

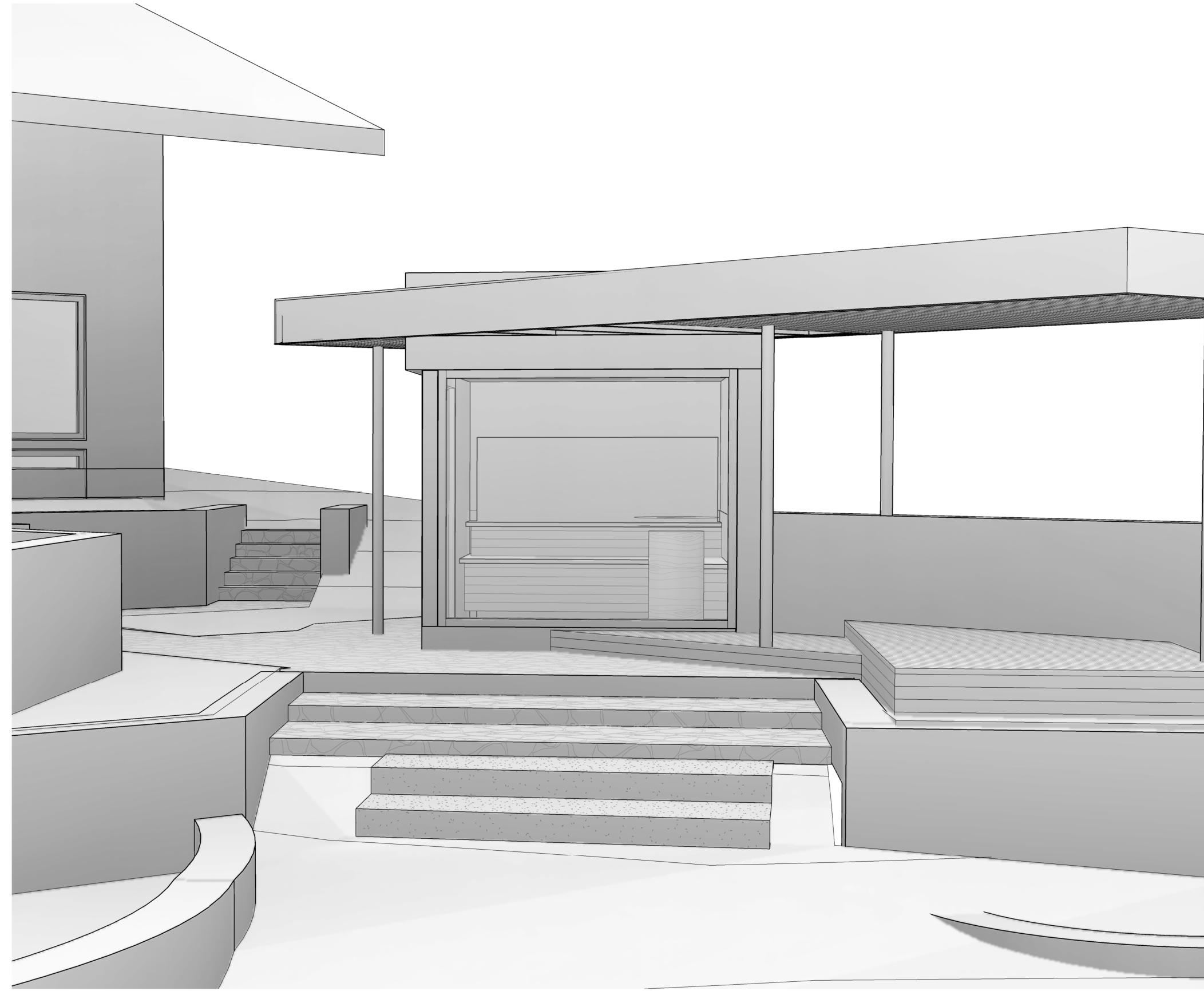
## ABBREVIATIONS

ABV	ABOVE
AFF	ABOVE FINISH FLOOR
ADDL	ADDITIONAL
ADJ	ADJUSTABLE
ALT	ALTERNATE
ARCH	ARCHITECT, ARCHITECTURAL
BLW	BELOW
B5MT	BASEMENT
BTW	BETWEEN
BLD	BUILDING
CAB	CABINET
CALC	CALCULATION
CLG	CEILING
CL	CENTERLINE
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
DEMO	DEMOLISH
DIA	DIAMETER
DIM	DIMENSION
DW	DISHWASHER
DBL	DOUBLE
EA	EACH
ELEC	ELECTRIC, ELECTRICIAN
ELEV	ELEVATION
ENGR	ENGINEER
EQUIV	EQUIVALENT
EXIST / (E)	EXISTING
EXT	EXTERIOR
FF	FINISH FLOOR
FIO	FURNISHED AND INSTALLED BY OWNER
FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
FRT	FIRE RETARDANT
GALV	GALVANIZED
GWB	GYPSUM WALL BOARD
HDR	HEADER
HT	HEIGHT
HORIZ	HORIZONTAL
INSUL	INSULATION
INT	INTERIOR
VLOC	LOCATE, LOCATION
MAX	MAXIMUM
MFR	MANUFACTURER
MECH	MECHANICAL
MTL	METAL
MIN	MINIMUM
MO	MASONRY OPENING
NTS	NOT TO SCALE
OA	OVERALL
O.C.	ON CENTER
OPP	OPPOSITE, OPP HAND
OSCI	OWNER SUPPLIED/ CONTRACTOR INSTALLED
PLY	PLYWOOD
PRELIM	PRELIMINARY
PT	PRESSURE-TREATED
PL	PROPERTY LINE
REFR	REFRIGERATOR
REIN	REINFORCE, REINFORCING
REQD	REQUIRED
RO	ROUGH OPENING
SCHED	SCHEDULE
SF	SQUARE FOOT
SIM	SIMILAR
SPECS	SPECIFICATIONS
SSTL	STAINLESS STEEL
STL	STEEL
STRUCT	STRUCTURE, STRUCTURAL
SW	SHEAR WALL
TEMP	TEMPORARY
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
US	UNDER SIDE
VIF	VERIFY IN FIELD
VERT	VERTICAL
WP	WEATHERPROOF, WEATHERPROOF
WNW	WINDOW
W/	WITH
W/O	WITHOUT
WD	WOOD

## DRAWING SYMBOLS

	NORTH ARROW		DRAWING TITLE
	DRAWING SCALE		VIEW TITLE
	SPOT ELEVATION		FLOOR ELEVATION DATUM
	BUILDING ELEVATION DRAWING NUMBER SHEET NUMBER		WINDOW NUMBER EG = EGRESS SG = TEMPERED
	INTERIOR ELEVATION DRAWING NUMBER SHEET NUMBER		DOOR NUMBER
	BUILDING SECTION DRAWING NUMBER SHEET NUMBER		STRUCTURAL DETAIL DRAWING NUMBER SHEET NUMBER
	WALL SECTION DRAWING NUMBER SHEET NUMBER		ARCHITECTURAL DETAIL DRAWING NUMBER SHEET NUMBER
	DETAIL REFERENCE DRAWING NUMBER SHEET NUMBER		CUT MARK
	REVISION TAG		CENTERLINE
	WALL/FLOOR/ROOF ASSEMBLY TYPE TAG		GRID LINE
	HOSE BIB		SMOKE DETECTOR
	EXHAUST FAN CFM=WHOLE HOUSE FAN		CARBON MONOXIDE ALARM
	RAMP ARROW WITH PERCENT SLOPE		COMBO SMOKE/CARBON MONOXIDE DETECTOR
	DECK OR ROOF SLOPE		CLOTHES ROD AND SHELF
			ROOF PITCH RISE.RUN

# YAMAMOTO AND LAROSE - SAUNA



## PROJECT INFORMATION

JURISDICTION PROJECT NO.:	TBD
PROJECT ADDRESS:	5245 FOREST AVE SE MERCER ISLAND, WA 98040
ASSESSOR PARCEL NO.:	141030-0005
LEGAL DESCRIPTION:	CARRS LAKE SIDE ADD LOT 3 & SH LDS ADJ MERCER ISLAND SHORT PLAT NO 87-07-25 REC NO 8402239002 SD SHORT PLAT DAF - LOTS 1 & 2 SD ADD
PROJECT DESCRIPTION:	SAUNA & CABANA STRUCTURE TO BE CONSTRUCTED IN PLACE OF EXISTING HOT TUB STRUCTURE

## APPLICABLE CODE REFERENCES

- 2021 International Residential Code (IRC)
- 2021 International Mechanical Code (IMC)
- 2021 Uniform Plumbing Code (UPC)
- 2021 International Fire Code (IFC)
- Washington State Energy Code (WSEC)

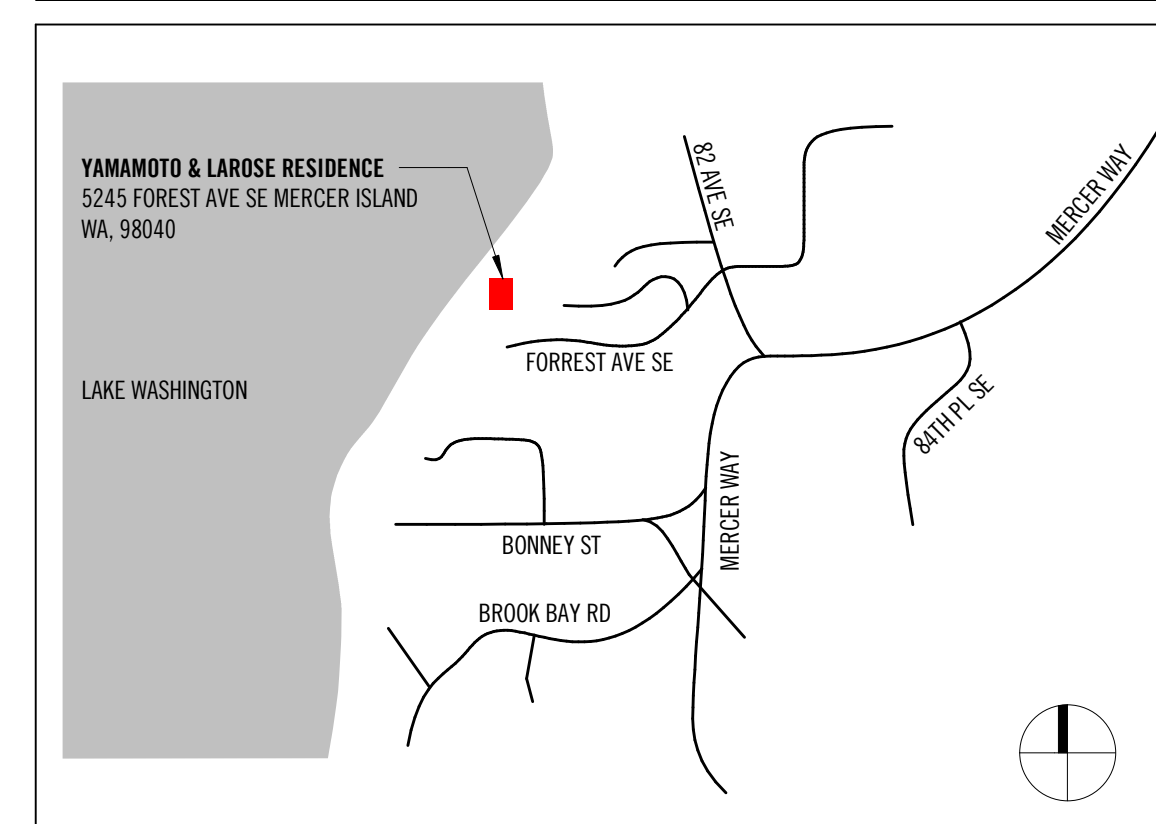
## PROJECT TEAM

OWNER:	CONTACT: MIKA YAMAMOTO ROBERT LAROSE 5245 FOREST AVE SE MERCER ISLAND, WA 98040 t: 612.961.1151 robert.larose@gmail.com
ARCHITECT:	OFFICE OF ORDINARY ARCHITECTURE CONTACT: SANDY WOLF, AIA 1521 30TH AVE S SEATTLE, WA 98144 t: 206.457.3382 sandy@officeofordinaryarch.com www.officeofordinaryarch.com
CONTRACTOR:	THOMAS JACOBSON CONSTRUCTION CONTACT: THOMAS JACOBSON 1367 31ST AVE S SEATTLE, WA 98144 t: 206-720-1800 WACL #: THOMAIC926CM thomasj@thomasjacobson.com

## SHEET INDEX

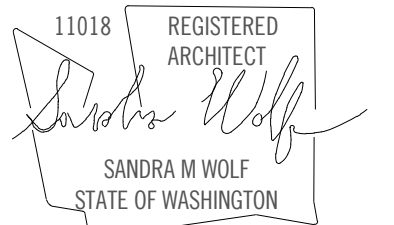
SA0.00	COVER SHEET
SA0.01	PROJECT INFORMATION
SA0.02	CODE DIAGRAMS
SA0.03	TREE PLAN
SA0.04	SURVEY
SA1.00	SITE PLAN
SA2.00	PLANS
SA3.00	ELEVATIONS/SECTIONS
S1.0	GENERAL STRUCTURAL NOTES
S1.1	GENERAL STRUCTURAL NOTES
S2.0	SAUNA PLANS
S3.0	CONCRETE DETAILS
S6.0	WOOD DETAILS

## VICINITY MAP



OFFICE OF ORDINARY  
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YAMAMOTO & LAROSE

PROJECT ADDRESS:  
5245 FOREST AVE SE MERCER  
ISLAND, WA 98040

OWNER:  
MIKA YAMAMOTO & ROBERT LAROSE

REVISION	DATE	DESCRIPTION
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### ISSUANCES

DATE	DESCRIPTION
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OOA PROJECT #: 2023030

SDCI PROJECT #: TBD

PLOT DATE: 08.13.2025

### COVER SHEET

SHEET NO.:

SA0.00

## RESIDENTIAL ENERGY CODE SUMMARY

REFERENCE: 2021 WSEC ENERGY CODE

**R401.3 COMPLIANCE CERTIFICATE.** A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH SEC 401.3 IS REQUIRED TO BE COMPLETED BY A DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM, OR APPROVED LOCATION INSIDE THE BUILDING.

**TABLE R402.1.1 INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT FOR CLIMATE ZONE MARINE 4**

FENESTRATION U-FACTOR	0.30
SKYLIGHT U-FACTOR	0.50
CEILING R-VALUE	R-49
VAULTED CEILING R-VALUE	R-38 <sup>1</sup>
WOOD-FRAMED WALL R-VALUE	**R-20+R-5 OR R-13+R-10
BELOW-GRADE WALL R-VALUE	**10/15/21 + 5TB
FLOOR R-VALUE	R-30
SLAB ON GRADE R-VALUE & DEPTH	***R-10, 2 FT

INT - (INTERMEDIATE FRAMING) DENOTES STANDARD FRAMING 16 INCHES ON CENTER WITH HEADERS INSULATED WITH A MINIMUM OF R-10 INSULATION.

\*THE FIRST VALUE IS CAVITY INSULATION, THE SECOND IS CONTINUOUS INSULATION.

\*\*\* 10/15/21 + 5TB\* MEANS R-10 CONTINUOUS INSULATION ON THE EXTERIOR OF THE WALL, OR R-15 CONTINUOUS INSULATION ON THE INTERIOR OF THE WALL, OR R-21 CAVITY INSULATION PLUS A THERMAL BREAK BETWEEN THE SLAB AND THE BASEMENT WALL AT THE INTERIOR OF THE BASEMENT WALL. \*10/15/21 +1B\* SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE WALL. \*5TB\* MEANS R-5 THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL.

\*\*\* R-10 CONTINUOUS INSULATION IS REQUIRED UNDER HEATED SLAB (I.E. RADIANT FLOOR HEATED) ON GRADE FLOORS.

<sup>1</sup> FOR SINGLE OR RAFTER – OR JOIST-VAULTED CEILINGS, THE INSULATION MAY BE REDUCED TO R-38 IF THE FULL INSULATION DEPTH EXTENDS OVER THE TOP PLATE OF THE EXTERIOR WALL.

**R402.4 BUILDING AIR LEAKAGE AND TESTING**

THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE AND BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE BELOW 4 AIR CHANGES PER HOUR.

## SAUNA HEATING CONTROLS

**M1902.4 CONTROLS:**

SAUNA HEATERS SHALL BE EQUIPPED WITH A THERMOSTAT THAT WILL LIMIT ROOM TEMPERATURE TO NOT GREATER THAN 194°F (90°C). WHERE THE THERMOSTAT IS NOT AN INTEGRAL PART OF THE HEATER, THE HEAT-SENSING ELEMENT SHALL BE LOCATED WITHIN 6 INCHES OF THE CEILING.

## CONTRACT GENERAL NOTES

- ALL WORK SHALL BE IN COMPLIANCE WITH THE 2021 WASHINGTON STATE EXISTING BUILDING CODE, 2021 WASHINGTON STATE BUILDING CODE, 2021 WASHINGTON STATE ENERGY CODE, AND ALL OTHER LAWS, CODES, ORDINANCES AND REGULATIONS OF THE COUNTY, STATE, AND FEDERAL JURISDICTIONS. (CURRENT EDITION)
- THE LOCATION OF ALL EXISTING UTILITIES (BELOW GRADE AND ABOVE) MUST BE VERIFIED PRIOR TO COMMENCING WORK, IN ORDER TO MINIMIZE POSSIBLE DAMAGE AND DISRUPTION TO THE PROJECT AND OTHER TENANTS ON SITE. GENERAL CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITIES USING INDUSTRY STANDARD METHODS, AND/OR AS DETERMINED OR DIRECTED AT A PRE-CONSTRUCTION SITE MEETING. DAMAGE THAT MAY BE CAUSED BY THE ACTIONS OF THE GENERAL CONTRACTOR OR A SUBCONTRACTOR SHALL BE REPAIRED BY THAT ENTITY TO CONDITIONS AND FUNCTIONALITY PRE-DATING THE DAMAGE.
- CONTRACTOR SHALL REVIEW PROJECT DOCUMENTS AND EXISTING CONDITIONS ON SITE, AND SHALL INFORM ARCHITECT OF ANY DISCREPANCIES WITH CONDITIONS OBSERVED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND JOB CONDITIONS RELATED TO THE WORK.
- DRAWINGS INDICATE THE INTENT OF CONSTRUCTION. THE METHOD OF CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY AT ALL STAGES OF CONSTRUCTION.
- WRITTEN DIMENSIONS ARE INDICATED TO THE FACE OF GYPSUM WALL BOARD, UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS; USE WRITTEN DIMENSIONS ONLY.** ALL DIMENSIONS SHALL BE CONSIDERED "NOMINAL" UNLESS NOTED OTHERWISE. DIMENSIONS ON LARGE SCALE DRAWINGS OR DETAILS SHALL PREVAIL OVER SMALLER SCALED DRAWINGS. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCKOUTS, BLOCKING, AND JACKS AS REQUIRED BY THE DRAWINGS AND OTHER TRADES. ANY DISCREPANCY IN DIMENSIONS SHALL BE REPORTED IN WRITING TO THE ARCHITECT FOR CLARIFICATION, OR APPROVAL OF MODIFICATION PRIOR TO COMMENCING WORK.
- INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S LITERATURE AND INSTALLATION GUIDELINES. PROVIDE ALL BUCKOUTS, BLOCKING, AND JACKS AS REQUIRED BY THE DRAWINGS, AND FOR THE PROPER INSTALLATION OF ACCESSORIES, EQUIPMENT, FIXTURES, ETC. PROVIDE ALL MISCELLANEOUS FASTENERS, HARDWARE AND ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION, EVEN THOUGH SUCH ITEMS MAY NOT HAVE BEEN SPECIFICALLY CALLED OUT IN THE DRAWINGS AND SPECIFICATIONS. NOTIFY THE ARCHITECT OF ANY REVISIONS OR ADDITIONAL INFORMATION OBTAINED FROM THE MANUFACTURER OF SPECIFIED MATERIALS OR EQUIPMENT WHICH MAY AFFECT THE CONTRACT TIME, COST OR QUALITY OF WORK.
- ANY CONTRACTOR OR SUBCONTRACTOR CUTTING INTO EXISTING BUILDING COMPONENTS AND/OR WORK ALREADY COMPLETED, (INCLUDING CUTTING CHASES AND/OR TRENCHES FOR SUB-CONTRACTOR'S WORK OR EQUIPMENT), SHALL BE RESPONSIBLE FOR ALL BACK FILLING, REPAIRATION OF ALL BUILDING COMPONENTS AND SURFACES IMPACTED BY SUCH WORK. ALL REPAIRS SHALL BE PERFORMED SO AS TO MATCH EXISTING SURFACES.
- PROVIDE PRESSURE-TREATED WOOD WHERE IN CONTACT WITH MASONRY OR CONCRETE, OR EXPOSED TO WEATHER.
- CAULKING AND SEALANTS: INSTALLED SHALL BE GUARANTEED WATERTIGHT. EXTERIOR METAL WORK, INCLUDING WINDOWS AND DOOR FRAMES AND ALL JUNCTIONS BETWEEN MASONRY, CONCRETE AND METAL SHALL BE SEALED WITH NEOPRENE OR POLYURETHANE FILLER AND APPROVED SEALANT COMPOUNDS.
- PROVIDE GALVANIC SEPERATION BETWEEN ALL DISSIMILAR METALS.
- WATER PIPES SHALL BE INSULATED IN ALL UNHEATED AREAS. INSULATE ALL ROUGH-IN PLUMBING IN WALLS, FLOORS, AND CEILINGS FOR SOUND TRANSMISSION.
- A MINIMUM OF 90 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.

## GENERAL CONDITIONS

- THE OWNER SHALL BE RESPONSIBLE FOR PAYING FOR THE BUILDING PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED OR NECESSARY FOR THE COMPLETION OF THE WORK, FROM THE RESPECTIVE JURISDICTIONS OR AGENCIES. THE CONTRACTOR SHALL NOTIFY THE GOVERNING AGENCIES AS REQUIRED FOR INSPECTIONS, ETC.
- THE CONTRACT FOR CONSTRUCTION SHALL INCLUDE ALL THE COST OF ACQUISITION FOR ALL NECESSARY AND REQUIRED PERMITS, LICENSES, FEES, BONDS, AND INSURANCE. CONTRACTOR SHALL
- INSURANCE: THE GENERAL CONTRACTOR SHALL DELIVER TO THE OWNER CERTIFICATES OF INSURANCE FOR BOTH COMPREHENSIVE GENERAL LIABILITY AND WORKMAN'S COMPENSATION, PRIOR TO THE COMMENCEMENT OF WORK. SAID CERTIFICATES SHALL INCLUDE THE TOTAL AMOUNT OF COVERAGE, AND ANY ADDITIONAL CONDITIONS STIPULATED AND AGREED BY BOTH PARTIES. CERTIFICATES SHALL NAME PROJECT OWNER'S LANDLORD/MANAGEMENT COMPANY AS ADDITIONAL INSURED, IF SO REQUESTED BY PROJECT OWNER.
- THE GENERAL CONTRACTOR SHALL SUBMIT PARTIAL LIEN WAIVERS WITH EACH MONTHLY REQUISITION. THE GENERAL CONTRACTOR, ALL SUB-CONTRACTORS AND ALL MAJOR SUPPLIERS SHALL SUBMIT ALL "RELEASE OF LIENS" FOR WORK PERFORMED, WITHIN 30 DAYS OF THE DATE OF SUBSTANTIAL COMPLETION, IN ORDER FOR THE OWNER TO RELEASE FINAL PAYMENT.
- ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF CERTIFICATE OF OCCUPANCY, UNLESS INDICATED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING OR REPAIRING ITS OWN DEFECTIVE WORK AS WELL AS PAY ALL COSTS INCIDENTAL THERETO, INCLUDING DAMAGE TO OTHER WORK, FURNISHINGS, OR EQUIPMENT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCESS AND SECURITY FOR THE PROJECT SITE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF ALL MATERIALS AT THE PROJECT SITE UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBCONTRACTORS WORKING AT JOB SITE AND FOR ALL COORDINATION OF WORK.
- THE MECHANICAL, PLUMBING AND ELECTRICAL SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE FINAL HOOK-UP OF ALL FIXTURES, EQUIPMENT, ETC. INDICATED ON THE DRAWINGS, WHETHER FURNISHED BY THEM OR NOT.
- NO SUBSTITUTIONS ARE ALLOWED FOR MATERIALS WHERE SPECIFIC MANUFACTURERS ARE INDICATED, UNLESS APPROVED BY THE ARCHITECT AND/OR OWNER. REQUESTS FOR SUBSTITUTIONS SHALL BE MADE IN WRITING PRIOR TO ORDERING MATERIALS OR COMMENCING WORK. SUCH REQUESTS SHALL INCLUDE THE DATE, SCOPE OF WORK, ANY ADDITIONAL COSTS TO THE OWNER, AND ANY ANTICIPATED DELAYS CAUSED BY SUCH CHANGES.
- NO EXTRA WORK OR CHANGE SHALL BE MADE UNLESS A WRITTEN CHANGE ORDER IS SUBMITTED AND SIGNED BY THE OWNER AND ARCHITECT. THE ORDER SHALL STATE THAT THE OWNER HAS AUTHORIZED THE EXTRA WORK OR CHANGE, AND NO CLAIM FOR AN ADDITIONAL SUM SHALL BE VALID UNLESS SO OFFERED AS DESCRIBED ABOVE.

## CONTRACT DIMENSION NOTES

- DO NOT SCALE THE DRAWINGS. LARGE SCALE DIMENSIONS GOVERN SMALL SCALE DIMENSIONS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS, PRIOR TO PROCEEDING WITH WORK.
- AT NEW CONSTRUCTION, ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, CENTER LINE OF COLUMNS, AND CENTERLINE OF WINDOWS AND DOORS, UNO
- AT EXISTING CONSTRUCTION, DIMENSIONS ARE TO FINISH FACE OF MATERIALS, UNO
- SITE PLAN DIMENSIONS UNACCOMPANIED BY A LICENSED SURVEY IN THE POSTED DRAWING SET ARE CONSIDERED APPROXIMATE AND FOR REFERENCE ONLY.
- GRAPHIC SCALES ARE PROVIDED FOR REFERENCE ONLY. WHERE DRAWINGS OF DIFFERENT SCALES ARE PROVIDED ON THE SAME SHEET, GRAPHIC SCALES ARE REMOVED FOR CLARITY.
- DIMENSIONS WITH ACCOMPANYING TEXT (E.G. CLEAR, HOLD, EQUAL) SHALL BE VERIFIED IN FIELD. ANY CHANGES TO THESE DIMENSIONS REQUIRE APPROVAL BY ARCHITECT.

## CARBON MONOXIDE DETECTORS

**SRC R315.1 CARBON MONOXIDE ALARMS**

FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS AND ON EACH LEVEL OF THE DWELLING IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. ALL ALARMS ARE TO BE HARDWIRED AND INTERCONNECTED.

## SMOKE DETECTORS

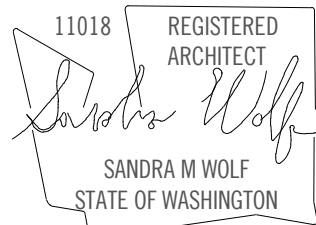
**SRC R314.3 SMOKE ALARMS**

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

- IN EACH SLEEPING ROOM
- OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
- ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWLSPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER FLOOR SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVE.

SMOKE DETECTORS TO BE HARDWIRED, INTERCONNECTED, WITH BATTERY BACKUP PER SRC R314.4.

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REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
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00A PROJECT #: 2023030

SDCI PROJECT #: TBD

PLOT DATE: 08.13.2025

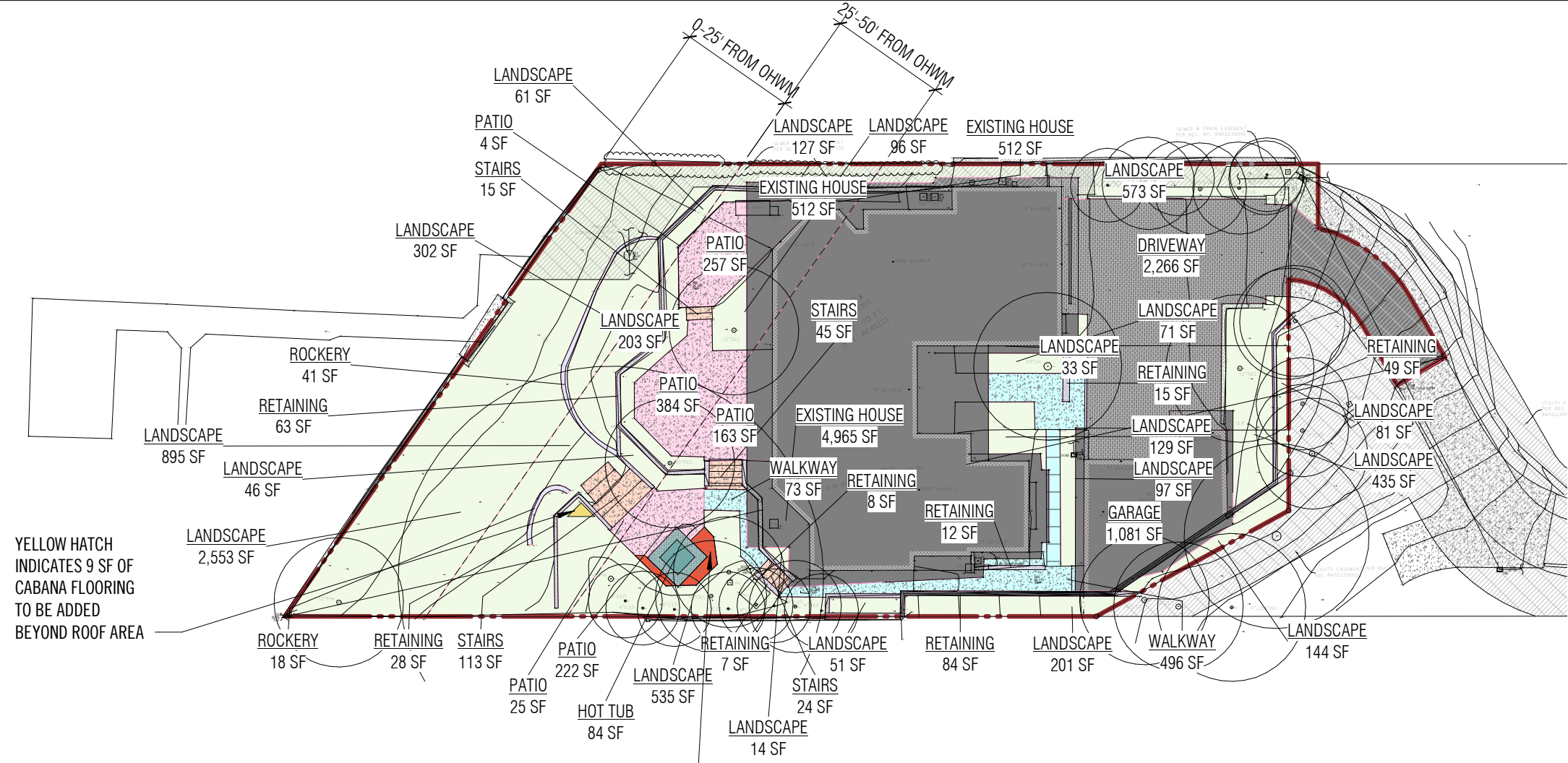
PROJECT INFORMATION

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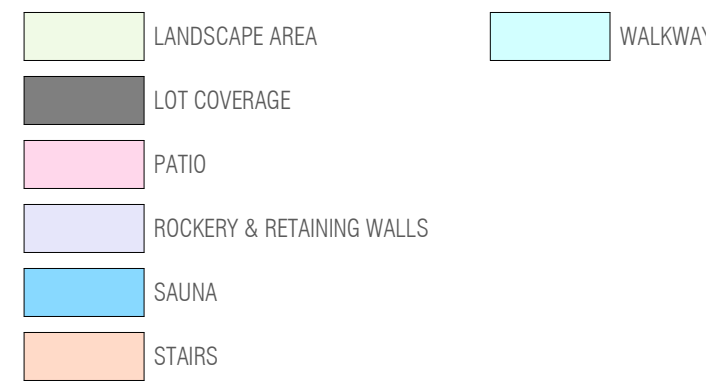
### 5 EXISTING HARDSCAPE CALCULATIONS

1" = 30'-0"



EXISTING HARDSCAPE COVERAGE BETWEEN 0-25 FEET FROM OHWM:  
 • LANDSCAPE: 2614 SF  
 • HARDSCAPE: 4 SF+27 SF = 31 SF (1.1%, 10% ALLOWED)  
 EXISTING HARDSCAPE COVERAGE BETWEEN 25-50 FEET FROM OHWM:  
 • LANDSCAPE: 1534 SF  
 • HARDSCAPE/LOT COVERAGE: 512 SF+667 SF+122 SF+84 SF+128 SF = 1513 SF (49.6%, 30% ALLOWED)  
 \*96 SF PROPOSED ADDITION AS PART OF SAUNA/CABANA. SEE 2:1 REMEDIATION PROPOSED IN LOT COVERAGE DIAGRAM BELOW

### HARDSCAPE AREAS



### HARDSCAPE CALCULATIONS

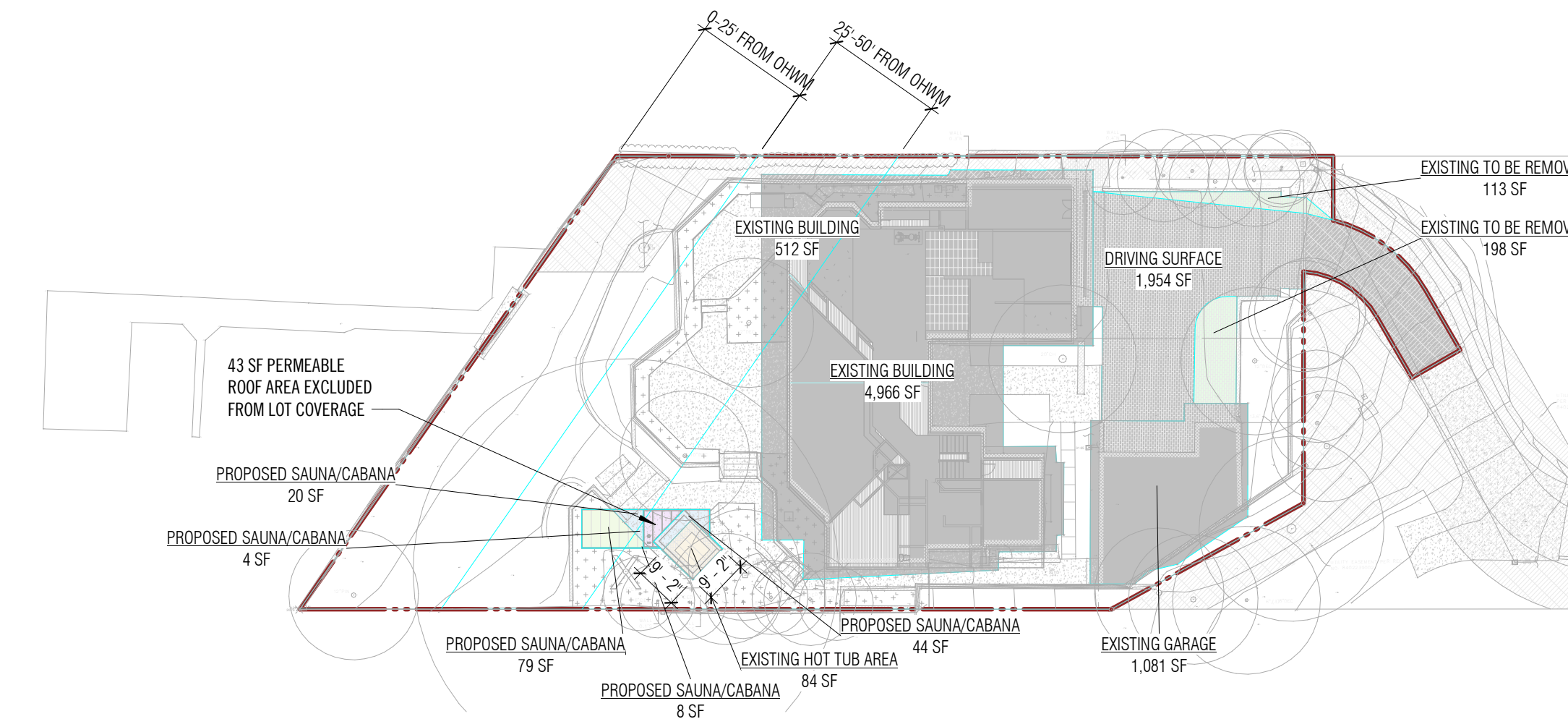
Name	Area	Unit Area Type	Comments
LANDSCAPE	71 SF	LANDSCAPE AREA	
LANDSCAPE	129 SF	LANDSCAPE AREA	
LANDSCAPE	97 SF	LANDSCAPE AREA	
LANDSCAPE	302 SF	LANDSCAPE AREA	
LANDSCAPE	201 SF	LANDSCAPE AREA	
LANDSCAPE	51 SF	LANDSCAPE AREA	
LANDSCAPE	144 SF	LANDSCAPE AREA	
LANDSCAPE	81 SF	LANDSCAPE AREA	
LANDSCAPE	435 SF	LANDSCAPE AREA	
LANDSCAPE	Not Placed	LANDSCAPE AREA	
LANDSCAPE	19 SF	LANDSCAPE AREA	
LANDSCAPE	31 SF	LANDSCAPE AREA	
LANDSCAPE	14 SF	LANDSCAPE AREA	
LANDSCAPE	19 SF	LANDSCAPE AREA	
LANDSCAPE	573 SF	LANDSCAPE AREA	
LANDSCAPE	33 SF	LANDSCAPE AREA	
LANDSCAPE	535 SF	LANDSCAPE AREA	
:17	2,735 SF		
LANDSCAPE	2,553 SF	LANDSCAPE AREA	0-25 FEET FROM OHWM
LANDSCAPE	61 SF	LANDSCAPE AREA	0-25 FEET FROM OHWM
0-25 FEET FROM OHWM: 2	2,614 SF		
LANDSCAPE	166 SF	LANDSCAPE AREA	25-50 FEET FROM OHWM
LANDSCAPE	96 SF	LANDSCAPE AREA	25-50 FEET FROM OHWM
LANDSCAPE	46 SF	LANDSCAPE AREA	25-50 FEET FROM OHWM
LANDSCAPE	127 SF	LANDSCAPE AREA	25-50 FEET FROM OHWM
LANDSCAPE	203 SF	LANDSCAPE AREA	25-50 FEET FROM OHWM
LANDSCAPE	895 SF	LANDSCAPE AREA	25-50 FEET FROM OHWM
25-50 FEET FROM OHWM: 6	1,534 SF		
LANDSCAPE AREA	6,883 SF		
EXISTING HOUSE	4,965 SF	LOT COVERAGE	
GARAGE	1,081 SF	LOT COVERAGE	
DRIVEWAY	2,266 SF	LOT COVERAGE	
:3	8,312 SF		
EXISTING HOUSE	512 SF	LOT COVERAGE	25-50 FEET FROM OHWM
25-50 FEET FROM OHWM: 1	512 SF		
LOT COVERAGE	8,824 SF		
PATIO	222 SF	PATIO	
PATIO	163 SF	PATIO	
:2	385 SF		
PATIO	4 SF	PATIO	0-25 FEET FROM OHWM
0-25 FEET FROM OHWM: 1	4 SF		
PATIO	384 SF	PATIO	25-50 FEET FROM OHWM
PATIO	257 SF	PATIO	25-50 FEET FROM OHWM
PATIO	25 SF	PATIO	25-50 FEET FROM OHWM
25-50 FEET FROM OHWM: 3	667 SF		
PATIO	1,055 SF		

### HARDSCAPE CALCULATIONS

Name	Area	Unit Area Type	Comments
ROCKERY	41 SF	ROCKERY & RETAINING WALLS	
RETAINING	7 SF	ROCKERY & RETAINING WALLS	
RETAINING	8 SF	ROCKERY & RETAINING WALLS	
RETAINING	84 SF	ROCKERY & RETAINING WALLS	
RETAINING	12 SF	ROCKERY & RETAINING WALLS	
RETAINING	15 SF	ROCKERY & RETAINING WALLS	
RETAINING	13 SF	ROCKERY & RETAINING WALLS	
RETAINING	6 SF	ROCKERY & RETAINING WALLS	
RETAINING	5 SF	ROCKERY & RETAINING WALLS	
RETAINING	49 SF	ROCKERY & RETAINING WALLS	
:10	240 SF		
ROCKERY	27 SF	ROCKERY & RETAINING WALLS	0-25 FEET FROM OHWM
0-25 FEET FROM OHWM: 1	27 SF		
RETAINING	63 SF	ROCKERY & RETAINING WALLS	25-50 FEET FROM OHWM
ROCKERY	18 SF	ROCKERY & RETAINING WALLS	25-50 FEET FROM OHWM
RETAINING	28 SF	ROCKERY & RETAINING WALLS	25-50 FEET FROM OHWM
ROCKERY	13 SF	ROCKERY & RETAINING WALLS	25-50 FEET FROM OHWM
25-50 FEET FROM OHWM: 4	122 SF		
ROCKERY & RETAINING WALLS	389 SF		
HOT TUB	84 SF	SAUNA	
:1	84 SF		
SAUNA/CABANA	Not Placed	SAUNA	25-50 FEET FROM OHWM
25-50 FEET FROM OHWM: 1	0 SF		
SAUNA	84 SF		
STAIRS	45 SF	STAIRS	
STAIRS	24 SF	STAIRS	
:2	70 SF		
STAIRS	113 SF	STAIRS	25-50 FEET FROM OHWM
STAIRS	15 SF	STAIRS	25-50 FEET FROM OHWM
25-50 FEET FROM OHWM: 2	128 SF		
STAIRS	198 SF		
WALKWAY	496 SF	WALKWAY	
WALKWAY	73 SF	WALKWAY	
:2	569 SF		
WALKWAY	569 SF		
Grand total: 58	18,001 SF		

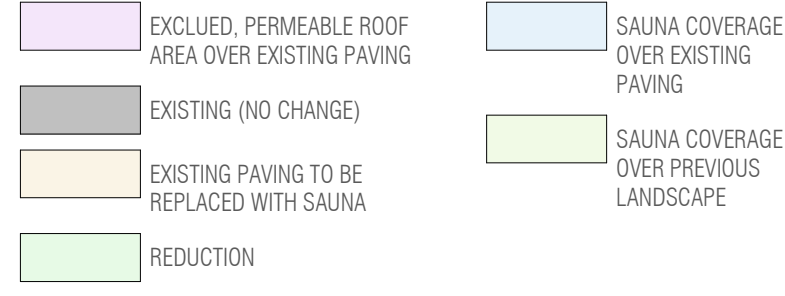
### 4 LOT COVERAGE

1" = 30'-0"



PER MDC 19.01.050(F)(1), NO NEW IMPERVIOUS SURFACES ARE PERMITTED OUTSIDE THE FOOTPRINT OF AN EXISTING STRUCTURE UNLESS THE SITE IS EITHER BROUGHT INTO CONFORMANCE WITH ALL APPLICABLE IMPERVIOUS SURFACE LIMITATIONS OR TWO SQUARE FEET OF LEGALLY EXISTING IMPERVIOUS SURFACE ARE REMOVED FOR EVERY ONE SQUARE FOOT OF NEW IMPERVIOUS SURFACE  
 NEW IMPERVIOUS SURFACE (SAUNA/CABANA): 155 SF  
 REMOVAL REQUIRED: 155 X 2 = 310 SF  
 EXISTING IMPERVIOUS SURFACE TO BE REMOVED (EXISTING DRIVE): 311 SF

### LOT COVERAGE LEGEND



Name	Area	AREA TYPE
PROPOSED SAUNA/CABANA	40 SF	EXCLUDED, PERMEABLE ROOF AREA OVER EXISTING PAVING
PROPOSED SAUNA/CABANA	2 SF	EXCLUDED, PERMEABLE ROOF AREA OVER EXISTING PAVING
EXCLUDED, PERMEABLE ROOF AREA OVER EXISTING PAVING	43 SF	
EXISTING BUILDING	4,966 SF	EXISTING (NO CHANGE)
EXISTING GARAGE	1,081 SF	EXISTING (NO CHANGE)
DRIVING SURFACE	1,954 SF	EXISTING (NO CHANGE)
EXISTING BUILDING	512 SF	EXISTING (NO CHANGE)
EXISTING (NO CHANGE)	8,514 SF	
EXISTING HOT TUB AREA	84 SF	EXISTING PAVING TO BE REPLACED WITH SAUNA
EXISTING PAVING TO BE REPLACED WITH SAUNA	84 SF	
EXISTING TO BE REMOVED	113 SF	REDUCTION
EXISTING TO BE REMOVED	198 SF	REDUCTION
REDUCTION	311 SF	

Name	Area	AREA TYPE
PROPOSED SAUNA/CABANA	44 SF	SAUNA COVERAGE OVER EXISTING PAVING
PROPOSED SAUNA/CABANA	20 SF	SAUNA COVERAGE OVER EXISTING PAVING
PROPOSED SAUNA/CABANA	4 SF	SAUNA COVERAGE OVER EXISTING PAVING
SAUNA COVERAGE OVER EXISTING PAVING	68 SF	
PROPOSED SAUNA/CABANA	8 SF	SAUNA COVERAGE OVER PREVIOUS LANDSCAPE
PROPOSED SAUNA/CABANA	79 SF	SAUNA COVERAGE OVER PREVIOUS LANDSCAPE
SAUNA COVERAGE OVER PREVIOUS LANDSCAPE	87 SF	
	9,106 SF	

### ABE CALCULATION

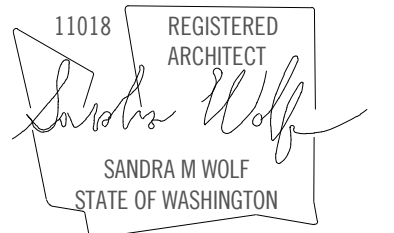
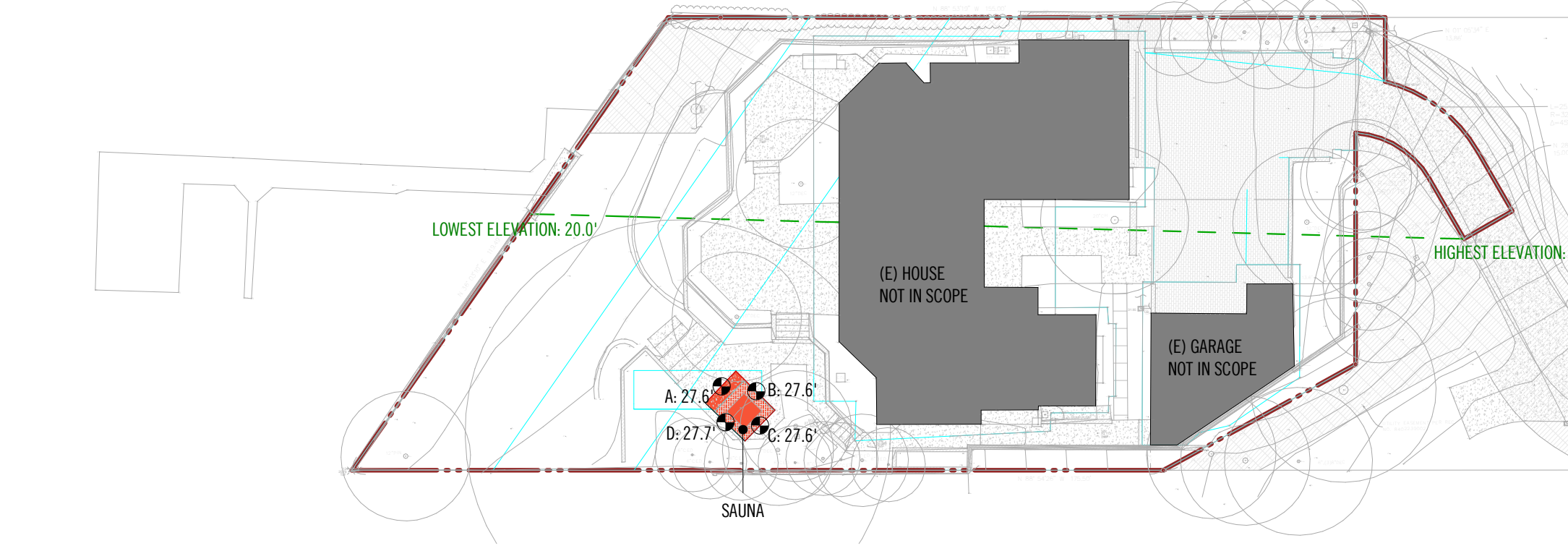
$$ABE = \frac{(27.6' \times 9.56') + (27.6' \times 11.47') + (27.6' \times 9.56') + (27.7' \times 11.47')}{9.56' + 11.47' + 9.56' + 11.47'}$$

$$ABE = \frac{(263.85') + (316.57') + (263.85') + (317.7')}{42.06'}$$

ABE = 27.6'

### 3 AVERAGE BUILDING ELEVATION

1" = 30'-0"

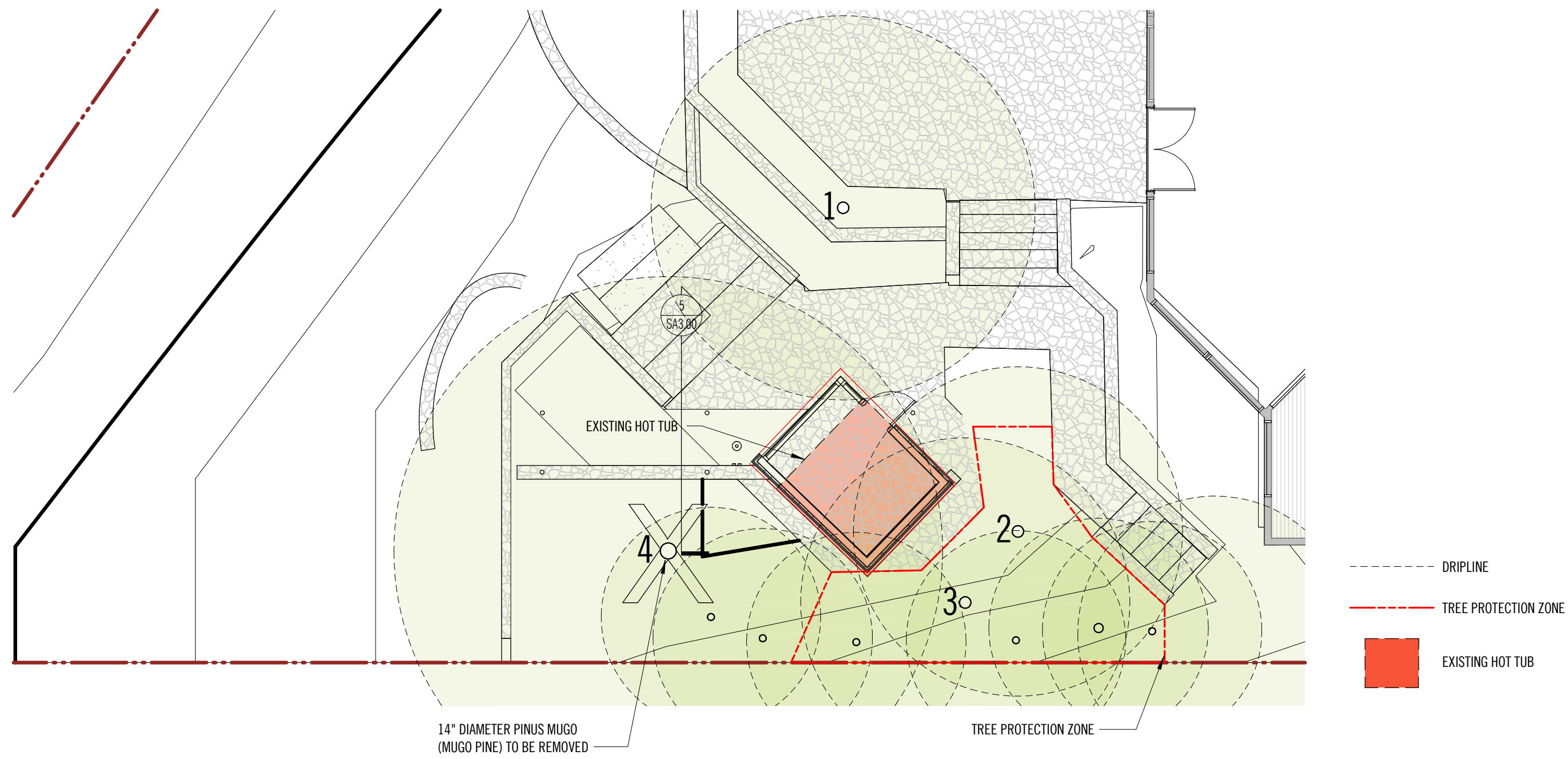


REVISION	DATE	DESCRIPTION

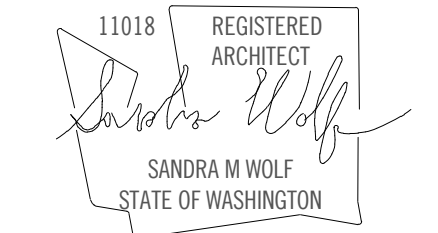
ISSUANCES	
DATE	DESCRIPTION

Partial Tree Inventory LaRose - 5245 Forest Ave SE, Mercer Island									
Tree #	Species	DBH (in)	Dripline (ft)	Category	Exc. Treshold (in)	Health	Structure	Notes	LOD (ft)
1	Japanese maple <i>Acer palmatum</i> sp.	11	11	Significant	12	2	2	Located above retaining wall. Nectria canker on trunk. Low foliage vigor. No proposed root disturbance.	10
2	Japanese maple <i>Acer palmatum</i> sp.	12.5	18.5	Exceptional	12	2	2	Four stems: 6.5, 7, 4, 7 inches. QMD. Low foliage vigor.	10
3	Japanese maple <i>Acer palmatum</i> sp.	10	18	Significant	12	2	2	Four stems: 5, 4.5, 4, 6 inches. QMD. Low foliage vigor.	9
4	Pinus mugo <i>Mugo pine</i>	14	20	Significant	36	2	2	Species. Lean to north. Low foliage vigor. Asymmetrical canopy.	11

A row of nine (9) Leyland cypress are near proposed construction - sheared, topped and maintained as hedge. They are not included here as regulated trees. Past construction likely impacted tree health (hot tub and patio).



**1 TREE PLAN**  
1/8" = 1'-0"



**YAMAMOTO & LAROSE**

PROJECT ADDRESS:  
5245 FOREST AVE. SE, MERCER  
ISLAND, WA 98040

OWNER:  
MIKA YAMAMOTO & ROBERT LAROSE

REVISION	DATE	DESCRIPTION

**ISSUANCES**

DATE	DESCRIPTION

COPYRIGHT OFFICE OF ORDINARY ARCHITECTURE. ALL RIGHTS RESERVED. ORIGINAL SHEET SIZE 16"X24"

00A PROJECT #: 2023030

SDCI PROJECT #: TBD

PLOT DATE: 08.13.2025

**TREE PLAN**

SHEET NO.:

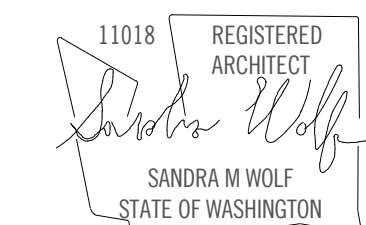
**SA0.03**

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REVISION	DATE	DESCRIPTION

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DATE	DESCRIPTION

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OOA PROJECT #: 2023030

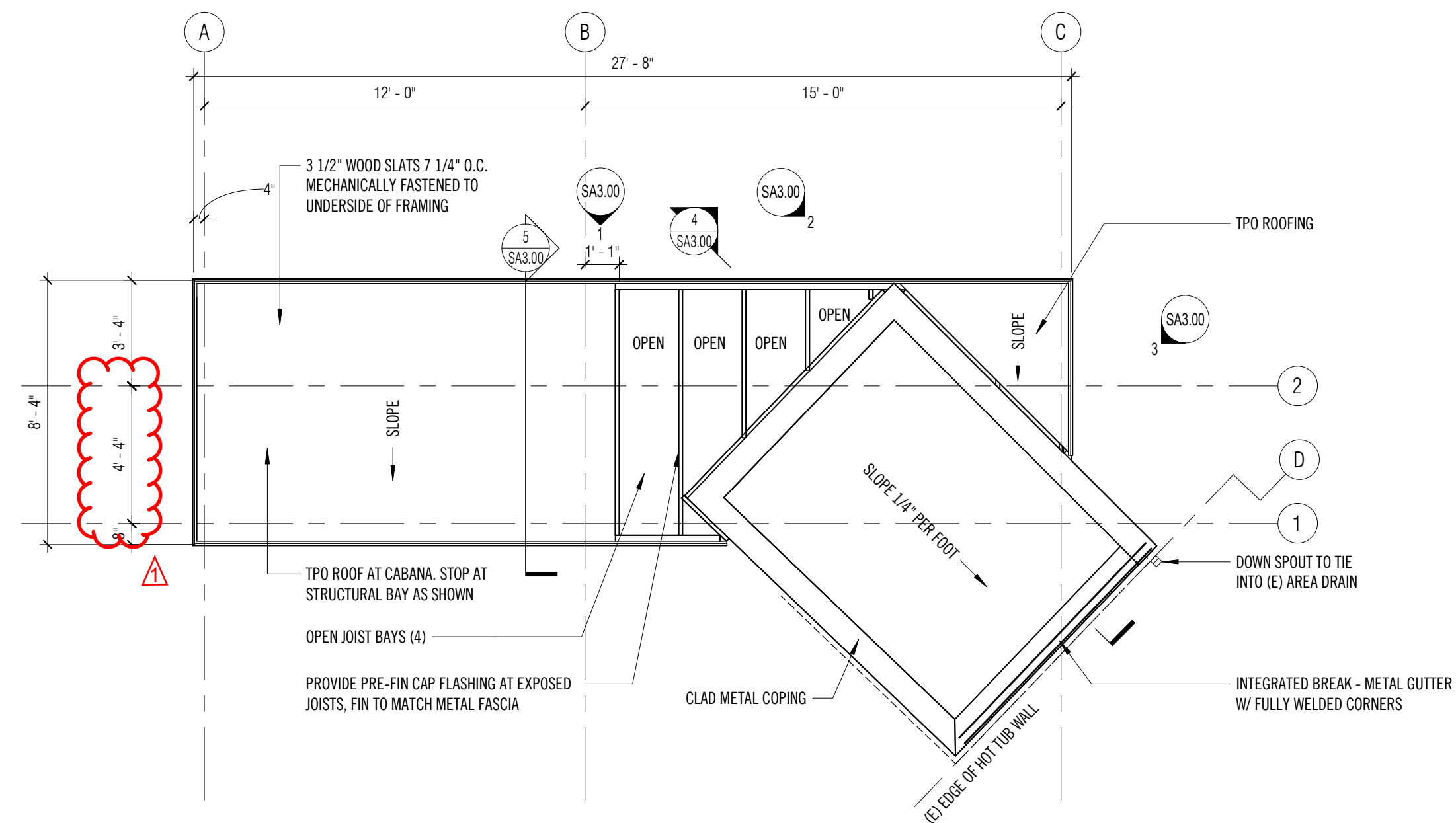
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PLOT DATE: 08.13.2025

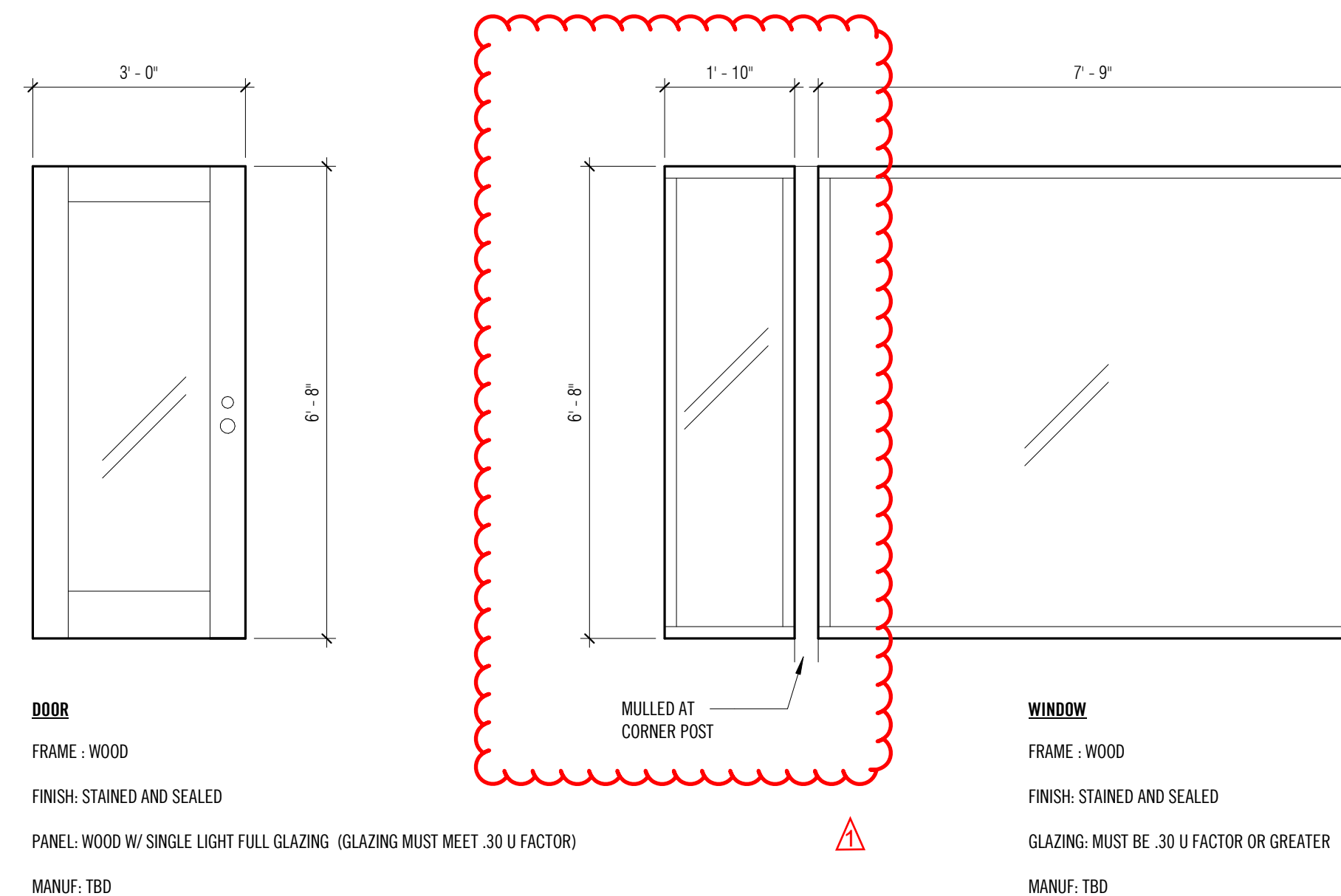
PLANS

SHEET NO.:

SA2.00



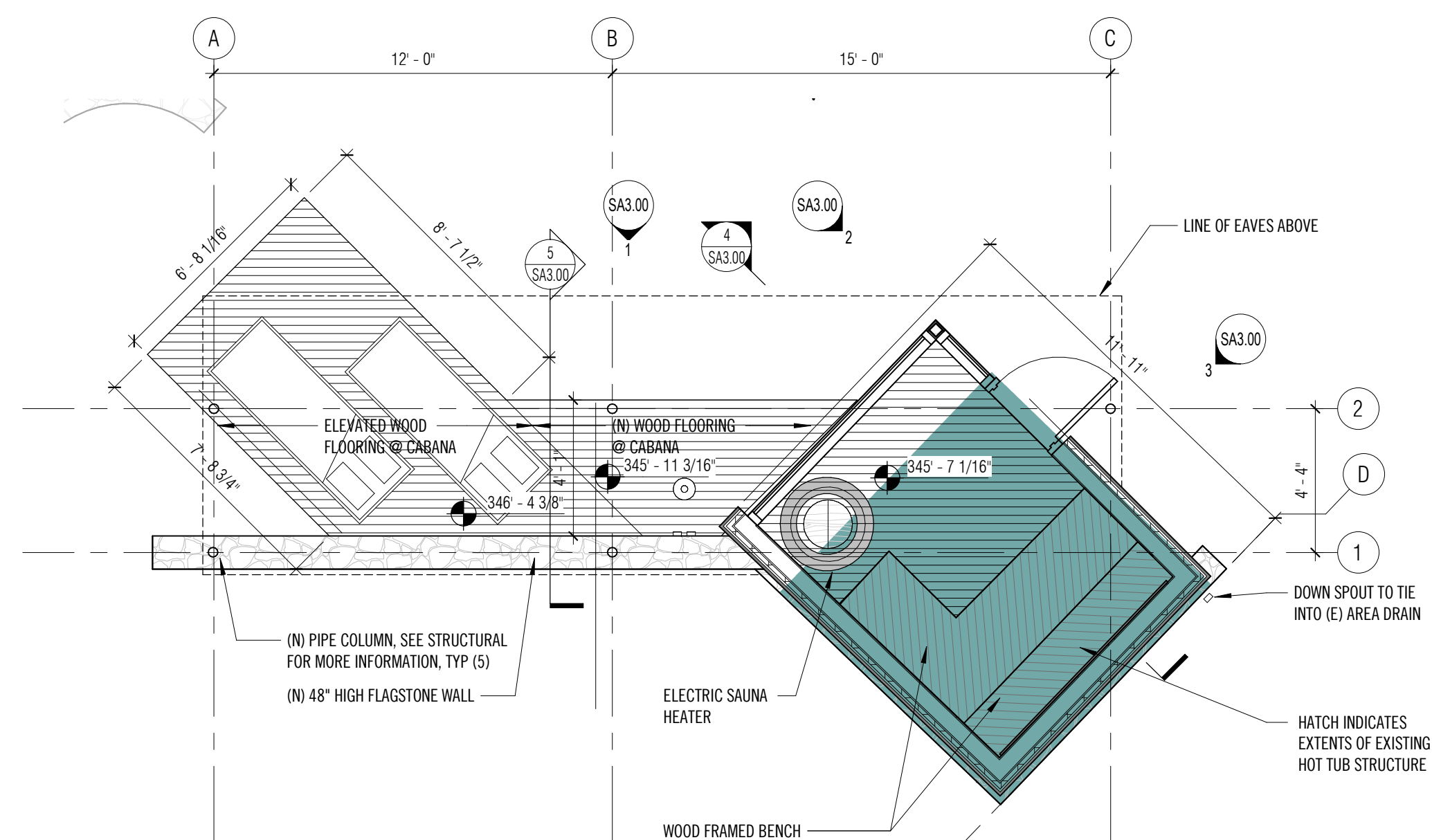
4 SAUNA/CABANA ROOF PLAN  
1/4" = 1'-0"



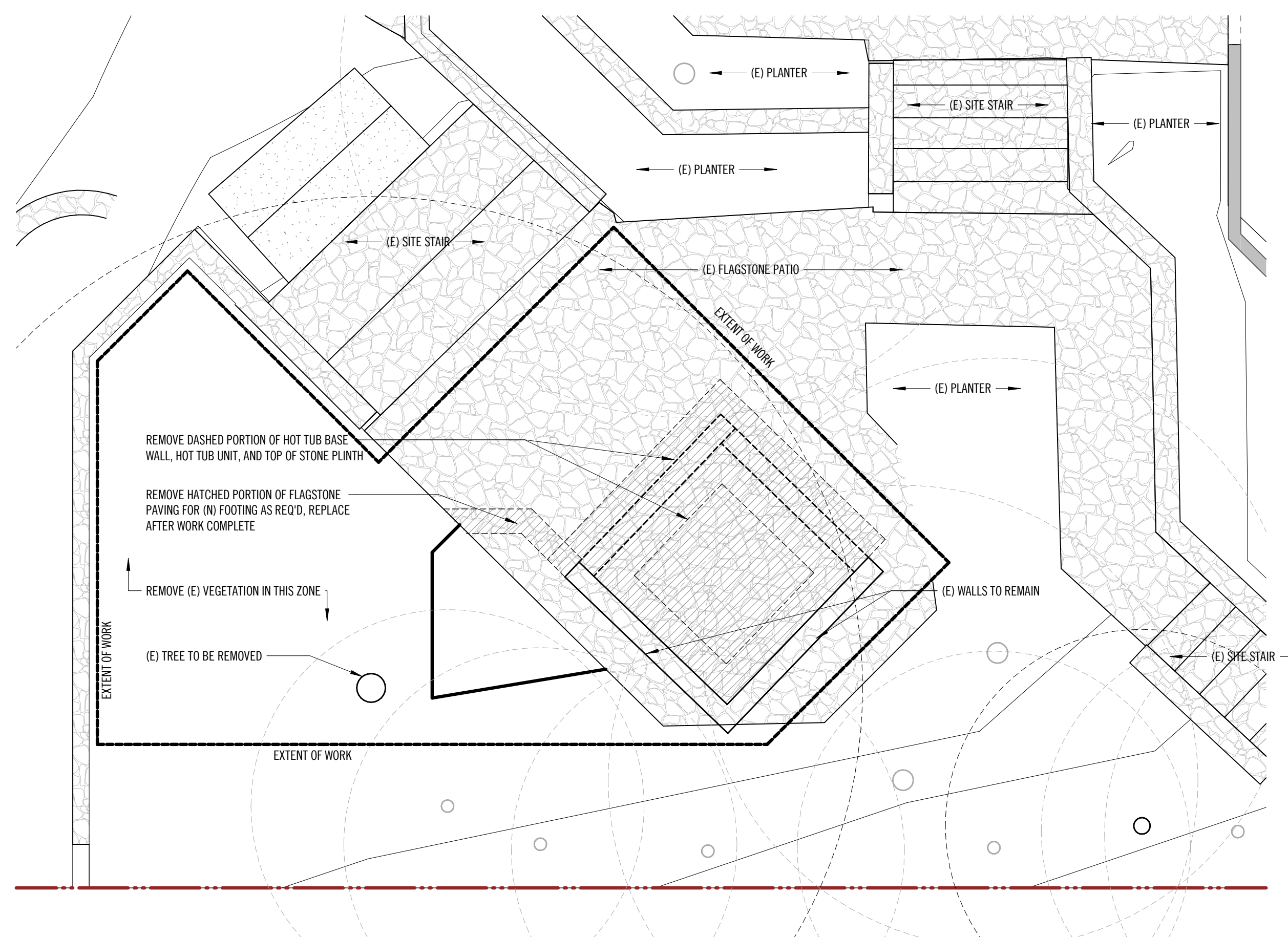
3 DOOR + WINDOW LEGEND  
1/2" = 1'-0"

DEMOLITION NOTES:

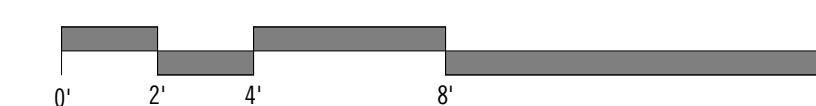
- GC TO PROTECT TREES + VEGETATION TO EXTENT POSSIBLE IN AREAS OF NO WORK
- GC TO PATCH AND REPAIR ANY PAVING REMOVED DURING CONSTRUCTION

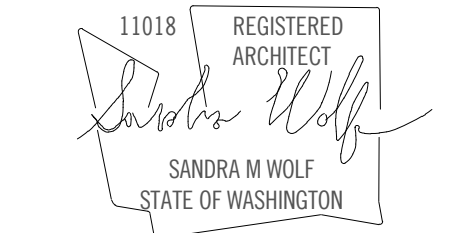


2 SAUNA/CABANA FLOOR PLAN  
1/4" = 1'-0"



1 DEMOLITION PLAN  
1/4" = 1'-0"





REVISION	DATE	DESCRIPTION

ISSUANCES

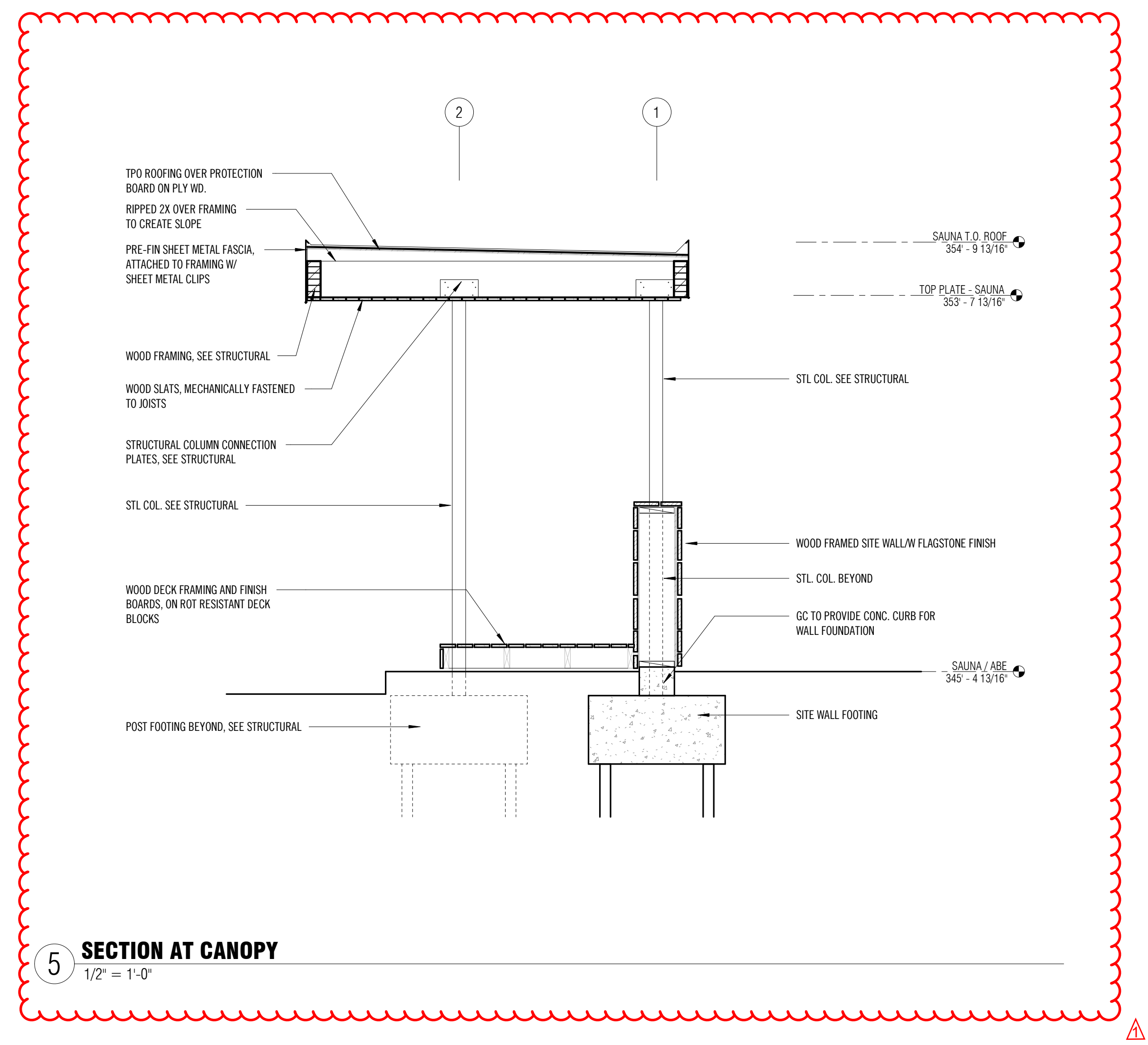
DATE	DESCRIPTION

COPYRIGHT OFFICE OF ORDINARY ARCHITECTURE. ALL RIGHTS RESERVED. ORIGINAL SHEET SIZE: 18" x 24"

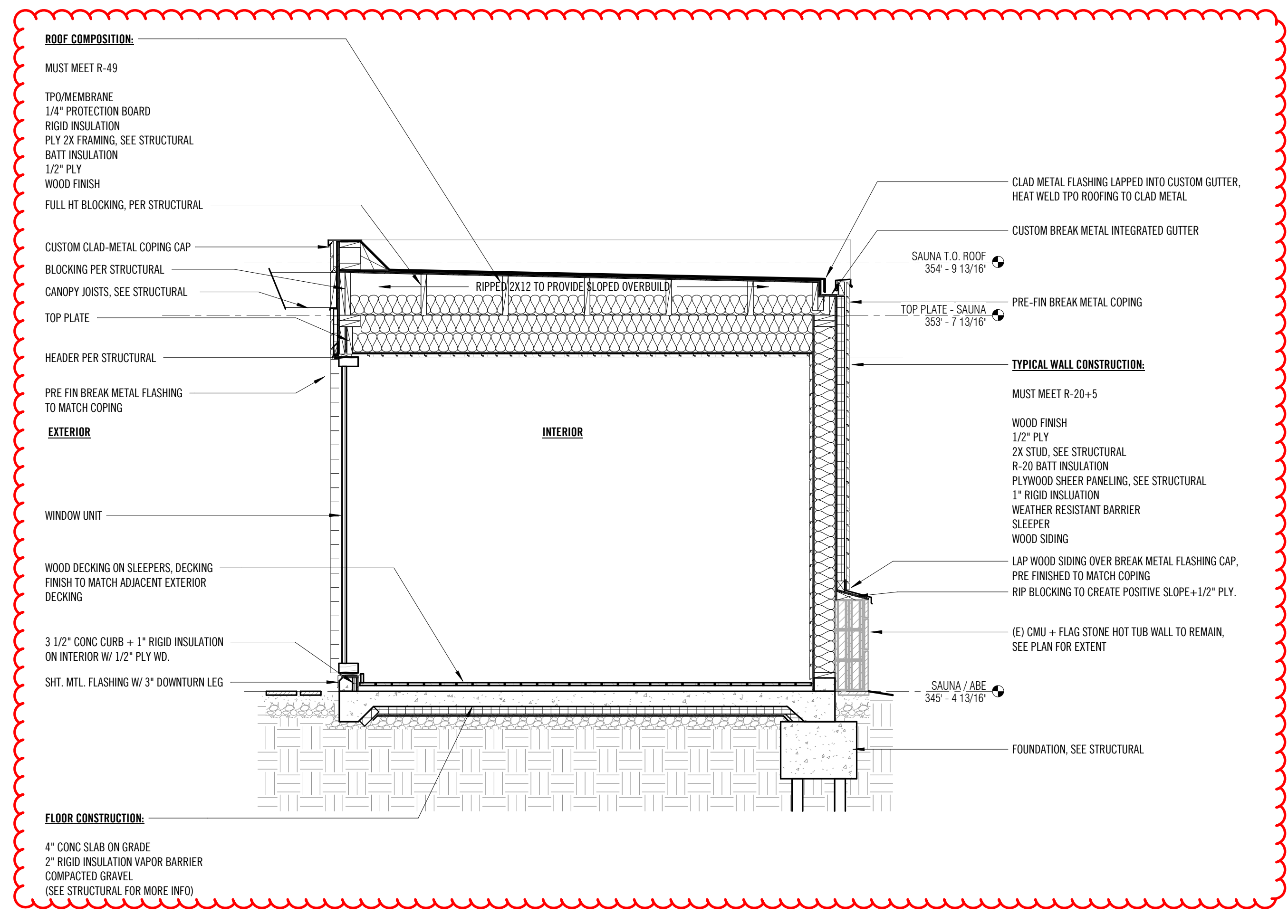
OOA PROJECT #:	2023030
SDCI PROJECT #:	TBD
PLOT DATE:	08.13.2025

ELEVATIONS/SECTIONS

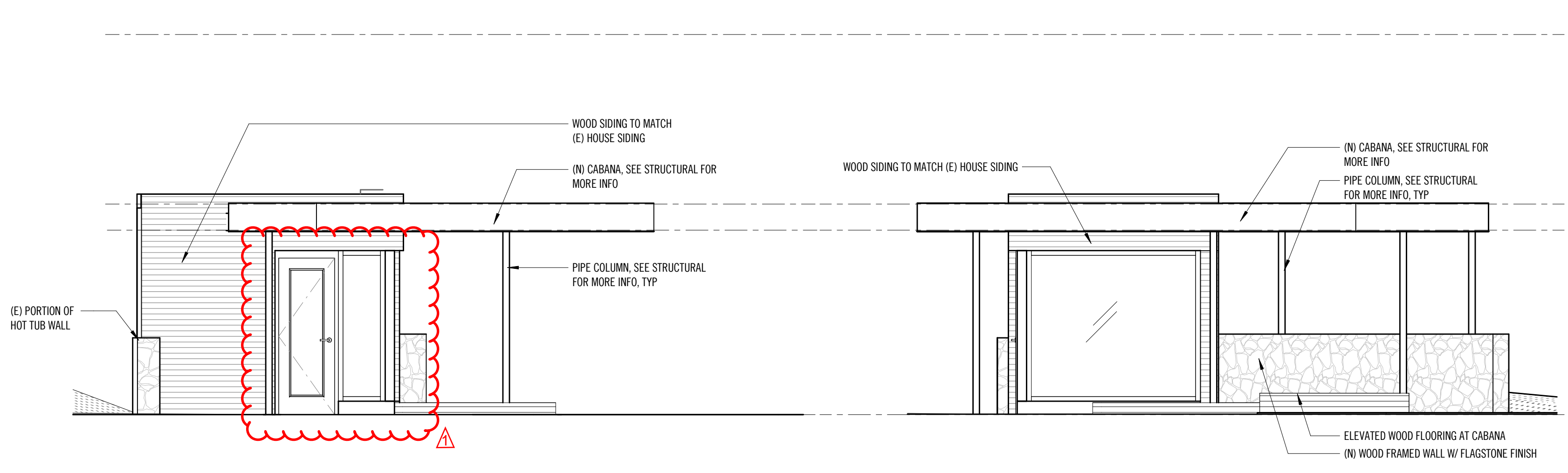
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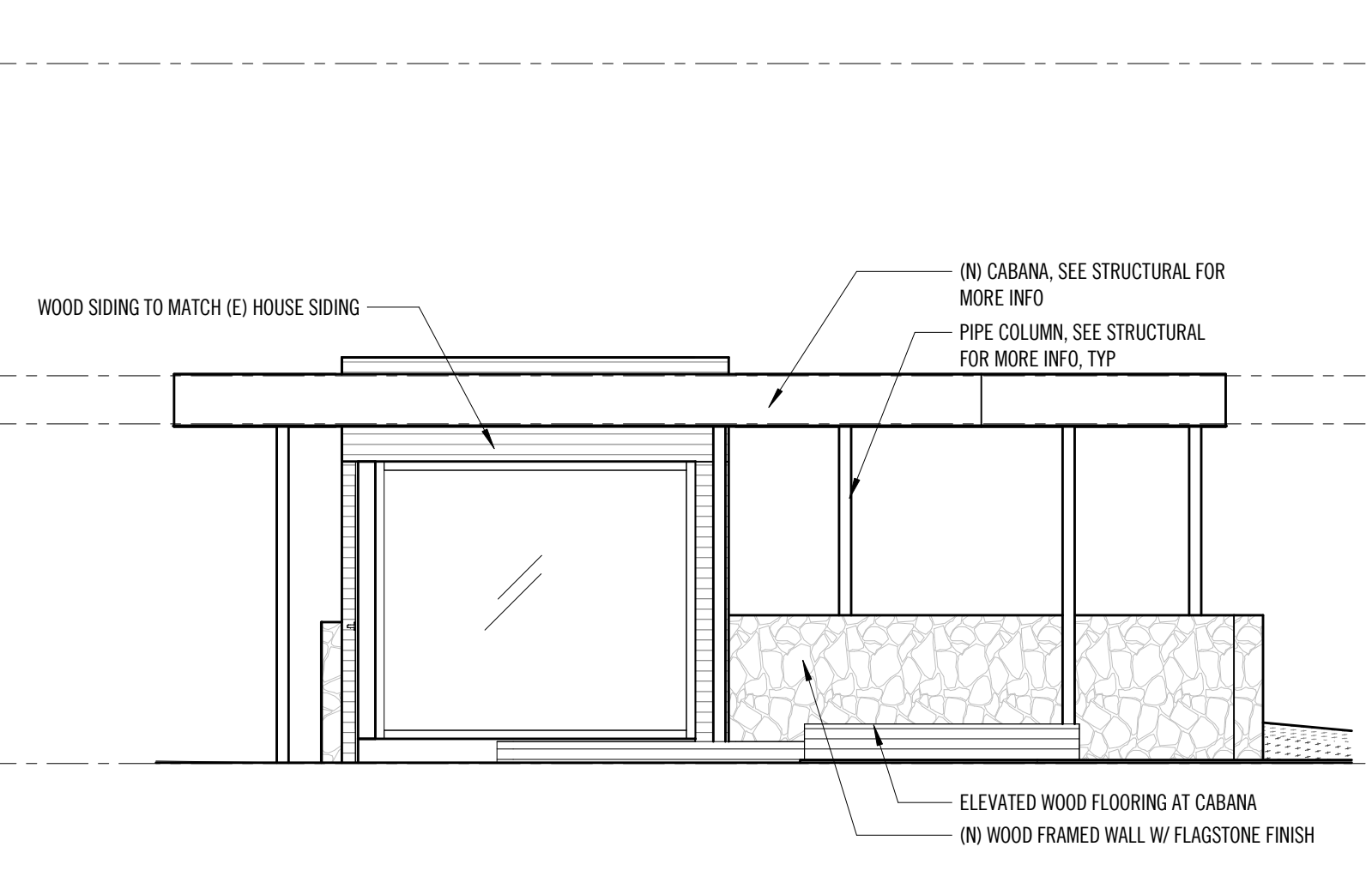
5 SECTION AT CANOPY  
1/2" = 1'-0"



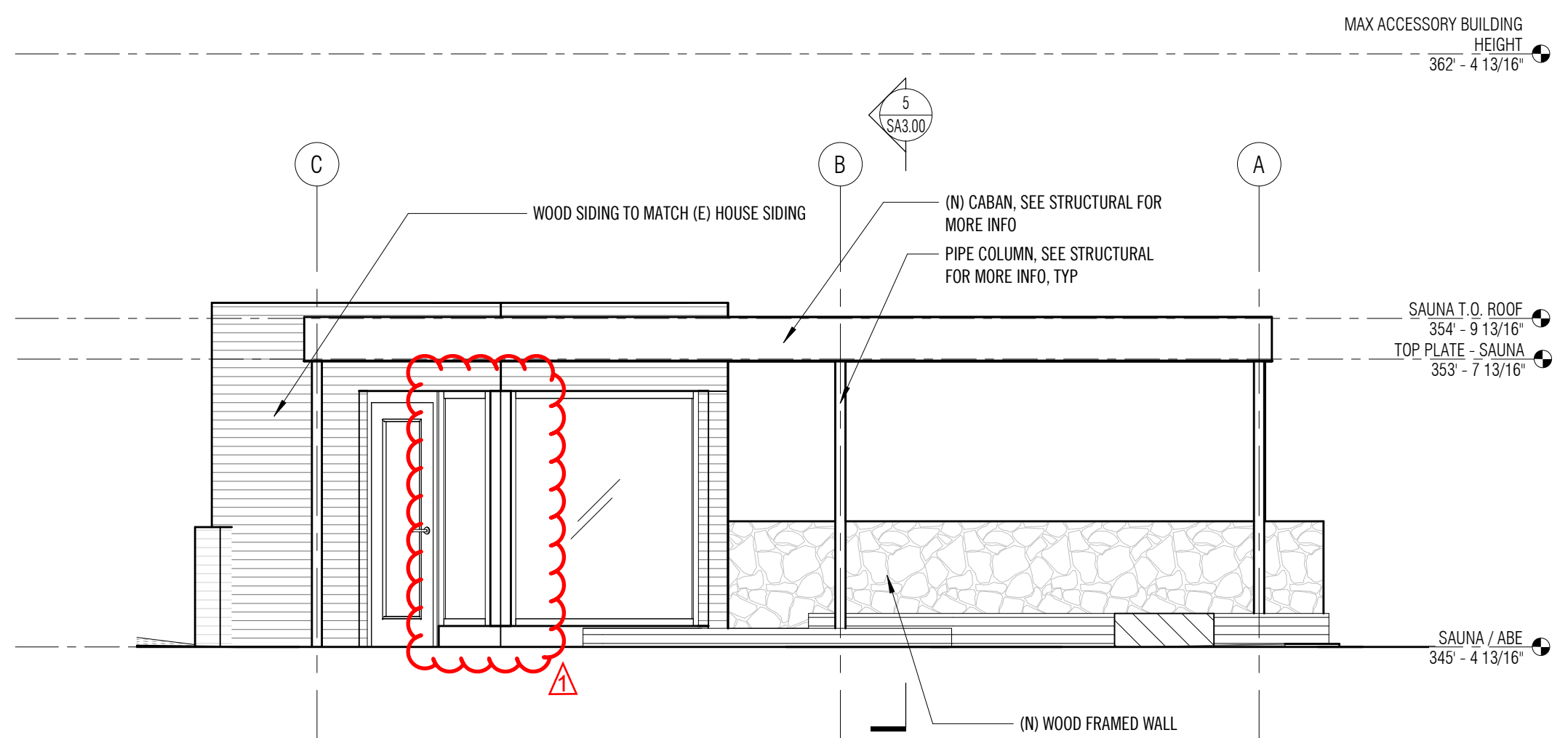
4 TYPICAL BUILDING/WALL SECTION  
1/2" = 1'-0"



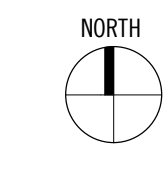
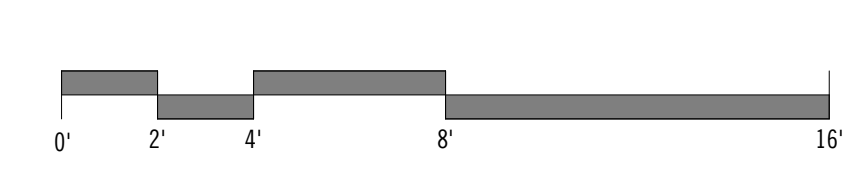
3 SAUNA EAST ELEVATION  
1/4" = 1'-0"



2 SAUNA NORTH ELEVATION A  
1/4" = 1'-0"



1 SAUNA NORTH ELEVATION B  
1/4" = 1'-0"





ALL CONNECTIONS/FASTENERS IN CONTACT WITH PRESERVATIVE-TREATED OR FIRE-RETARDANT-TREATED WOOD, SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL OR STAINLESS STEEL. HOT DIPPED GALVANIZED FASTENERS SHOULD CONFORM TO ASTM STANDARD 153, AND HOT DIPPED GALVANIZED CONNECTORS SHOULD CONFORM TO ASTM STANDARD A653 (CLASS G-185). STAINLESS STEEL FASTENERS AND CONNECTORS SHOULD BE TYPE 304 OR 316. NOTE: ELECTROPLATED GALVANIZED FASTENERS AND CONNECTORS ARE NOT TO BE USED WITH PRESSURE TREATED WOOD. SIMPSON PRODUCT FINISHES CORRESPONDING TO THE ABOVE REQUIREMENTS ARE ZMAX (HOT DIPPED GALVANIZED) AND SST300 (STAINLESS STEEL). STAINLESS STEEL HARDWARE AND FASTENERS SHALL NOT BE COMBINED WITH UNTREATED OR GALVANIZED MATERIAL.

33. **WOOD FASTENERS:**

A. **NAIL SIZES** SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d	3-1/2"	0.162"

DESIGN IS BASED ON COMMON STEEL WIRE NAILS MEETING THE REQUIREMENTS OF ASTM F1667. USE OF ALTERNATE FASTENERS MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER PRIOR TO THE START OF CONSTRUCTION.

B. **NAILS** — PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

34. **WOOD FRAMING NOTES** — THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1 OF THE INTERNATIONAL BUILDING CODE. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE AS SPECIFIED ABOVE. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. INSTALLATION OF BOLTS AND LAG SCREWS SHALL CONFORM TO SECTIONS 12.1.3 AND 12.1.4 OF THE 2018 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. NATURALLY DURABLE OR PRESSURE TREATED WOOD SHALL BE PROVIDED WHERE REQUIRED BY SECTION 2304.12 OF THE INTERNATIONAL BUILDING CODE.

B. WALL FRAMING: ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2X6 AT 16" O.C. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. TWO 2 x 8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED AND SHALL BEAR FULLY ON A MINIMUM OF TWO STUDS. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE SOLID BLOCKING BETWEEN STUDS AT MID-HEIGHT OF ALL STUD WALLS OVER 10' IN HEIGHT.

STUDS MAY BE NOTCHED, CUT, OR PENETRATED WITH ROUND BORED HOLES AS FOLLOWS:

STUD SIZE	MAXIMUM NOTCH / CUT	MAXIMUM BORED HOLE
2X4	7/8"	1-3/8"
2X6	1-3/8"	2-1/8"

BORED HOLES SHALL NOT BE LOCATED WITH 5/8" FROM THE EDGE OF THE STUD OR AT THE SAME LOCATION AS A NOTCH OR CUT.

WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d AT 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS AT 4" O.C. EACH SIDE OF JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16d NAILS AT 12" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS (WITH 7" MINIMUM EMBEDMENT) @ 4'-0" O.C. UNLESS INDICATED OTHERWISE. PROVIDE 3"x3" x1/4" HOT-DIPPED GALVANIZED PLATE WASHERS AT ALL ANCHOR BOLTS. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH 16d NAILS @ 12" O.C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING.

WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES NAILED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH NAILS AT 7" O.C. USE 5d COOLER NAILS FOR 1/2" GWB AND 6d COOLER NAILS FOR 5/8" GWB. PROVIDE 15/32" APA RATED SHEATHING (SPAN RATING 2400) ON EXTERIOR SURFACES NAILED AT ALL PANEL EDGES (BLOCK UNSUPPORTED EDGES), TOP AND BOTTOM PLATES WITH 8d NAILS @ 6" O.C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH NAILS @ 12" O.C. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS.

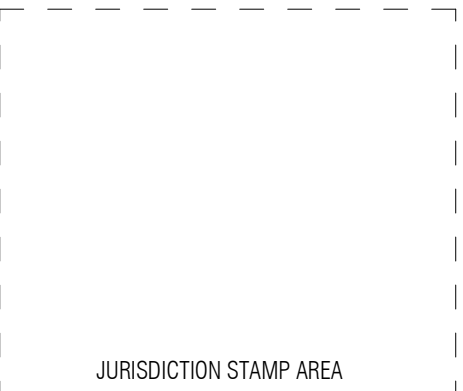
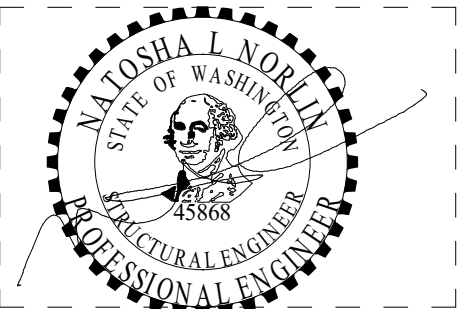
NOTCHES AT THE END OF JOISTS AND RAFTERS SHALL NOT EXCEED 1/4 THE DEPTH OF THE MEMBER. NOTCHES IN THE TOP OR BOTTOM SHALL NOT EXCEED 1/6 THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED WITHIN THE MIDDLE 1/3 OF THE SPAN. THE DIAMETER OF ROUND HOLES BORED IN JOISTS AND RAFTERS SHALL NOT EXCEED 1/3 OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED WITHIN 2" FROM THE TOP OR BOTTOM EDGE.

TOENAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH TWO ROWS OF 16d @ 12" O.C. ATTACH RAFTERS AND ROOF TRUSSES AT BEARING LINES WITH H2.5 @ 24" O.C. UNLESS OTHER METAL CONNECTIONS ARE INDICATED.

UNLESS OTHERWISE NOTED ON THE PLANS, APA RATED ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH STRENGTH AXIS PERPENDICULAR TO SUPPORTS AND ATTACHED WITH 10d NAILS @ 6" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" O.C. TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF ALL ROOF AND FLOOR SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d NAILS @ 12" O.C. UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PANEL EDGES AND FASTEN SHEATHING TO FRAMING/BLOCKING AS SPECIFIED.

OFFICE OF ORDINARY ARCHITECTURE

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YAMAMOTO & LAROSE

PROJECT ADDRESS:  
5245 FOREST AVE, SE  
MERCEY ISLAND, WA 98040

OWNER:  
MIKA YAMAMOTO & ROBERT LAROSE

REVISIONS	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
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OOA PROJECT #:

JURISDICTION PROJECT #:

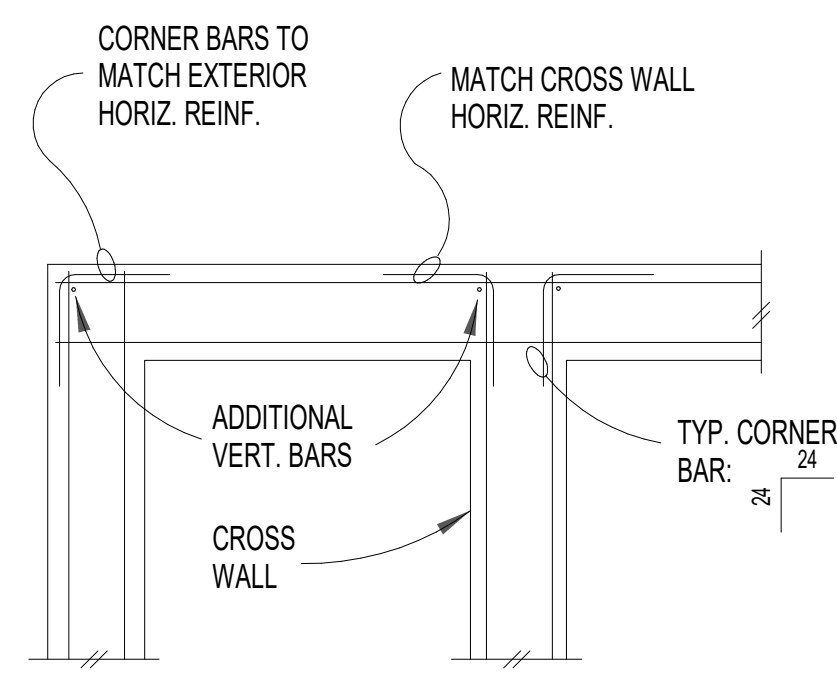
PLOT DATE: 08.11.2025

GENERAL STRUCTURAL NOTES

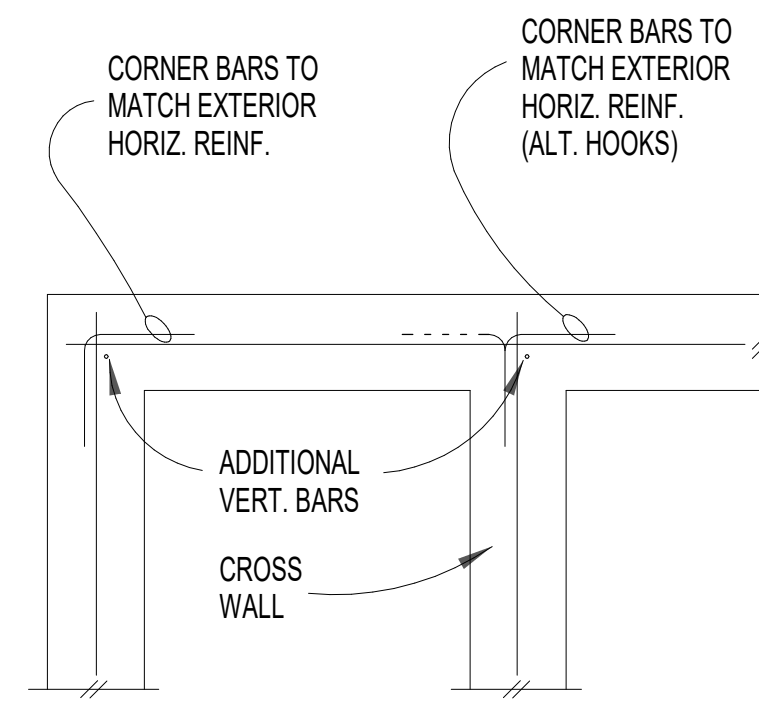
SHEET NO.:

S1.1





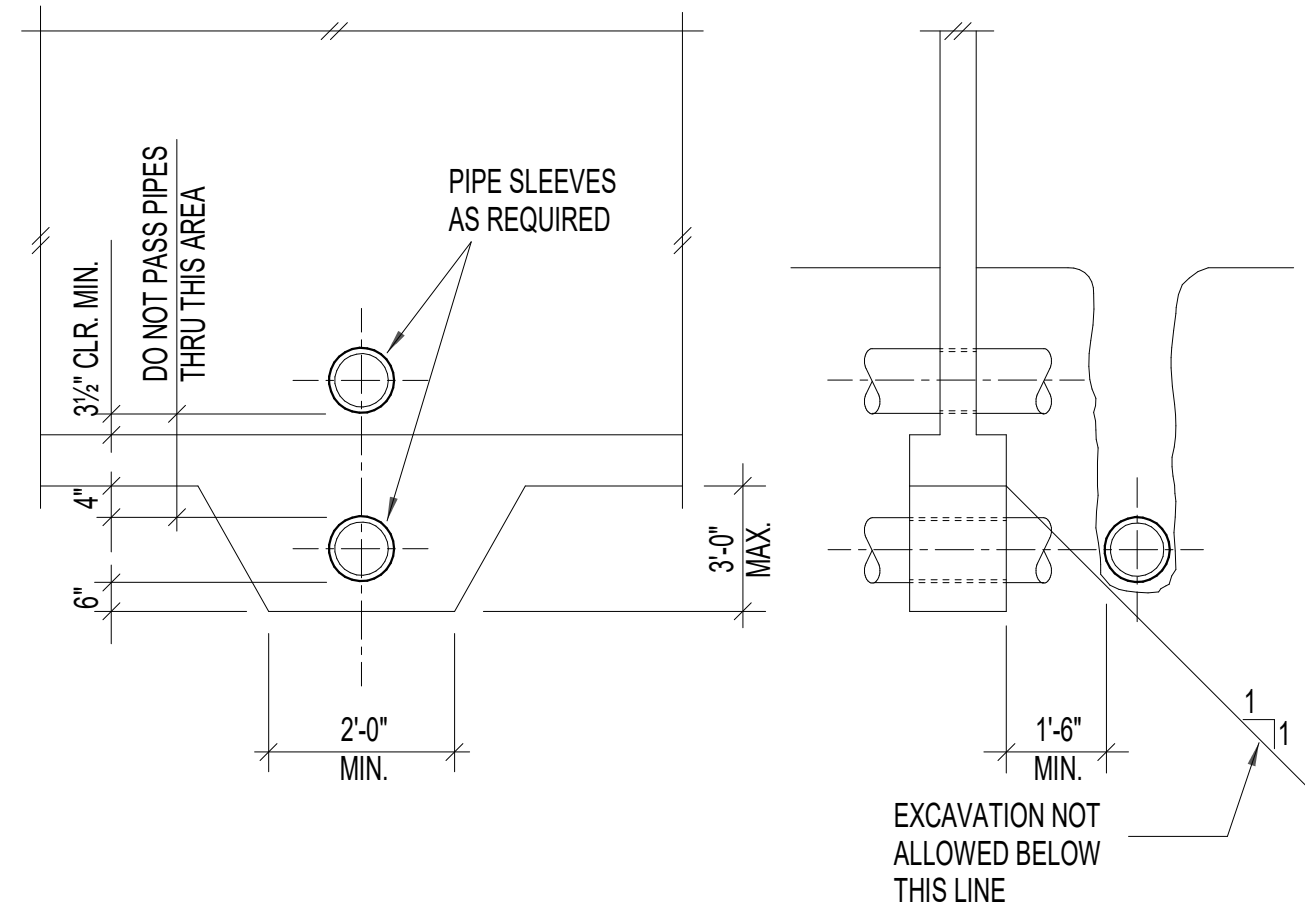
DOUBLE CURTAIN



SINGLE CURTAIN

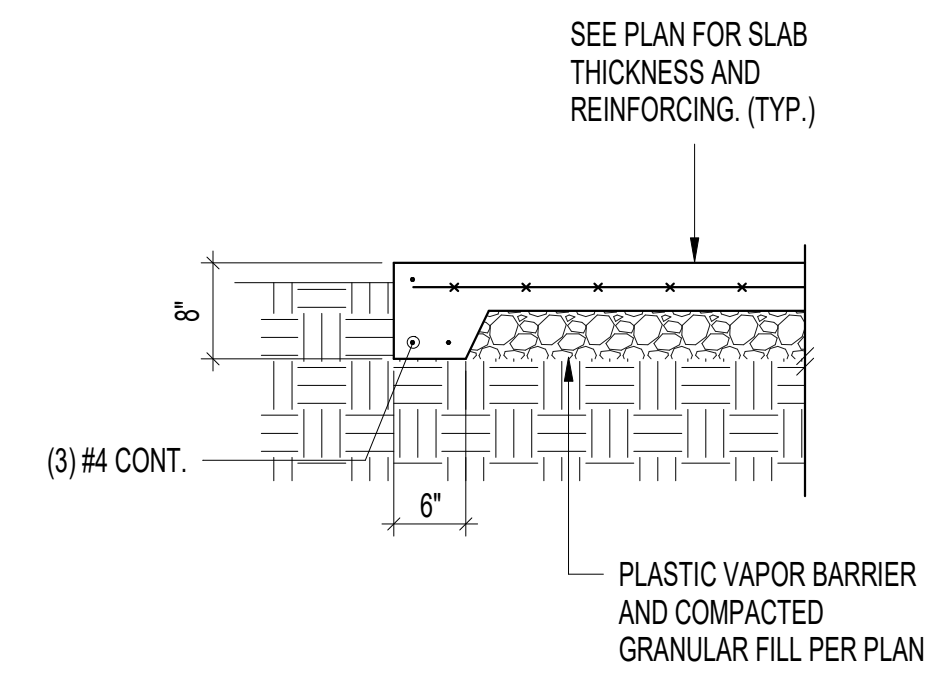
Typical Corner Bars at Concrete Walls

2  
S3.0



Pipe and Trench Location Conditions

3  
S3.0



Typical Slab Edge

4  
S3.0



JURISDICTION STAMP AREA

**YAMAMOTO & LAROSE**

PROJECT ADDRESS:  
5245 FOREST AVE. SE  
MERGER ISLAND, WA 98040

OWNER:  
MIKA YAMAMOTO & ROBERT LAROSE

REVISIONS	DATE	DESCRIPTION

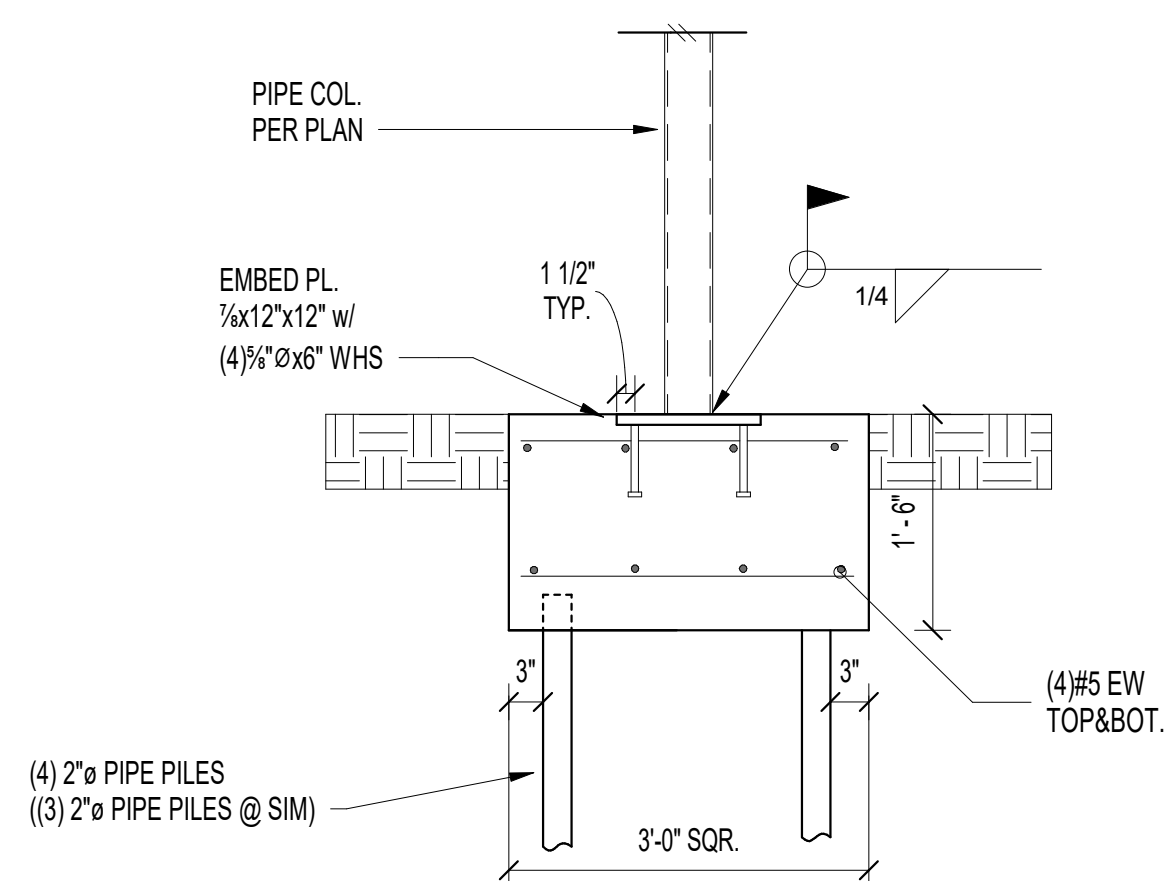
ISSUANCES

DATE	DESCRIPTION

OGA PROJECT #:  
JURISDICTION PROJECT #:  
PLOT DATE: 08.11.2025

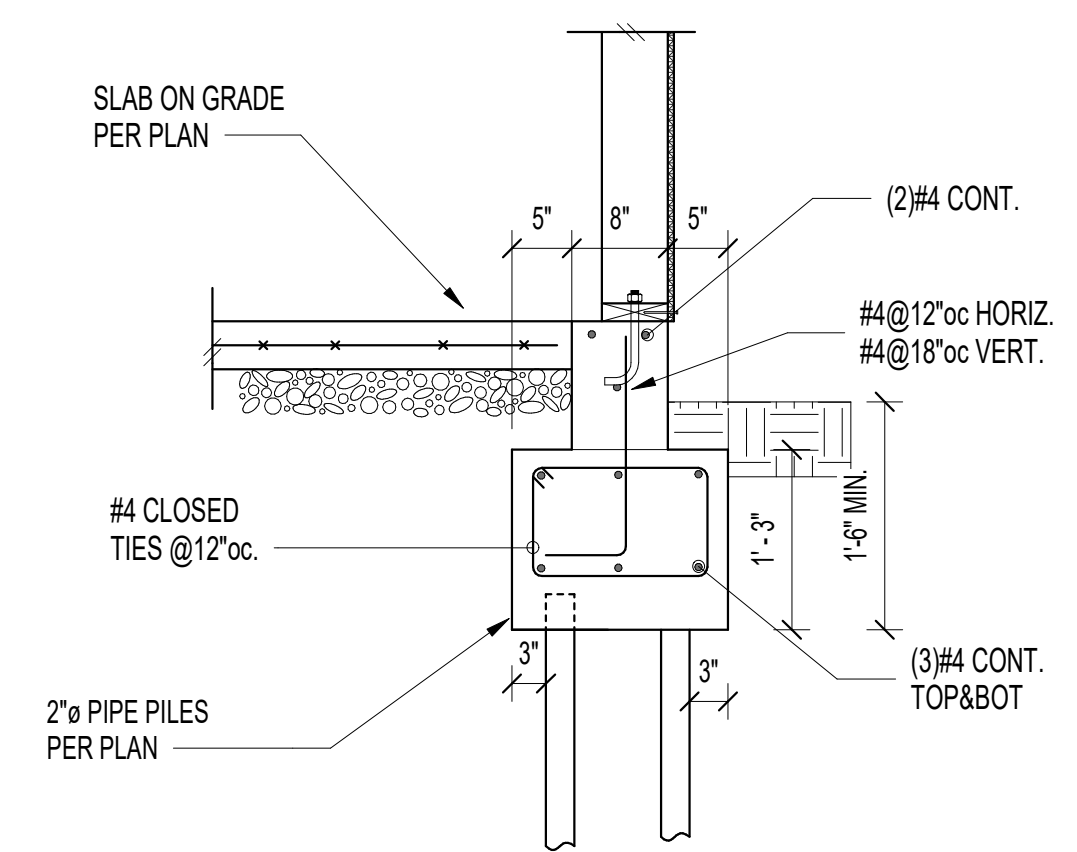
CONCRETE DETAILS

SHEET NO.:



(4) 2" PIPE PILES  
(3) 2" PIPE PILES @ SIM

11  
S3.0



#4 CLOSED TIES @ 12\"/>

2" PIPE PILES PER PLAN

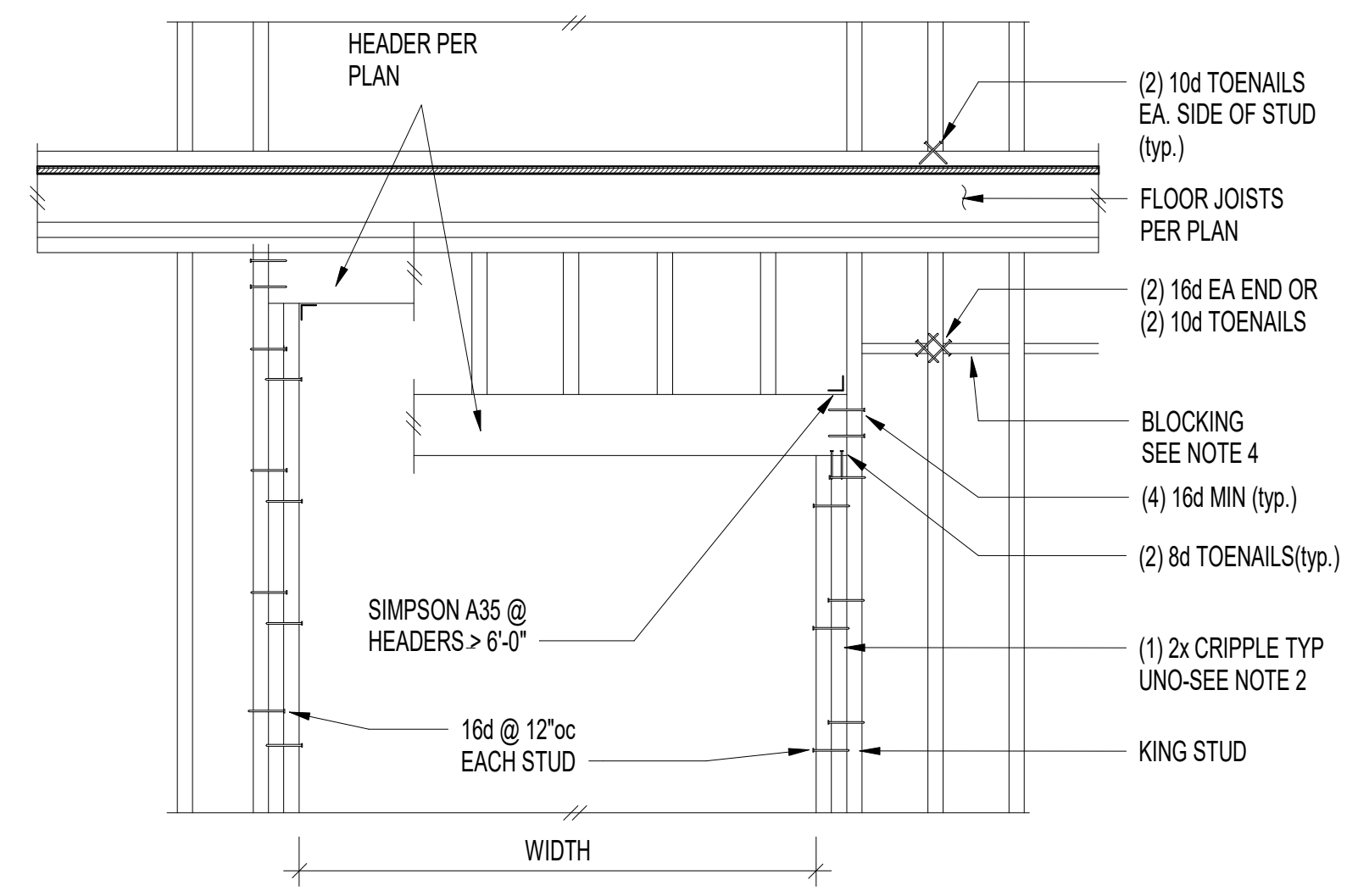
12  
S3.0

**S3.0**



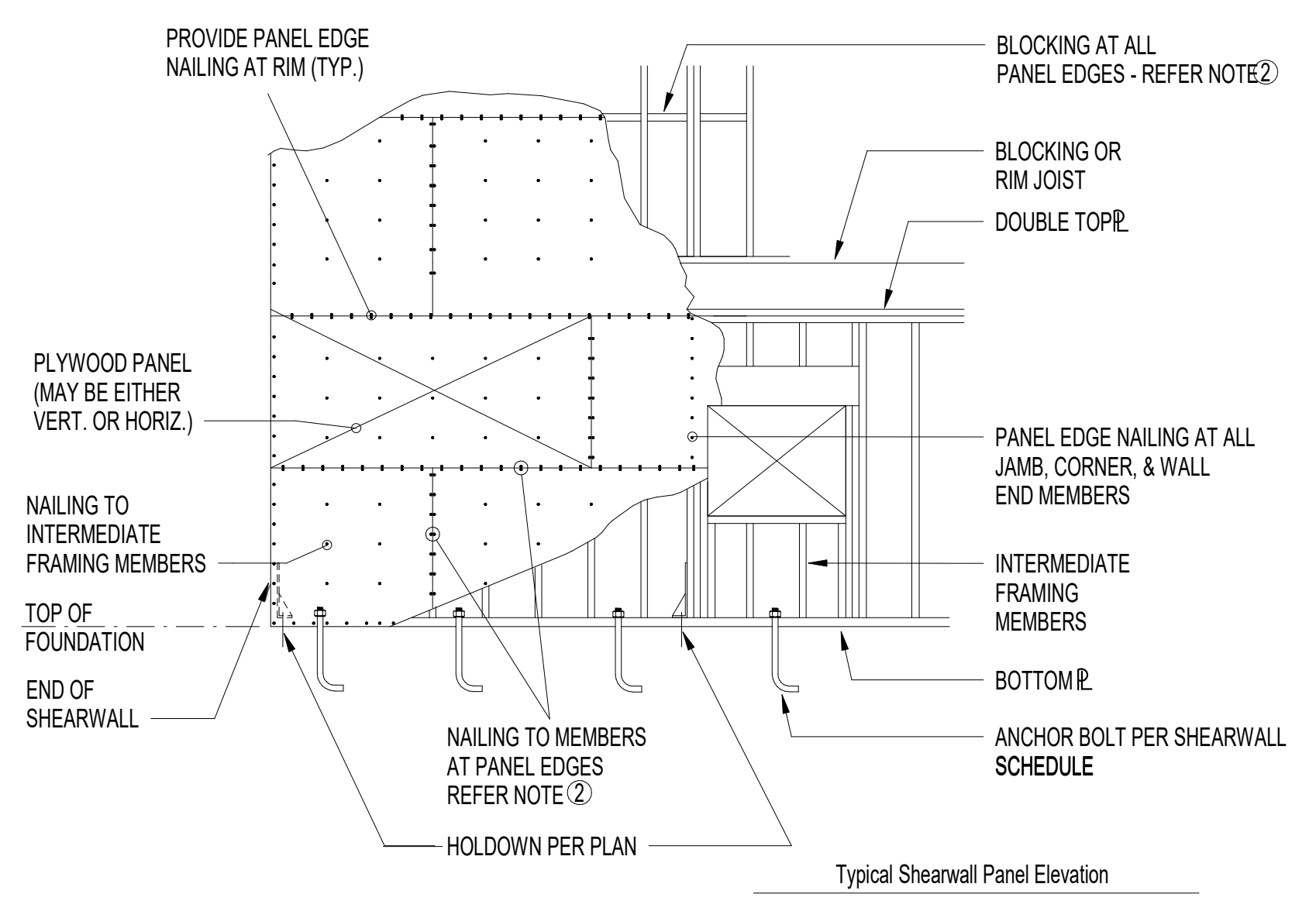
JURISDICTION STAMP AREA

REVISIONS	DATE	DESCRIPTION
1	08.12.2025	CORR. #1



- NOTES:
- HEADERS PER PLAN
  - PROVIDE (2) 2x CRIPPLE STUDS MINIMUM TYPICAL, U.O.N.
  - SEE ARCHITECTURAL DRAWINGS FOR OPENING SIZES AND LOCATIONS
  - 2x SOLID BLOCKING REQUIRED AT CEILING LINE, ALL PANEL EDGES, AND @ 8'-0" oc MAX.

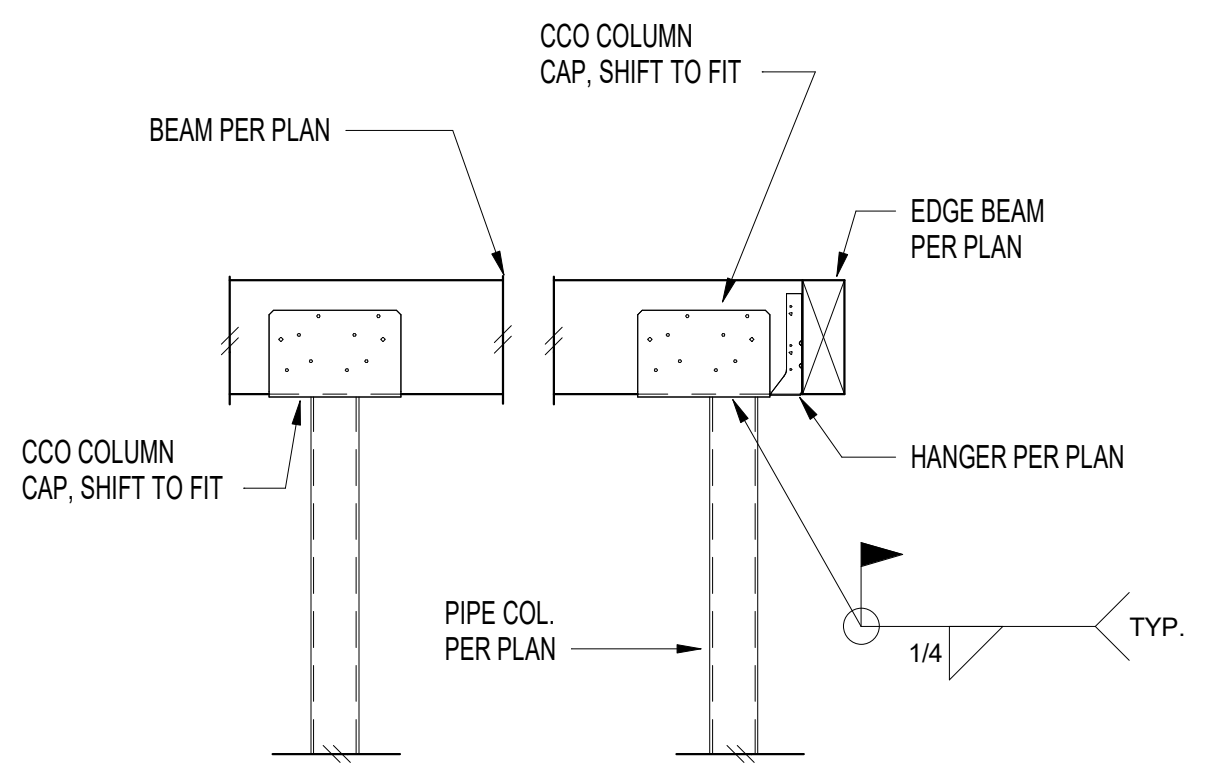
4  
S6.0



SW#	SHEATHING	BLOCKING	PANEL EDGE NAILING ①	ATTACHMENT TO TOP PLATE ②	BOTTOM PLATE ATTACHMENT			CAPACITY (plf) SEISMIC
					RIM BOARD REQ'D	FACENAILING TO WOOD BELOW ③	ANCHOR BOLTING TO CONC. BELOW ④	
SW1	15/32" APA RATED SHEATHING	YES	8d @ 6"oc	CLIP @ 16"oc	2x1 1/2" LSL	NAILS @ 6"oc	3/8" @ 48"oc	240 PLF

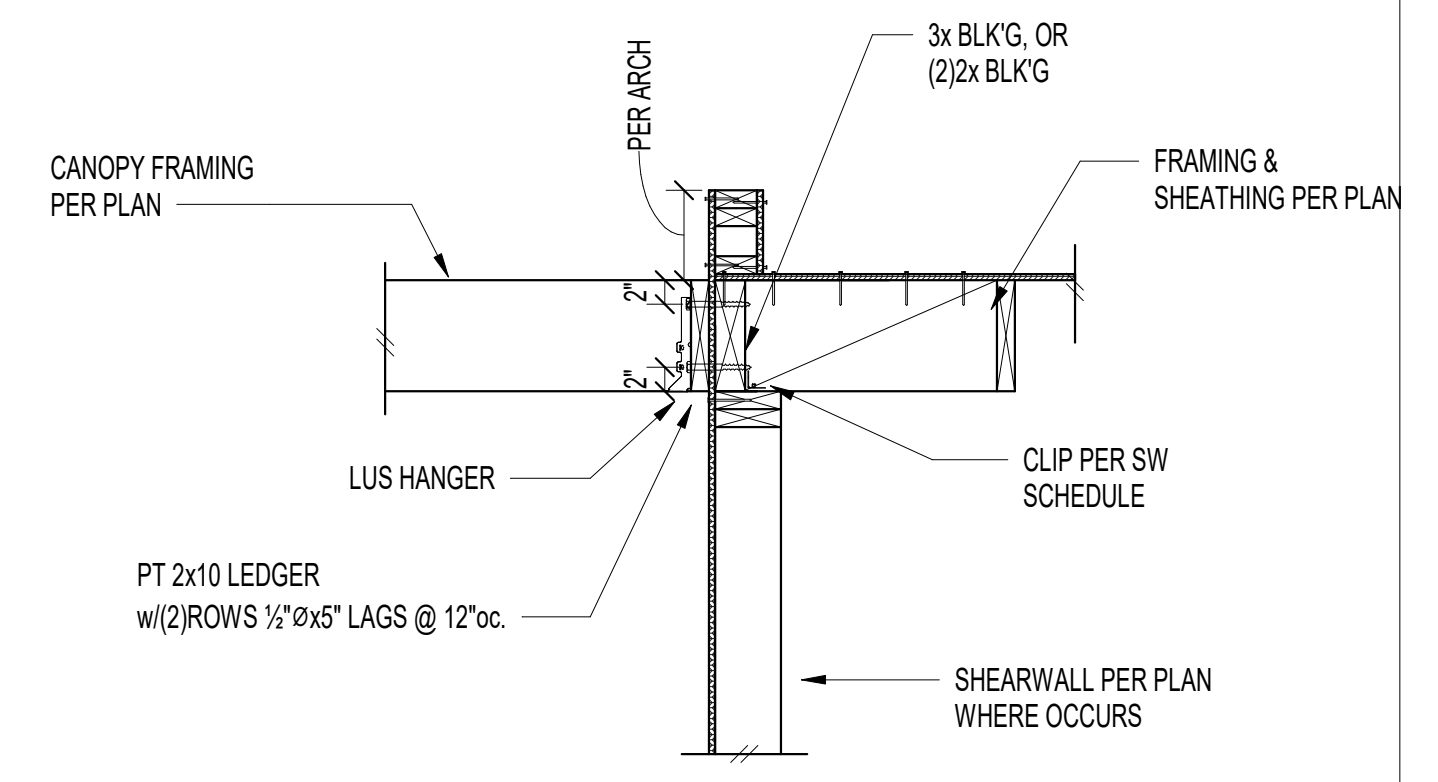
- NAILS SHALL BE 8d COMMON. NAILING APPLIES TO ALL PANEL EDGES (BLOCK ALL UNSUPPORTED PANEL EDGES), TOP & BOTTOM PLATES AND BLOCKING. NAIL TO INTERMEDIATE FRAMING MEMBERS w/8d @ 12"oc.
- CLIP SHALL BE EITHER A35 OR LTP4 NAILS SHALL BE 12d COMMON (0.148" x 3.25")
- SCREWS SHALL BE SIMPSON SDS25300 (1/4" x 5" MIN.)
- PROVIDE 3"x3"x0.229" PLATE WASHER AT ALL ANCHOR BOLTS. ANCHOR BOLTS SHALL BE POSITIONED SUCH THAT PLATE EDGE OF PLATE WASHER IS WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE (PLATE WASHERS MAY BE DIAGONALLY SLOTTED WITH A WIDTH OF UP TO 13/16" AND A LENGTH NOT TO EXCEED 1 1/4")

8  
S6.0



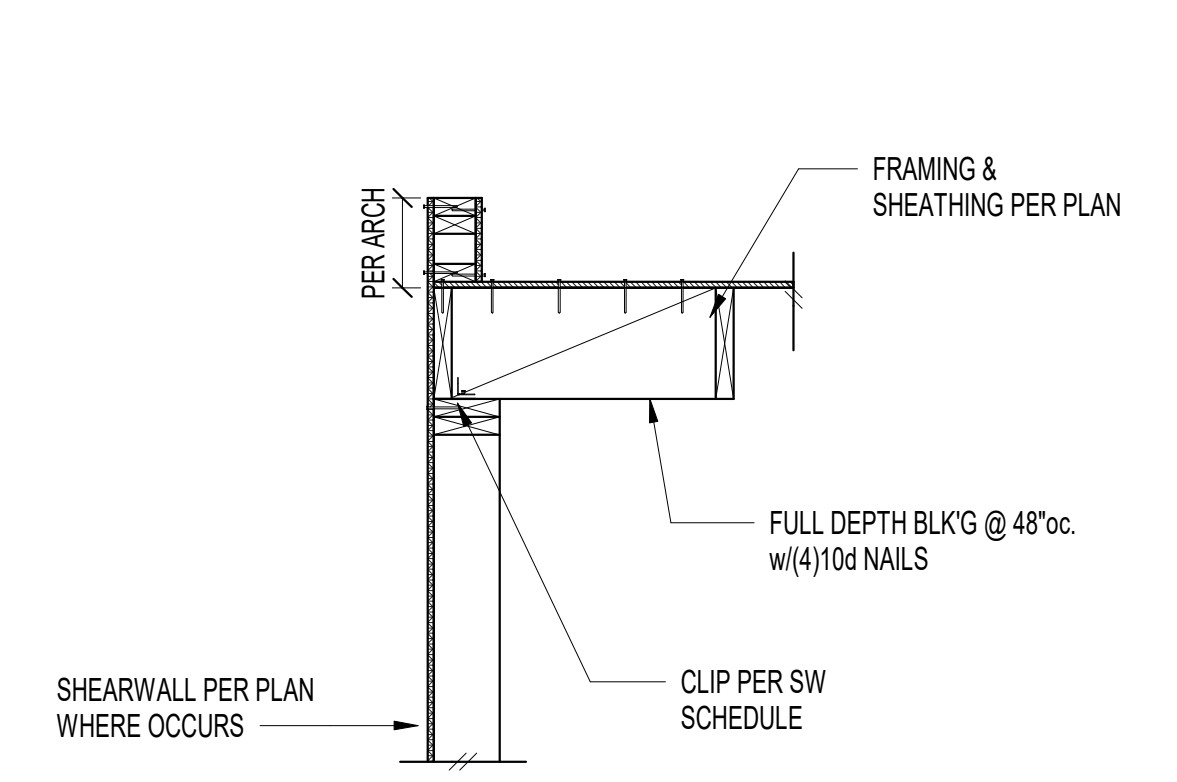
Pipe Column to Beam

9  
S6.0



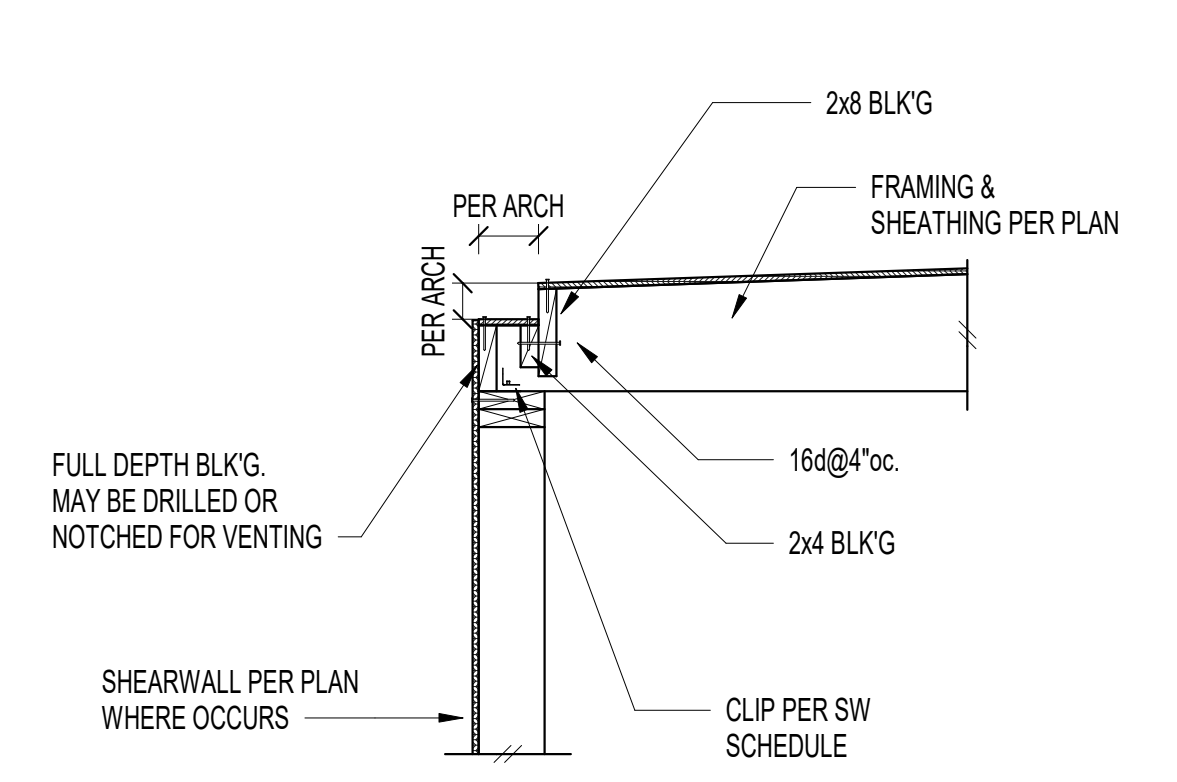
Canopy Ledger

10  
S6.0



Roof - Parallel

11  
S6.0



Roof - Perpendicular

12  
S6.0

ISSUANCES

DATE	DESCRIPTION
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OGA PROJECT #:  
JURISDICTION PROJECT #:  
PLOT DATE: 08.11.2025

WOOD DETAILS

SHEET NO.: