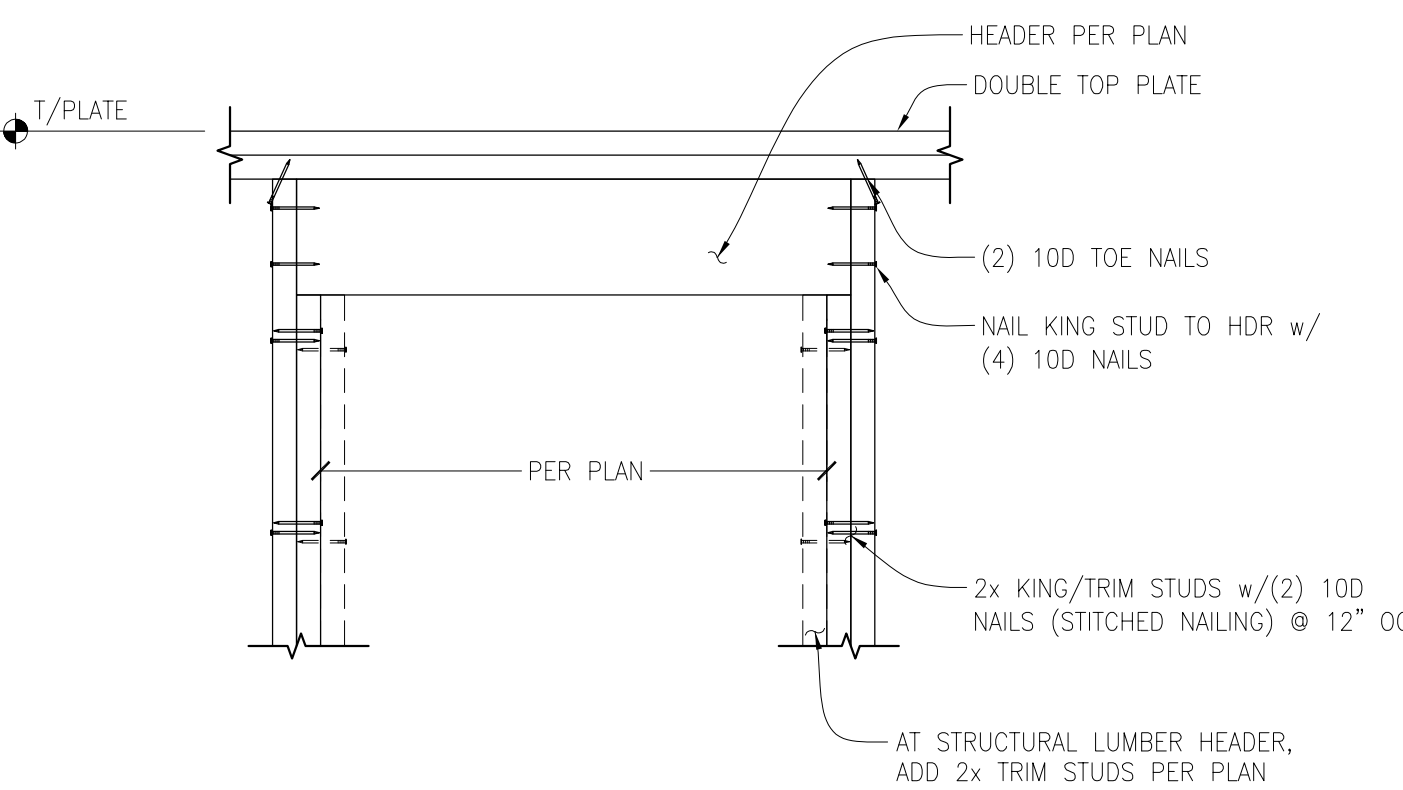


NOTE:
 FLOOR JOISTS NOT SHOWN FOR CLARITY.

TYPICAL PLATE SPLICE DETAIL

SCALE: N.T.S.

8

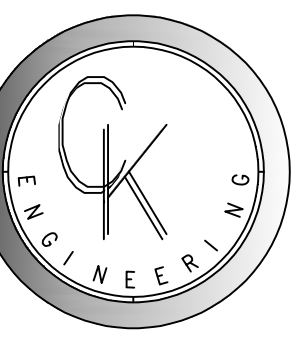


NOTE:
 FLOOR/ROOF FRAMING NOT SHOWN FOR CLARITY.

TYPICAL HEADER CONNECTION

SCALE: N.T.S.

9



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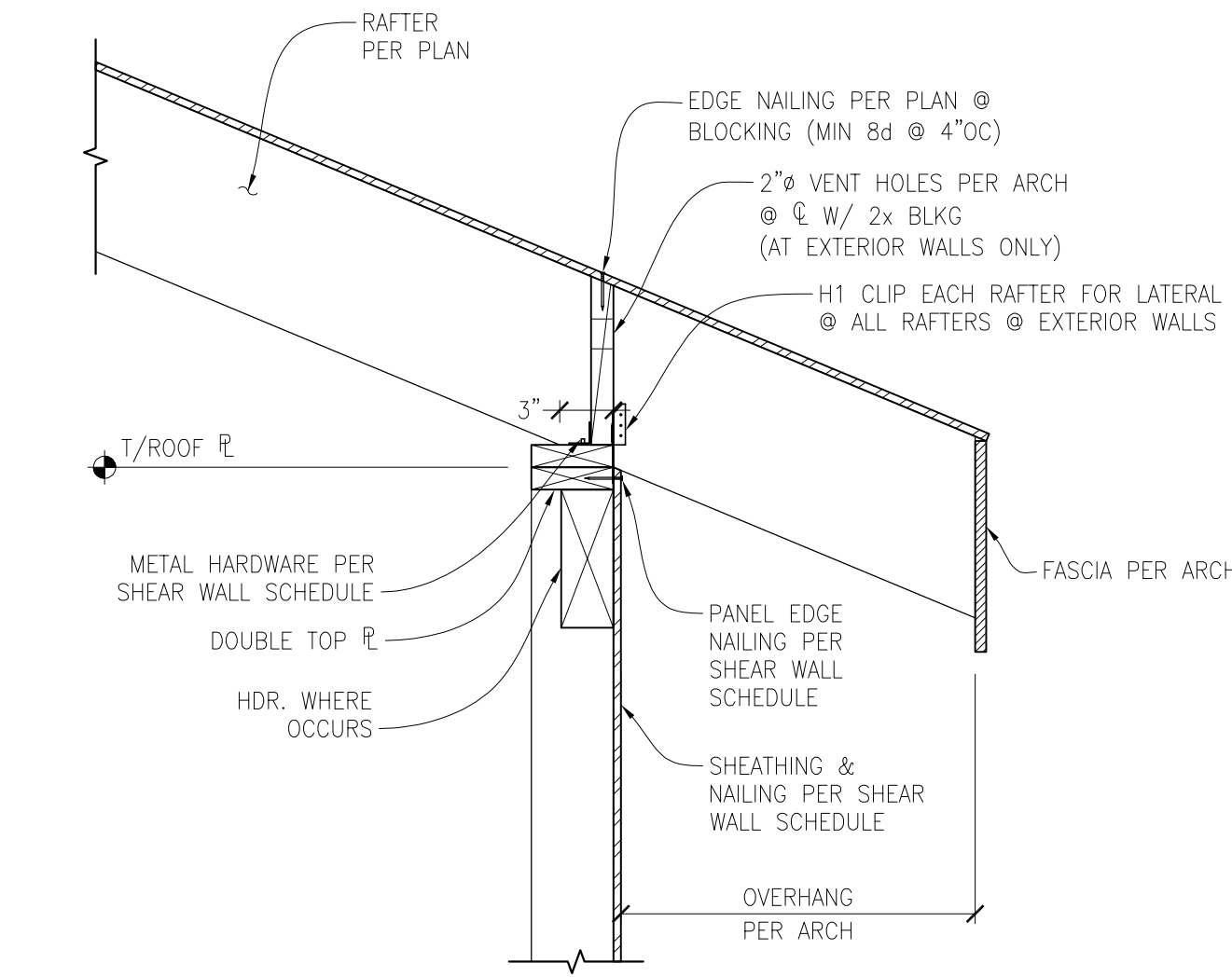
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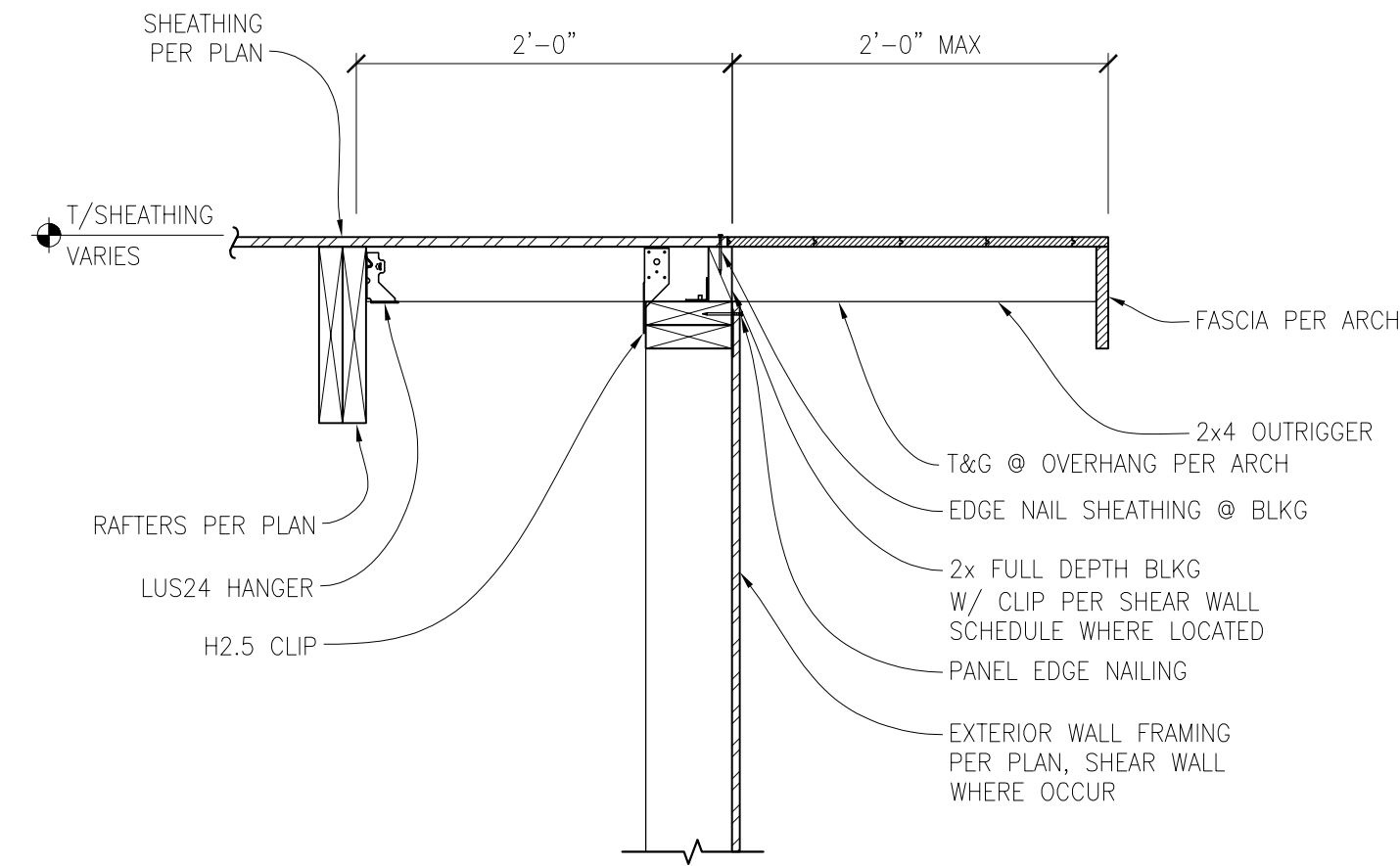
S-4.0



RAFTER TO SHEAR WALL CONNECTION

SCALE: 1" = 1'-0"

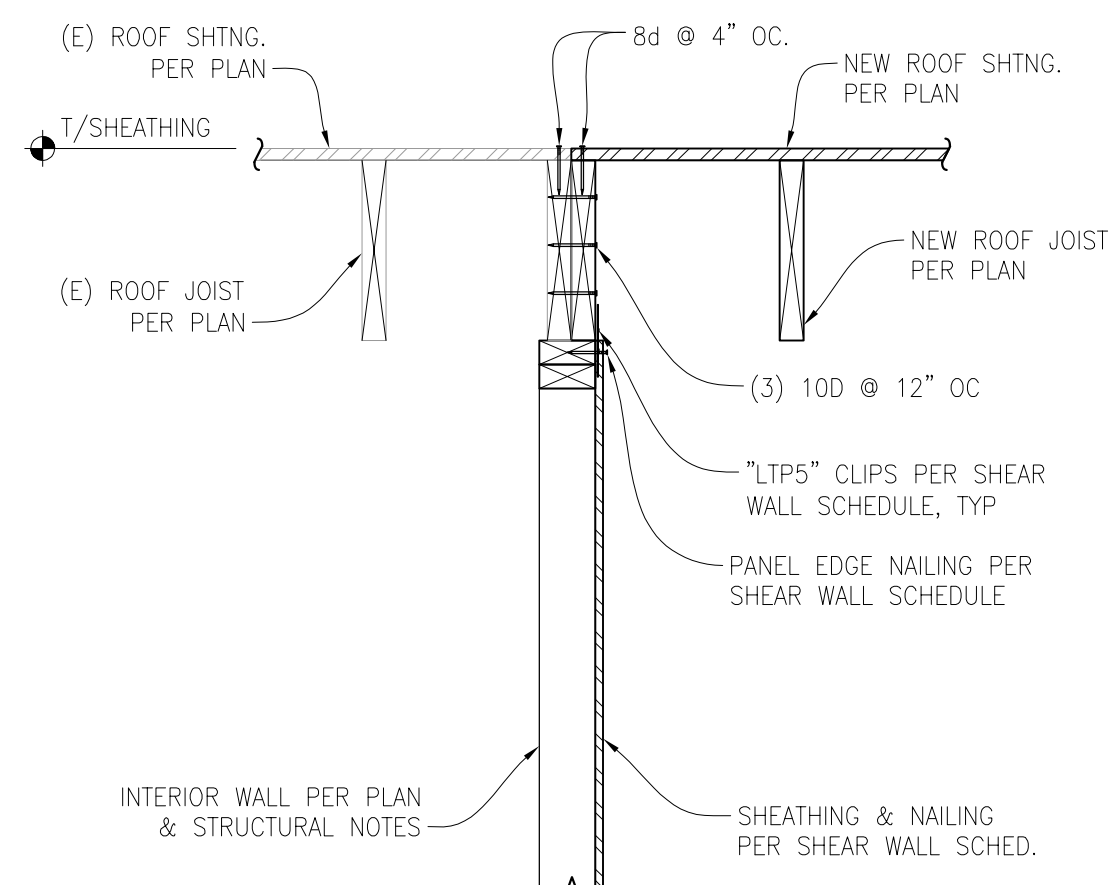
1



TYPICAL OUTRIGGER AT GABLE END

SCALE: 1" = 1'-0"

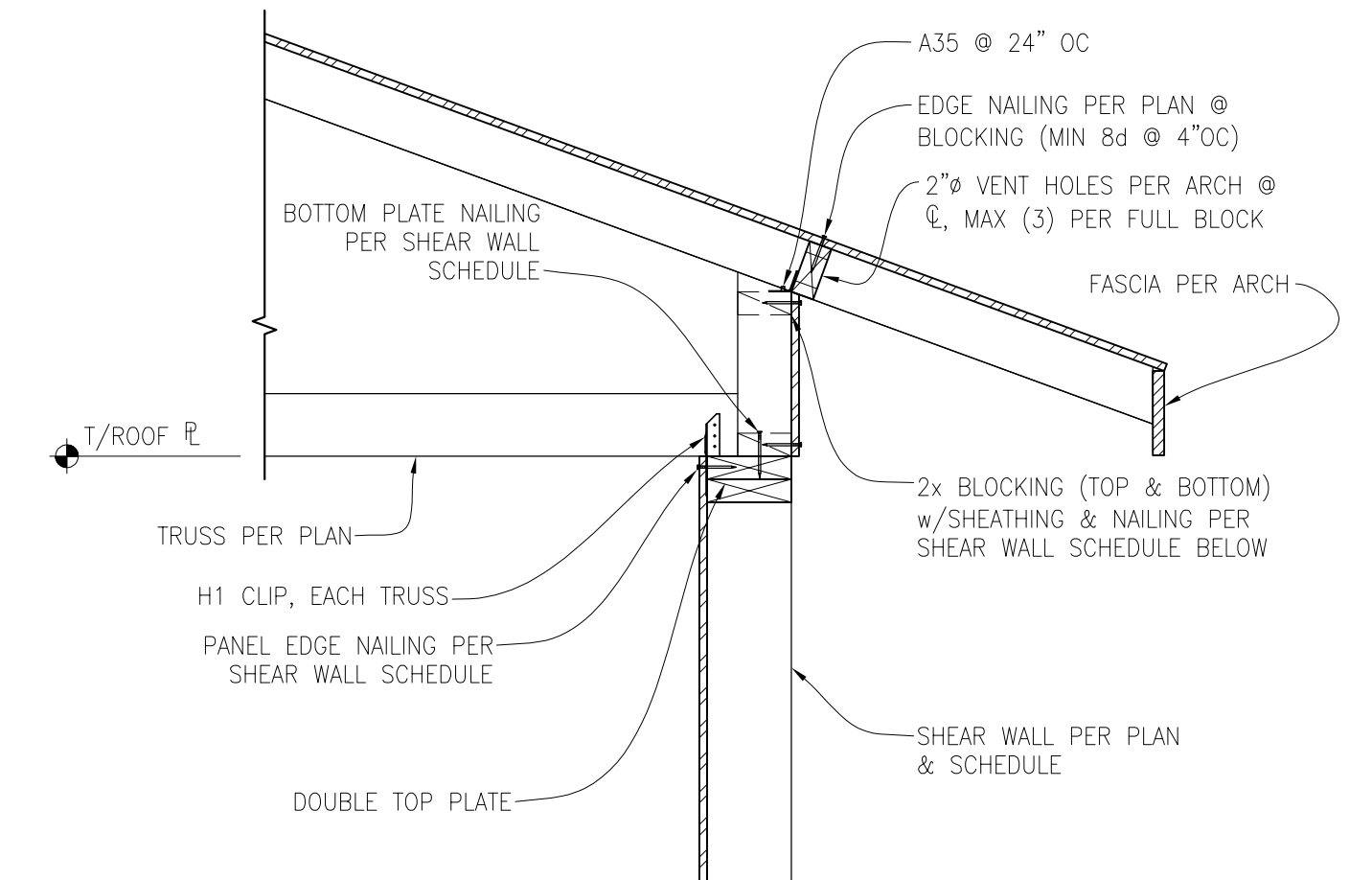
2



EXISTING ROOF TO NEW ROOF/SHEAR WALL CON.

SCALE: 1" = 1'-0"

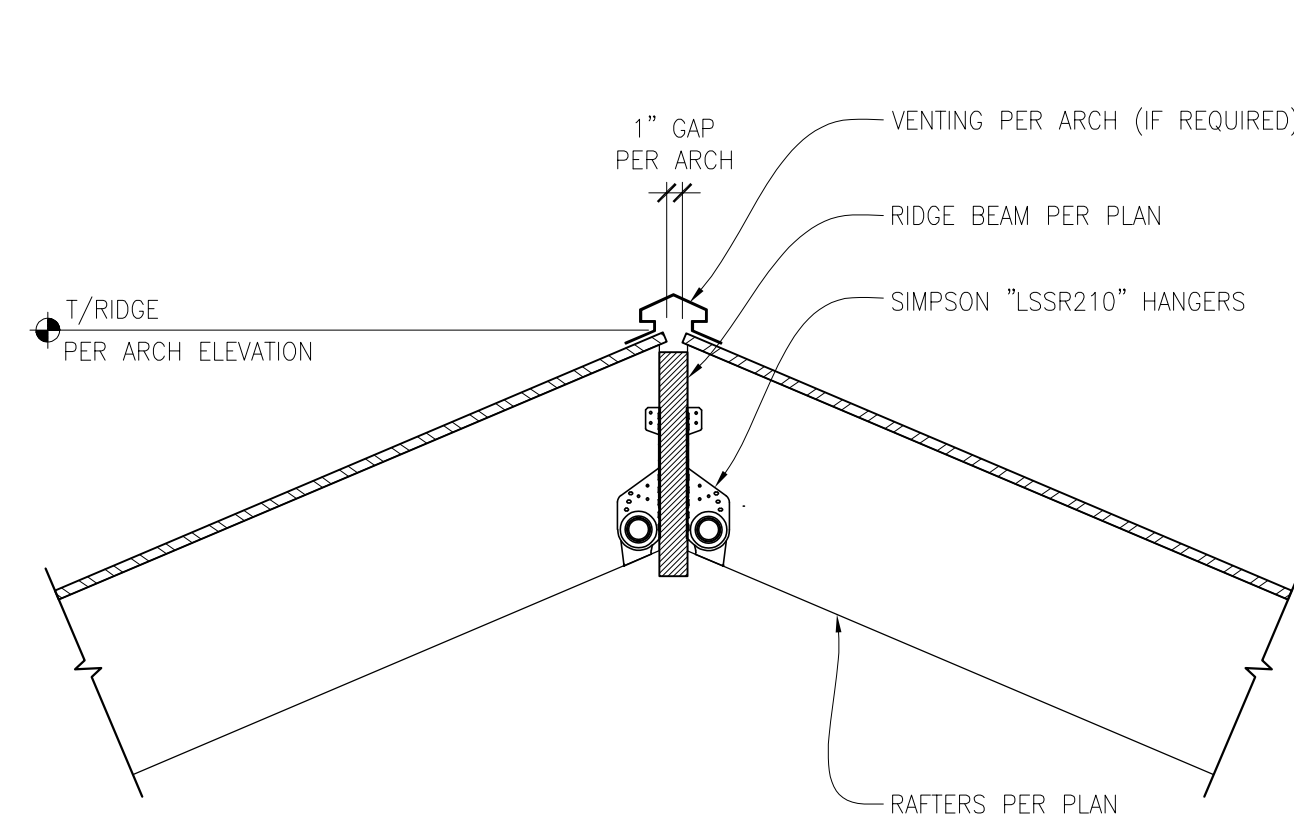
3



ROOF TRUSS PERPENDICULAR TO EXTERIOR DBL SIDED SHEAR WALL CON.

SCALE: 1" = 1'-0"

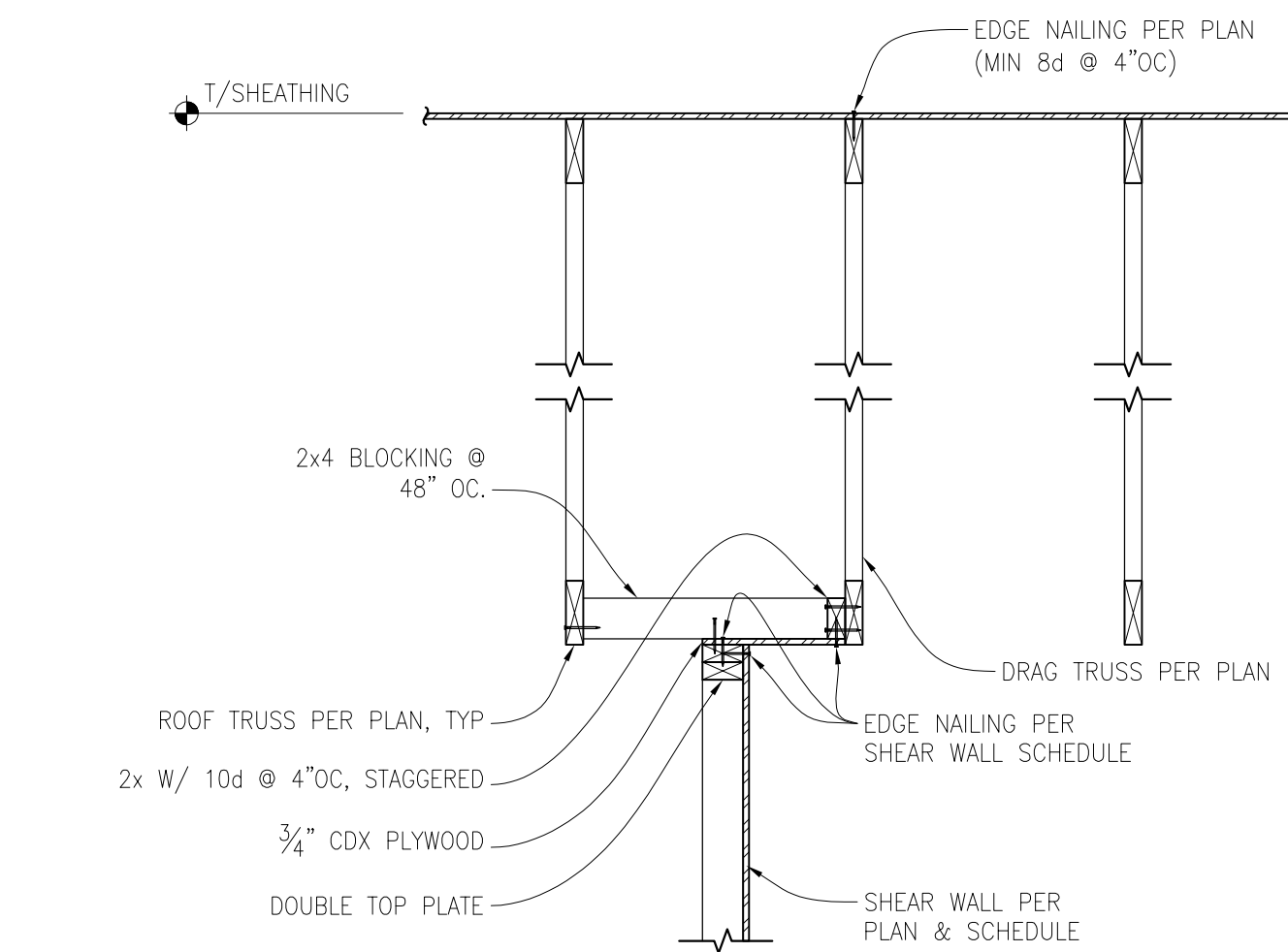
4



TYPICAL SECTION AT RIDGE BEAM

SCALE: 1" = 1'-0"

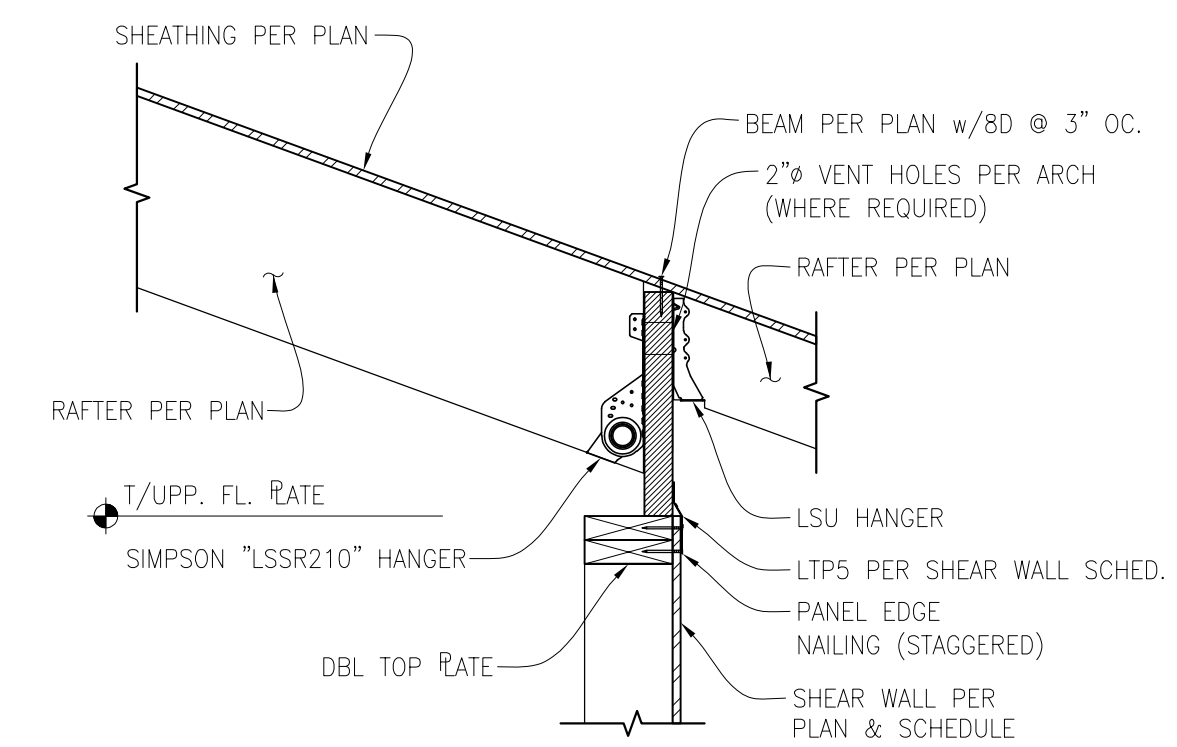
5



INTERIOR SHEAR WALL PARALLEL TO ROOF TRUSS CONNECTION

SCALE: 3/4" = 1'-0"

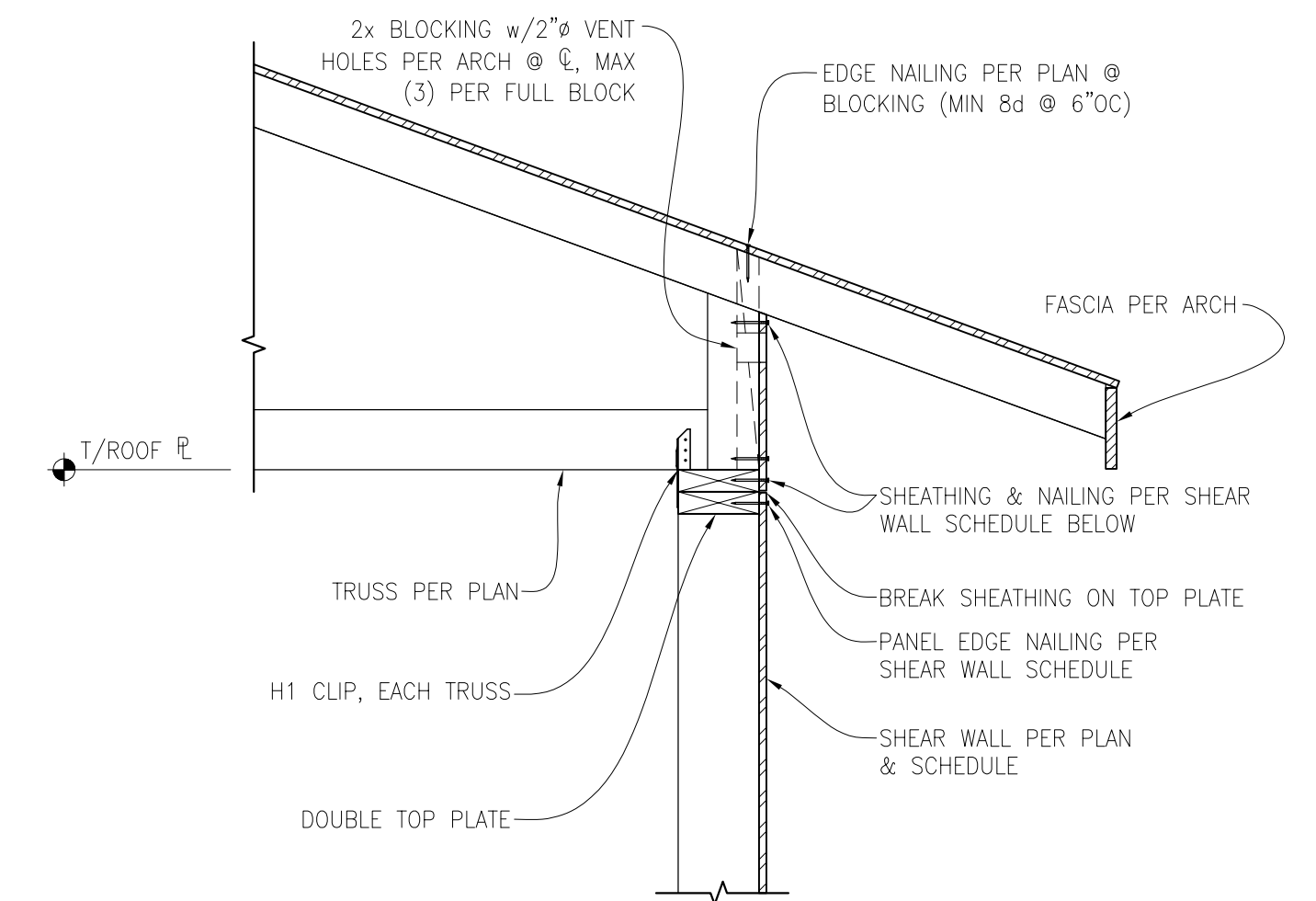
6



ROOF BEAM TO SHEAR WALL CONNECTION

SCALE: 1" = 1'-0"

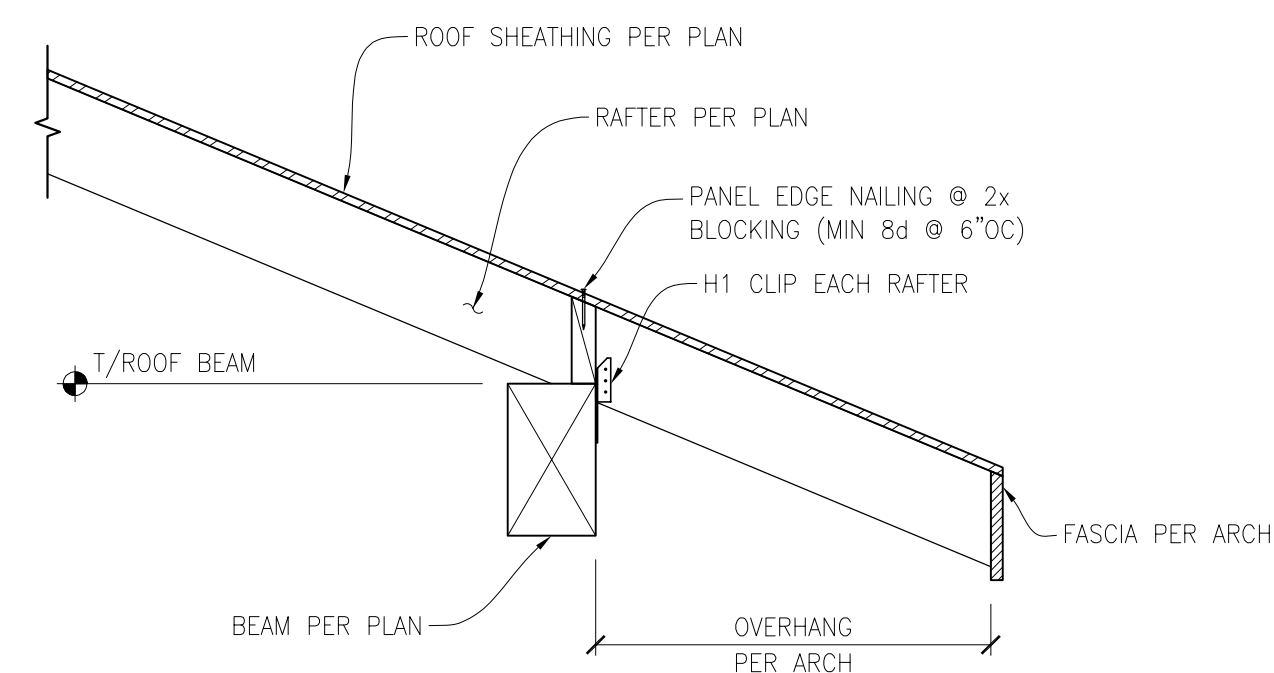
7



ROOF TRUSS PERPENDICULAR TO EXTERIOR SHEAR WALL CONNECTION

SCALE: 1" = 1'-0"

8



EXTERIOR ROOF JOIST TO ROOF BEAM CONNECTION

SCALE: 1" = 1'-0"

9