

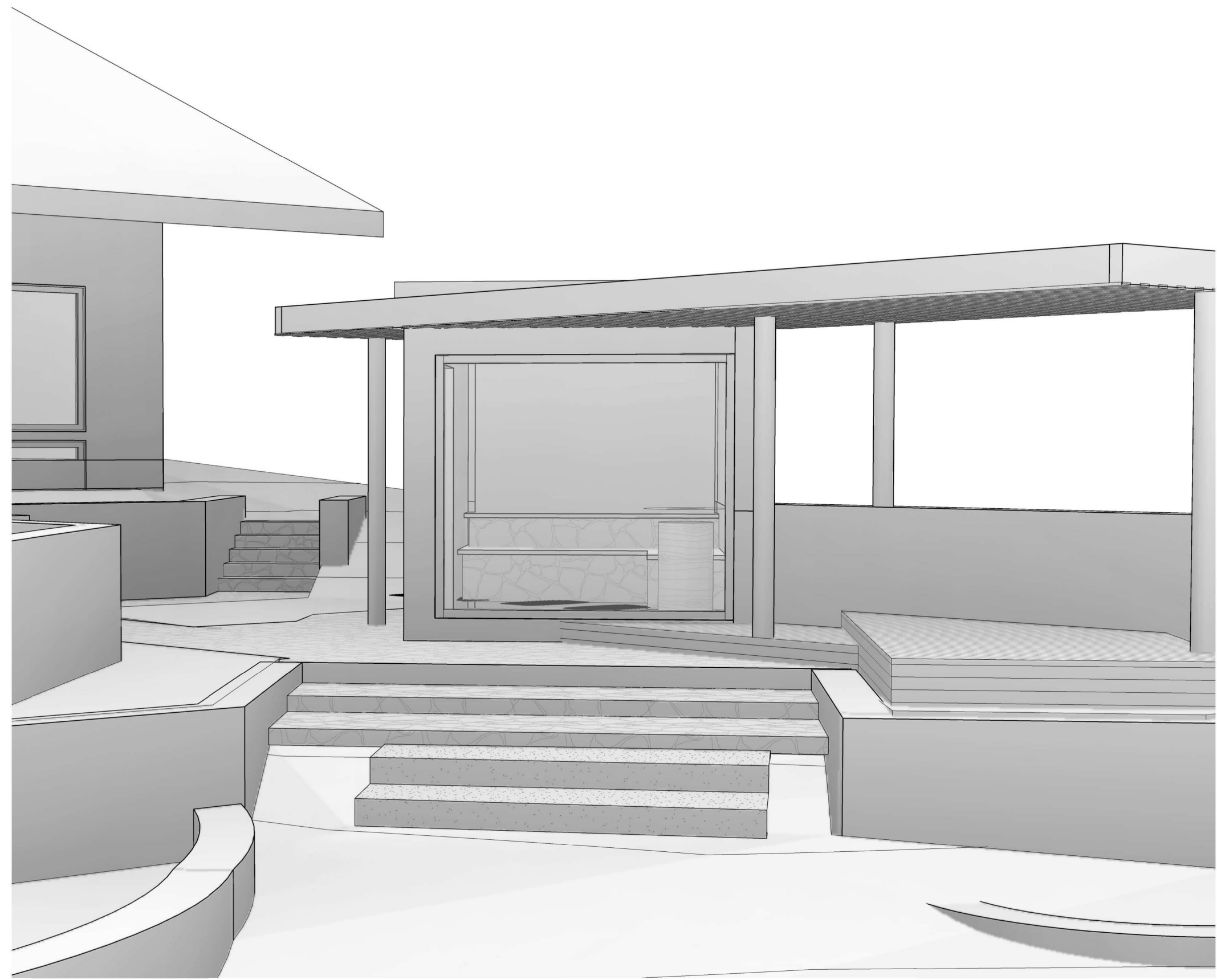
## ABBREVIATIONS

|             |  |
|-------------|--|
| ABV         | ABOVE  |
| AFF         | ABOVE FINISH FLOOR                             |
| ADDL        | ADDITIONAL                                     |
| ADJ         | ADJUSTABLE                                     |
| ALT         | ALTERNATE                                      |
| ARCH        | ARCHITECT, ARCHITECTURAL                       |
| BLW         | BELOW  |
| B5MT        | BASEMENT                                       |
| BTW         | BETWEEN  |
| BLD         | BUILDING                                       |
| CAB         | CABINET  |
| CALC        | CALCULATION                                    |
| CLG         | CEILING  |
| CL          | CENTERLINE                                     |
| CLR         | CLEAR  |
| COL         | COLUMN   |
| CONC        | CONCRETE                                       |
| CONST       | CONSTRUCTION                                   |
| CONT        | CONTINUOUS                                     |
| CONTR       | CONTRACTOR                                     |
| DEMO        | DEMOLISH                                       |
| DIA         | DIAMETER                                       |
| DIM         | DIMENSION                                      |
| DW          | DISHWASHER                                     |
| DBL         | DOUBLE   |
| EA          | EACH   |
| ELEC        | ELECTRIC, ELECTRICIAN                          |
| ELEV        | ELEVATION                                      |
| ENGR        | ENGINEER                                       |
| EQUIV       | EQUIVALENT                                     |
| EXIST / (E) | EXISTING                                       |
| EXT         | EXTERIOR                                       |
| FF          | FINISH FLOOR                                   |
| FIO         | FURNISHED AND INSTALLED BY OWNER               |
| FOIC        | FURNISHED BY OWNER,<br>INSTALLED BY CONTRACTOR |
| FRT         | FIRE RETARDANT                                 |
| GALV        | GALVANIZED                                     |
| GWB         | GYPSUM WALL BOARD                              |
| HDR         | HEADER   |
| HT          | HEIGHT   |
| HORIZ       | HORIZONTAL                                     |
| INSUL       | INSULATION                                     |
| INT         | INTERIOR                                       |
| VLOC        | LOCATE, LOCATION                               |
| MAX         | MAXIMUM  |
| MFR         | MANUFACTURER                                   |
| MECH        | MECHANICAL                                     |
| MTL         | METAL  |
| MIN         | MINIMUM  |
| MO          | MASONRY OPENING                                |
| NTS         | NOT TO SCALE                                   |
| OA          | OVERALL  |
| O.C.        | ON CENTER                                      |
| OPP         | OPPOSITE, OPP HAND                             |
| OSCI        | OWNER SUPPLIED/<br>CONTRACTOR INSTALLED        |
| PLY         | PLYWOOD  |
| PRELIM      | PRELIMINARY                                    |
| PT          | PRESSURE-TREATED                               |
| PL          | PROPERTY LINE                                  |
| REFR        | REFRIGERATOR                                   |
| REIN        | REINFORCE, REINFORCING                         |
| REQD        | REQUIRED                                       |
| RO          | ROUGH OPENING                                  |
| SCHED       | SCHEDULE                                       |
| SF          | SQUARE FOOT                                    |
| SIM         | SIMILAR  |
| SPECS       | SPECIFICATIONS                                 |
| SSTL        | STAINLESS STEEL                                |
| STL         | STEEL  |
| STRUCT      | STRUCTURE, STRUCTURAL                          |
| SW          | SHEAR WALL                                     |
| TEMP        | TEMPORARY                                      |
| TOW         | TOP OF WALL                                    |
| TYP         | TYPICAL  |
| UNO         | UNLESS NOTED<br>OTHERWISE                      |
| US          | UNDER SIDE                                     |
| VIF         | VERIFY IN FIELD                                |
| VERT        | VERTICAL                                       |
| WP          | WEATHERPROOF,<br>WEATHERPROOF                  |
| W/DW        | WINDOW   |
| W/          | WITH   |
| W/O         | WITHOUT  |
| WD          | WOOD   |

## DRAWING SYMBOLS

|  |  |  |  |
|--|--|--|--|
|  | NORTH ARROW                                    |  | DRAWING TITLE                                    |
|  | DRAWING SCALE                                  |  | VIEW TITLE                                       |
|  | SPOT ELEVATION                                 |  | FLOOR ELEVATION DATUM                            |
|  | BUILDING ELEVATION DRAWING NUMBER SHEET NUMBER |  | WINDOW NUMBER<br>EG = EGRESS<br>SG = TEMPERED    |
|  | INTERIOR ELEVATION DRAWING NUMBER SHEET NUMBER |  | DOOR NUMBER                                      |
|  | BUILDING SECTION DRAWING NUMBER SHEET NUMBER   |  | STRUCTURAL DETAIL DRAWING NUMBER SHEET NUMBER    |
|  | WALL SECTION DRAWING NUMBER SHEET NUMBER       |  | ARCHITECTURAL DETAIL DRAWING NUMBER SHEET NUMBER |
|  | DETAIL REFERENCE DRAWING NUMBER SHEET NUMBER   |  | CUT MARK   |
|  | REVISION TAG                                   |  | CENTERLINE                                       |
|  | WALL/FLOOR/ROOF ASSEMBLY TYPE TAG              |  | GRID LINE  |
|  | HOSE BIB                                       |  | SMOKE DETECTOR                                   |
|  | EXHAUST FAN CFM=WHOLE HOUSE FAN                |  | CARBON MONOXIDE ALARM                            |
|  | RAMP ARROW WITH PERCENT SLOPE                  |  | COMBO SMOKE/CARBON MONOXIDE DETECTOR             |
|  | DECK OR ROOF SLOPE                             |  | CLOTHES ROD AND SHELF                            |
|  |  |  | ROOF PITCH RISE:RUN                              |

# YAMAMOTO AND LAROSE - SAUNA



## PROJECT INFORMATION

|                           |   |
|---------------------------|---|
| JURISDICTION PROJECT NO.: | TBD   |
| PROJECT ADDRESS:          | 5245 FOREST AVE SE MERCER ISLAND, WA 98040  |
| ASSESSOR PARCEL NO.:      | 141030-0005   |
| LEGAL DESCRIPTION:        | CARRS LAKE SIDE ADD LOT 3 & SH LDS ADJ MERCER ISLAND SHORT PLAT NO 87-07-25 REC NO 8402239002 SD SHORT PLAT DAF - LOTS 1 & 2 SD ADD |
| PROJECT DESCRIPTION:      | SAUNA & CABANA STRUCTURE TO BE CONSTRUCTED IN PLACE OF EXISTING HOT TUB STRUCTURE   |

## APPLICABLE CODE REFERENCES

- 2021 International Residential Code (IRC)
- 2021 International Mechanical Code (IMC)
- 2021 Uniform Plumbing Code (UPC)
- 2021 International Fire Code (IFC)
- Washington State Energy Code (WSEC)

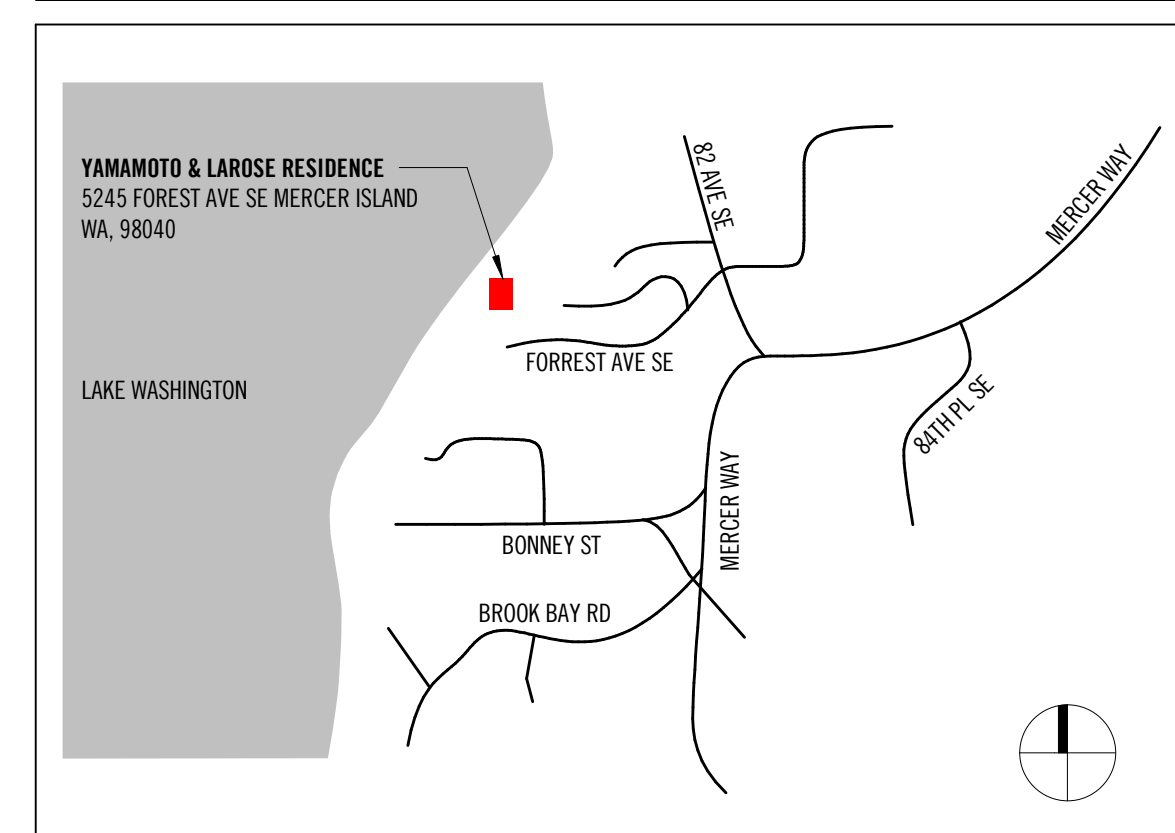
## PROJECT TEAM

|             |  |
|-------------|--|
| OWNER:      | CONTACT: MIKA YAMAMOTO<br>ROBERT LAROSE<br>5245 FOREST AVE SE<br>MERCER ISLAND, WA 98040<br>t: 612.961.1151<br>robert.larose@gmail.com   |
| ARCHITECT:  | OFFICE OF ORDINARY ARCHITECTURE<br>CONTACT: SANDY WOLF, AIA<br>1521 30TH AVE S<br>SEATTLE, WA 98144<br>t: 206.457.3382<br>sandy@officeofordinaryarch.com<br>www.officeofordinaryarch.com |
| CONTRACTOR: | THOMAS JACOBSON CONSTRUCTION<br>CONTACT: THOMAS JACOBSON<br>1367 31ST AVE S<br>SEATTLE, WA 98144<br>t: 206-720-1800<br>WACL #: THOMASJACOBSON<br>thomasj@thomasjacobson.com              |

## SHEET INDEX

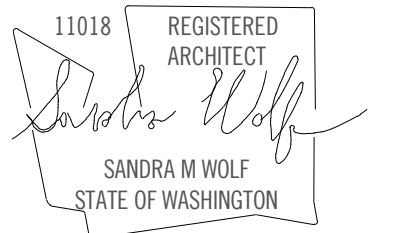
|        |                          |
|--------|--------------------------|
| SA0.00 | COVER SHEET              |
| SA0.01 | PROJECT INFORMATION      |
| SA0.02 | CODE DIAGRAMS            |
| SA0.03 | TREE PLAN                |
| SA0.04 | SURVEY                   |
| SA1.00 | SITE PLAN                |
| SA2.00 | PLANS                    |
| SA3.00 | ELEVATIONS               |
| S1.0   | GENERAL STRUCTURAL NOTES |
| S1.1   | GENERAL STRUCTURAL NOTES |
| S2.0   | SAUNA PLANS              |
| S3.0   | CONCRETE DETAILS         |
| S6.0   | WOOD DETAILS             |

## VICINITY MAP



OFFICE OF ORDINARY  
ARCHITECTURE

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YAMAMOTO & LAROSE

PROJECT ADDRESS:  
5245 FOREST AVE SE MERCER  
ISLAND, WA 98040

OWNER:  
MIKA YAMAMOTO & ROBERT LAROSE

| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
|----------|------|-------------|

### ISSUANCES

| DATE | DESCRIPTION |
|------|-------------|
|------|-------------|

|                 |            |
|-----------------|------------|
| OOA PROJECT #:  | 2023030    |
| SDCI PROJECT #: | TBD        |
| PLOT DATE:      | 05.29.2025 |

### COVER SHEET

SHEET NO.:

SA0.00

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## RESIDENTIAL ENERGY CODE SUMMARY

REFERENCE: 2021 WSEC ENERGY CODE

**R401.3 COMPLIANCE CERTIFICATE.** A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH SEC 401.3 IS REQUIRED TO BE COMPLETED BY A DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM, OR APPROVED LOCATION INSIDE THE BUILDING.

**TABLE R402.1.1 INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT FOR CLIMATE ZONE MARINE 4**

|                               |                         |
|-------------------------------|-------------------------|
| FENESTRATION U-FACTOR         | 0.30                    |
| SKYLIGHT U-FACTOR             | 0.50                    |
| CEILING R-VALUE               | R-49                    |
| VAULTED CEILING R-VALUE       | R-38 <sup>1</sup>       |
| WOOD-FRAMED WALL R-VALUE      | **R-20+R-5 OR R-13+R-10 |
| BELOW-GRADE WALL R-VALUE      | **10/15/21 + 5TB        |
| FLOOR R-VALUE                 | R-30                    |
| SLAB ON GRADE R-VALUE & DEPTH | ***R-10, 2 FT           |

INT - (INTERMEDIATE FRAMING) DENOTES STANDARD FRAMING 16 INCHES ON CENTER WITH HEADERS INSULATED WITH A MINIMUM OF R-10 INSULATION.

\*THE FIRST VALUE IS CAVITY INSULATION, THE SECOND IS CONTINUOUS INSULATION.

\*\*\* 10/15/21 + 5TB\* MEANS R-10 CONTINUOUS INSULATION ON THE EXTERIOR OF THE WALL, OR R-15 CONTINUOUS INSULATION ON THE INTERIOR OF THE WALL, OR R-21 CAVITY INSULATION PLUS A THERMAL BREAK BETWEEN THE SLAB AND THE BASEMENT WALL AT THE INTERIOR OF THE BASEMENT WALL. \*10/15/21 +1B\* SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE WALL. \*5TB\* MEANS R-5 THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL.

\*\*\* R-10 CONTINUOUS INSULATION IS REQUIRED UNDER HEATED SLAB (I.E. RADIANT FLOOR HEATED) ON GRADE FLOORS.

<sup>1</sup> FOR SINGLE OR RAFTER – OR JOIST-VAULTED CEILINGS, THE INSULATION MAY BE REDUCED TO R-38 IF THE FULL INSULATION DEPTH EXTENDS OVER THE TOP PLATE OF THE EXTERIOR WALL.

**R402.4 BUILDING AIR LEAKAGE AND TESTING**

THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE AND BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE BELOW 4 AIR CHANGES PER HOUR.

## CONTRACT GENERAL NOTES

- ALL WORK SHALL BE IN COMPLIANCE WITH THE 2015 WASHINGTON STATE EXISTING BUILDING CODE, 2015 WASHINGTON STATE BUILDING CODE, 2015 WASHINGTON STATE ENERGY CODE, AND ALL OTHER LAWS, CODES, ORDINANCES AND REGULATIONS OF THE CITY, COUNTY, STATE, AND FEDERAL JURISDICTIONS. (CURRENT EDITION)
- THE LOCATION OF ALL EXISTING UTILITIES (BELOW GRADE AND ABOVE) MUST BE VERIFIED PRIOR TO COMMENCING WORK, IN ORDER TO MINIMIZE POSSIBLE DAMAGE AND DISRUPTION TO THE PROJECT AND OTHER TENANTS ON SITE. GENERAL CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITIES USING INDUSTRY STANDARD METHODS, AND/OR AS DETERMINED OR DIRECTED AT A PRE-CONSTRUCTION SITE MEETING. DAMAGE THAT MAY BE CAUSED BY THE ACTIONS OF THE GENERAL CONTRACTOR OR A SUBCONTRACTOR SHALL BE REPAIRED BY THAT ENTITY TO CONDITIONS AND FUNCTIONALITY PRE-DATING THE DAMAGE.
- CONTRACTOR SHALL REVIEW PROJECT DOCUMENTS AND EXISTING CONDITIONS ON SITE, AND SHALL INFORM ARCHITECT OF ANY DISCREPANCIES WITH CONDITIONS OBSERVED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND JOB CONDITIONS RELATED TO THE WORK.
- DRAWINGS INDICATE THE INTENT OF CONSTRUCTION. THE METHOD OF CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY AT ALL STAGES OF CONSTRUCTION.
- WRITTEN DIMENSIONS ARE INDICATED TO THE FACE OF GYPSUM WALL BOARD, UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS; USE WRITTEN DIMENSIONS ONLY.** ALL DIMENSIONS SHALL BE CONSIDERED "NOMINAL" UNLESS NOTED OTHERWISE. DIMENSIONS ON LARGE SCALE DRAWINGS OR DETAILS SHALL PREVAIL OVER SMALLER SCALED DRAWINGS. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCKOUTS, BLOCKING, AND JACKS AS REQUIRED BY THE DRAWINGS AND OTHER TRADES. ANY DISCREPANCY IN DIMENSIONS SHALL BE REPORTED IN WRITING TO THE ARCHITECT FOR CLARIFICATION, OR APPROVAL OF MODIFICATION PRIOR TO COMMENCING WORK.
- INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S LITERATURE AND INSTALLATION GUIDELINES. PROVIDE ALL BUCKOUTS, BLOCKING, AND JACKS AS REQUIRED BY THE DRAWINGS, AND FOR THE PROPER INSTALLATION OF ACCESSORIES, EQUIPMENT, FIXTURES, ETC. PROVIDE ALL MISCELLANEOUS FASTENERS, HARDWARE AND ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION, EVEN THOUGH SUCH ITEMS MAY NOT HAVE BEEN SPECIFICALLY CALLED OUT IN THE DRAWINGS AND SPECIFICATIONS. NOTIFY THE ARCHITECT OF ANY REVISIONS OR ADDITIONAL INFORMATION OBTAINED FROM THE MANUFACTURER OF SPECIFIED MATERIALS OR EQUIPMENT WHICH MAY AFFECT THE CONTRACT TIME, COST OR QUALITY OF WORK.
- ANY CONTRACTOR OR SUBCONTRACTOR CUTTING INTO EXISTING BUILDING COMPONENTS AND/OR WORK ALREADY COMPLETED, (INCLUDING CUTTING CHASES AND/OR TRENCHES FOR SUB-CONTRACTOR'S WORK OR EQUIPMENT), SHALL BE RESPONSIBLE FOR ALL BACK FILLING, REPAIRATION OF ALL BUILDING COMPONENTS AND SURFACES IMPACTED BY SUCH WORK. ALL REPAIRS SHALL BE PERFORMED SO AS TO MATCH EXISTING SURFACES.
- PROVIDE PRESSURE-TREATED WOOD WHERE IN CONTACT WITH MASONRY OR CONCRETE, OR EXPOSED TO WEATHER.
- CAULKING AND SEALANTS: INSTALLED SHALL BE GUARANTEED WATERTIGHT. EXTERIOR METAL WORK, INCLUDING WINDOWS AND DOOR FRAMES AND ALL JUNCTIONS BETWEEN MASONRY, CONCRETE AND METAL SHALL BE SEALED WITH NEOPRENE OR POLYURETHANE FILLER AND APPROVED SEALANT COMPOUNDS.
- PROVIDE GALVANIC SEPERATION BETWEEN ALL DISSIMILAR METALS.
- WATER PIPES SHALL BE INSULATED IN ALL UNHEATED AREAS. INSULATE ALL ROUGH-IN PLUMBING IN WALLS, FLOORS, AND CEILINGS FOR SOUND TRANSMISSION.
- A MINIMUM OF 90 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.

## GENERAL CONDITIONS

- THE OWNER SHALL BE RESPONSIBLE FOR PAYING FOR THE BUILDING PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED OR NECESSARY FOR THE COMPLETION OF THE WORK, FROM THE RESPECTIVE JURISDICTIONS OR AGENCIES. THE CONTRACTOR SHALL NOTIFY THE GOVERNING AGENCIES AS REQUIRED FOR INSPECTIONS, ETC.
- THE CONTRACT FOR CONSTRUCTION SHALL INCLUDE ALL THE COST OF ACQUISITION FOR ALL NECESSARY AND REQUIRED PERMITS, LICENSES, FEES, BONDS, AND INSURANCE. CONTRACTOR SHALL
- INSURANCE: THE GENERAL CONTRACTOR SHALL DELIVER TO THE OWNER CERTIFICATES OF INSURANCE FOR BOTH COMPREHENSIVE GENERAL LIABILITY AND WORKMAN'S COMPENSATION, PRIOR TO THE COMMENCEMENT OF WORK. SAID CERTIFICATES SHALL INCLUDE THE TOTAL AMOUNT OF COVERAGE, AND ANY ADDITIONAL CONDITIONS STIPULATED AND AGREED BY BOTH PARTIES. CERTIFICATES SHALL NAME PROJECT OWNER'S LANDLORD/MANAGEMENT COMPANY AS ADDITIONAL INSURED, IF SO REQUESTED BY PROJECT OWNER.
- THE GENERAL CONTRACTOR SHALL SUBMIT PARTIAL LIEN WAIVERS WITH EACH MONTHLY REQUISITION. THE GENERAL CONTRACTOR, ALL SUB-CONTRACTORS AND ALL MAJOR SUPPLIERS SHALL SUBMIT ALL "RELEASE OF LIENS" FOR WORK PERFORMED, WITHIN 30 DAYS OF THE DATE OF SUBSTANTIAL COMPLETION, IN ORDER FOR THE OWNER TO RELEASE FINAL PAYMENT.
- ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF CERTIFICATE OF OCCUPANCY, UNLESS INDICATED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING OR REPAIRING ITS OWN DEFECTIVE WORK AS WELL AS PAY ALL COSTS INCIDENTAL THERETO, INCLUDING DAMAGE TO OTHER WORK, FURNISHINGS, OR EQUIPMENT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCESS AND SECURITY FOR THE PROJECT SITE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF ALL MATERIALS AT THE PROJECT SITE UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBCONTRACTORS WORKING AT JOB SITE AND FOR ALL COORDINATION OF WORK.
- THE MECHANICAL, PLUMBING AND ELECTRICAL SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE FINAL HOOK-UP OF ALL FIXTURES, EQUIPMENT, ETC. INDICATED ON THE DRAWINGS, WHETHER FURNISHED BY THEM OR NOT.
- NO SUBSTITUTIONS ARE ALLOWED FOR MATERIALS WHERE SPECIFIC MANUFACTURERS ARE INDICATED, UNLESS APPROVED BY THE ARCHITECT AND/OR OWNER. REQUESTS FOR SUBSTITUTIONS SHALL BE MADE IN WRITING PRIOR TO ORDERING MATERIALS OR COMMENCING WORK. SUCH REQUESTS SHALL INCLUDE THE DATE, SCOPE OF WORK, ANY ADDITIONAL COSTS TO THE OWNER, AND ANY ANTICIPATED DELAYS CAUSED BY SUCH CHANGES.
- NO EXTRA WORK OR CHANGE SHALL BE MADE UNLESS A WRITTEN CHANGE ORDER IS SUBMITTED AND SIGNED BY THE OWNER AND ARCHITECT. THE ORDER SHALL STATE THAT THE OWNER HAS AUTHORIZED THE EXTRA WORK OR CHANGE, AND NO CLAIM FOR AN ADDITIONAL SUM SHALL BE VALID UNLESS SO OFFERED AS DESCRIBED ABOVE.

## CONTRACT DIMENSION NOTES

- DO NOT SCALE THE DRAWINGS. LARGE SCALE DIMENSIONS GOVERN SMALL SCALE DIMENSIONS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS, PRIOR TO PROCEEDING WITH WORK.
- AT NEW CONSTRUCTION, ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, CENTER LINE OF COLUMNS, AND CENTERLINE OF WINDOWS AND DOORS, UNO
- AT EXISTING CONSTRUCTION, DIMENSIONS ARE TO FINISH FACE OF MATERIALS, UNO
- SITE PLAN DIMENSIONS UNACCOMPANIED BY A LICENSED SURVEY IN THE POSTED DRAWING SET ARE CONSIDERED APPROXIMATE AND FOR REFERENCE ONLY.
- GRAPHIC SCALES ARE PROVIDED FOR REFERENCE ONLY. WHERE DRAWINGS OF DIFFERENT SCALES ARE PROVIDED ON THE SAME SHEET, GRAPHIC SCALES ARE REMOVED FOR CLARITY.
- DIMENSIONS WITH ACCOMPANYING TEXT (E.G. CLEAR, HOLD, EQUAL) SHALL BE VERIFIED IN FIELD. ANY CHANGES TO THESE DIMENSIONS REQUIRE APPROVAL BY ARCHITECT.

## CARBON MONOXIDE DETECTORS

**SRC R315.1 CARBON MONOXIDE ALARMS**

FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS AND ON EACH LEVEL OF THE DWELLING IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. ALL ALARMS ARE TO BE HARDWIRED AND INTERCONNECTED.

## SMOKE DETECTORS

**SRC R314.3 SMOKE ALARMS**

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

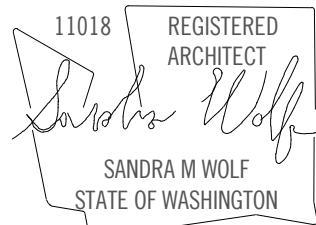
- IN EACH SLEEPING ROOM
- OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
- ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWLSPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER FLOOR SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVE.

SMOKE DETECTORS TO BE HARDWIRED, INTERCONNECTED, WITH BATTERY BACKUP PER SRC R314.4.

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YAMAMOTO & LAROSE

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ISLAND, WA 98040

OWNER:  
MIKA YAMAMOTO & ROBERT LAROSE

| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
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ISSUANCES

| DATE | DESCRIPTION |
|------|-------------|
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00A PROJECT #: 2023030

SDCI PROJECT #: TBD

PLOT DATE: 05.29.2025

PROJECT INFORMATION

SHEET NO.:

SA0.01



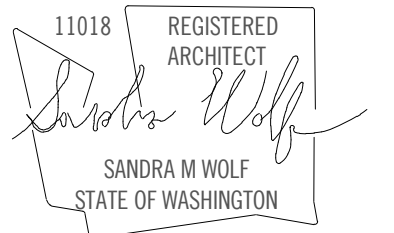


## LAND USE/ZONING CODE SUMMARY

|                                       |   |
|---------------------------------------|---|
| <b>ZONE:</b>                          | R-15  |
| <b>LOT SIZE:</b>                      | 18,002 SF   |
| <b>LOT COVERAGE PERMITTED:</b>        | 40% (LOT SLOPE 13.9%) 7,200 SF  |
| <b>EXISTING:</b>                      | 8,824 SF  |
| <b>REMAINING:</b>                     | -1,623 SF REMAINING - NO INCREASE TO EXISTING NONCONFORMITY PROPOSED. SEE LOT COVERAGE DIAGRAM FOR LOT COVERAGE TO BE REMOVED |
| <b>FRONT SETBACKS</b>                 |   |
| <b>REQUIRED:</b>                      | 20'-0"  |
| <b>PROPOSED:</b>                      | NO CHANGE TO EXISTING NONCONFORMING   |
| <b>SIDE SETBACKS</b>                  |   |
| <b>REQUIRED:</b>                      | THE SUM SHOULD BE AT LEAST 17% OF LOT WIDTH (97.9 x 17% = 16.64'), MINIMUM 7'-6" (LOTS OVER 6000 SF WITH GABLED ROOF)         |
| <b>PROPOSED:</b>                      | SOUTH YARD: 7.50'<br>NORTH YARD: 9.14'  |
| <b>REAR SETBACKS</b>                  |   |
| <b>REQUIRED:</b>                      | 25'-0"  |
| <b>PROPOSED:</b>                      | NO CHANGE TO EXISTING NONCONFORMING   |
| <b>HEIGHT LIMIT ALLOWED:</b>          | 30'-0" - NO CHANGE PROPOSED   |
| <b>GROSS FLOOR AREA:</b>              |   |
| <b>REQUIRED:</b>                      | 7,200 SF (40% OF LOT AREA)  |
| <b>PROPOSED:</b>                      | 6,958 SF (SEE DIAGRAM ON SHEET SA1.00)  |
| <b>HARDSCAPE CALCULATIONS:</b>        |   |
| <b>ALLOWED:</b>                       | 1,620 SF (9% OF LOT AREA)   |
| <b>EXISTING:</b>                      | 2,245 SF (12.4% OF LOT AREA)  |
| <b>PROPOSED:</b>                      | 2,199 SF (15 SF REMOVED, 9 SF ADDED) 12.2%<br>SEE HARDSCAPE DIAGRAM FOR PROPOSED HARDSCAPE TO BE REMOVED                      |
| <b>PARKING PROPOSED:</b>              | NO ALTERATION PROPOSED  |
| <b>ENVIRONMENTALLY CRITICAL AREA:</b> | POTENTIAL LANDSLIDE HAZARD, EROSION HAZARD, SEISMIC HAZARD  |

## ACCESSORY BUILDING ZONING CODE SUMMARY

|                                |   |
|--------------------------------|---|
| <b>GROSS FLOOR AREA:</b>       | NOT TO EXCEED 25% OF TOTAL GROSS FLOOR AREA ALLOWED |
| <b>ALLOWED:</b>                | 7,200 SF x 25% = 1,800 SF                           |
| <b>EXISTING:</b>               | 730 SF  |
| <b>REMAINING:</b>              | 1,070 SF  |
| <b>PROPOSED:</b>               | 109 SF  |
| <b>ACCESSORY HEIGHT LIMIT:</b> |   |
| <b>ALLOWED:</b>                | 17' TO HIGHEST POINT OF ROOF                        |
| <b>PROPOSED:</b>               | 10'-1" TO HIGHEST POINT OF ROOF                     |



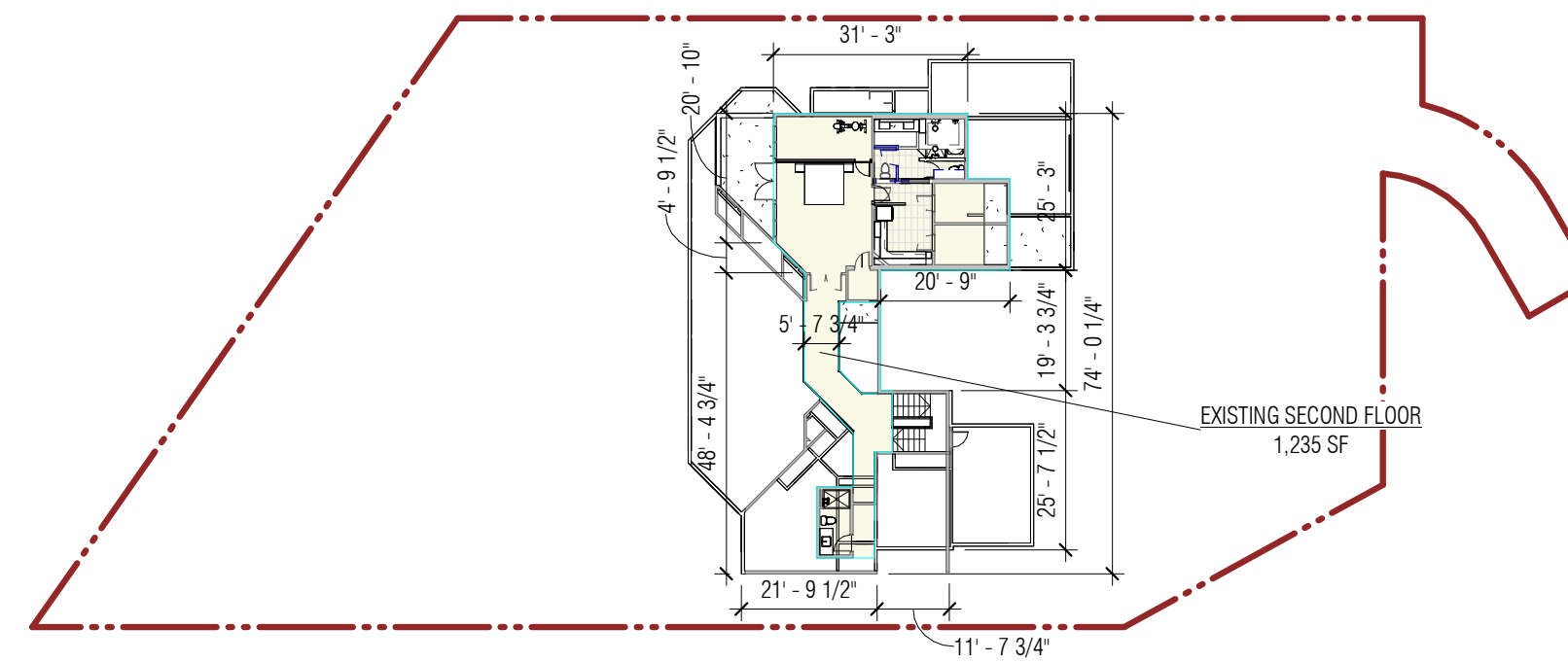
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| <b>OOA PROJECT #:</b>  | 2023030    |
| <b>SDCI PROJECT #:</b>   | TBD        |
| <b>PLOT DATE:</b>  | 05.29.2025 |

### SITE PLAN

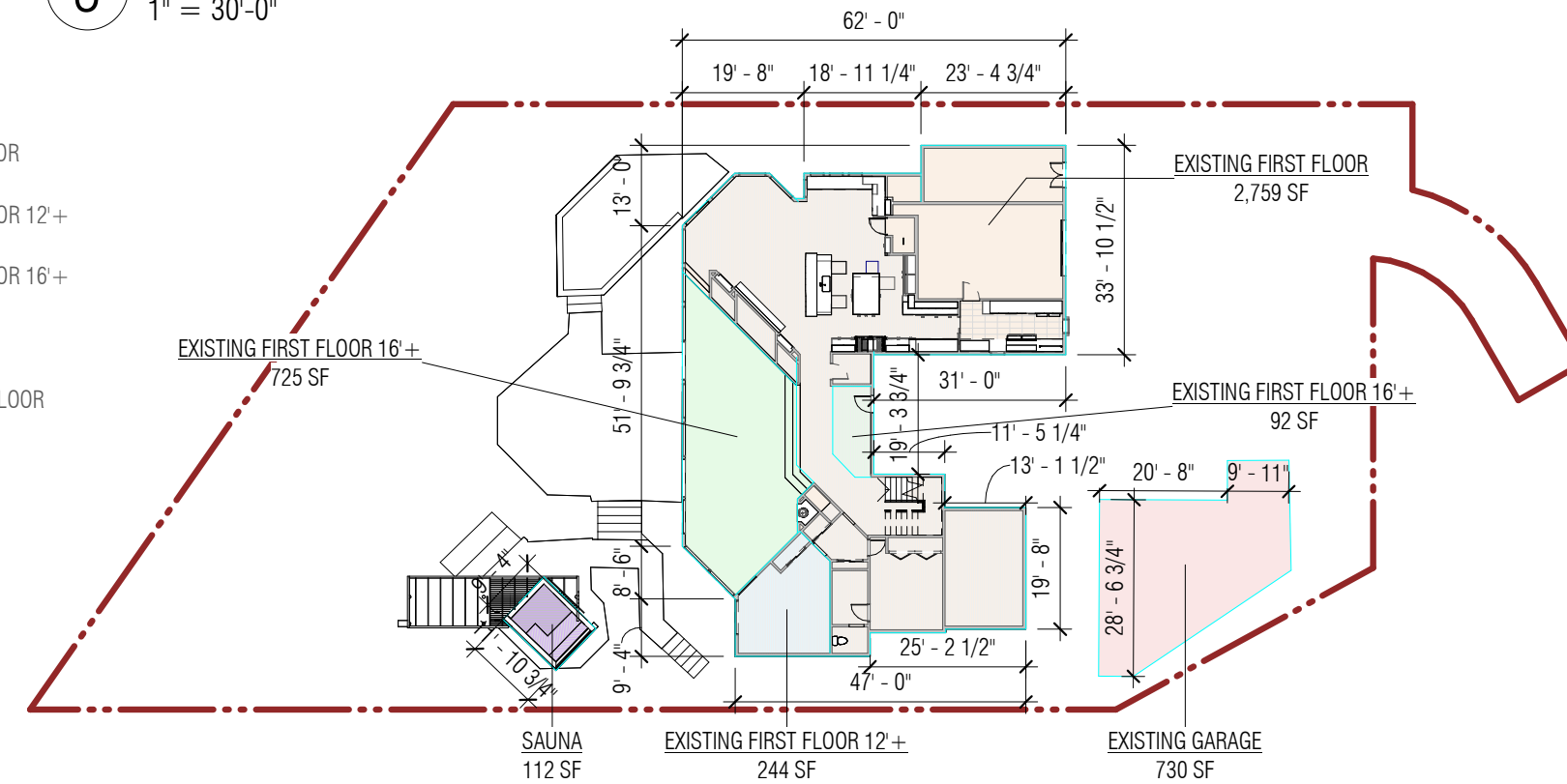
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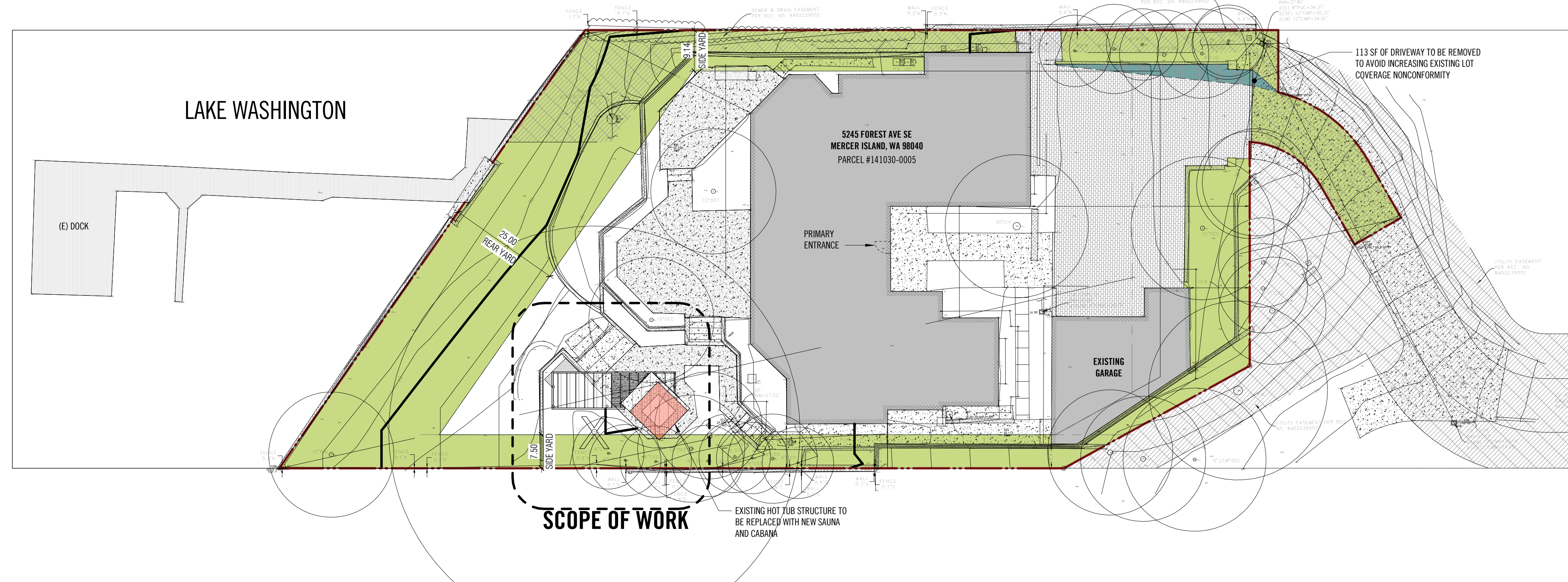
**3 LEVEL 2 GFA**  
1" = 30'-0"

### GFA LEGEND

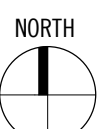
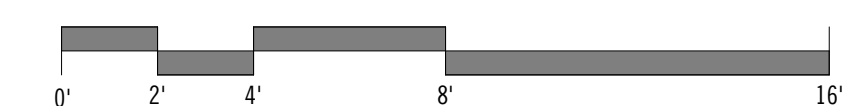
- EXISTING FIRST FLOOR
- EXISTING FIRST FLOOR 12+
- EXISTING FIRST FLOOR 16+
- EXISTING GARAGE
- EXISTING SECOND FLOOR
- SAUNA

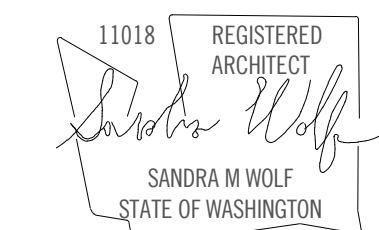


**2 LEVEL 1 GFA**  
1" = 30'-0"



**1 ARCHITECTURAL SITE PLAN - PROPOSED**  
1/16" = 1'-0"





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ISSUANCES

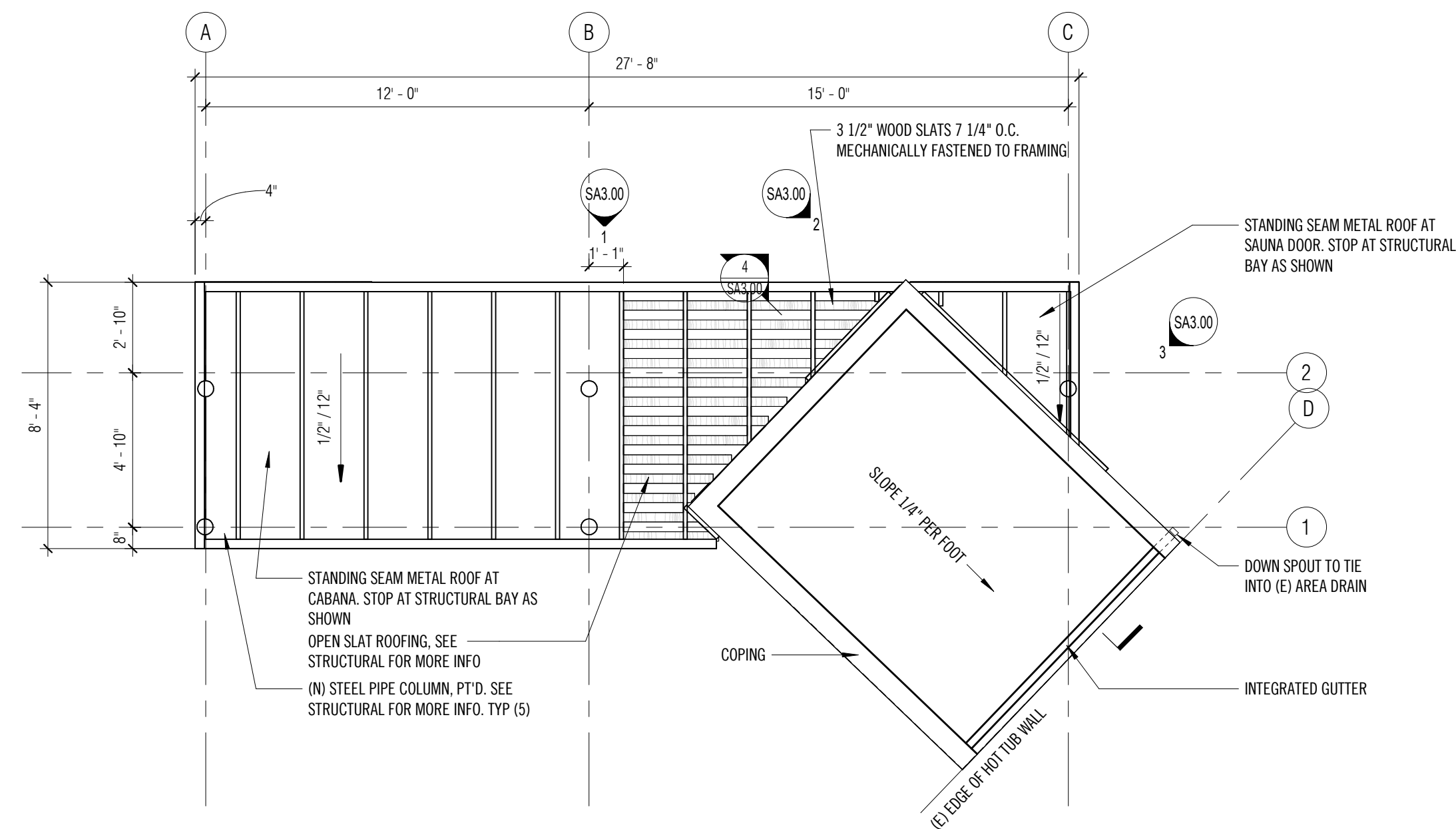
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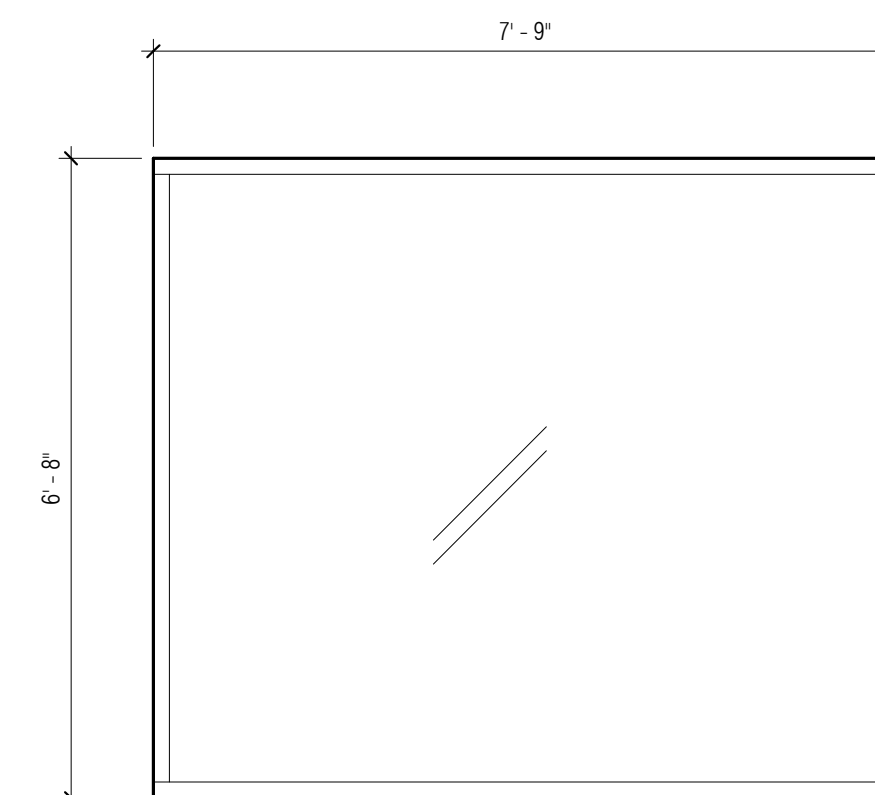
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| OOA PROJECT #:  | 2023030    |
| SDCI PROJECT #: | TBD        |
| PLOT DATE:      | 05.29.2025 |

PLANS

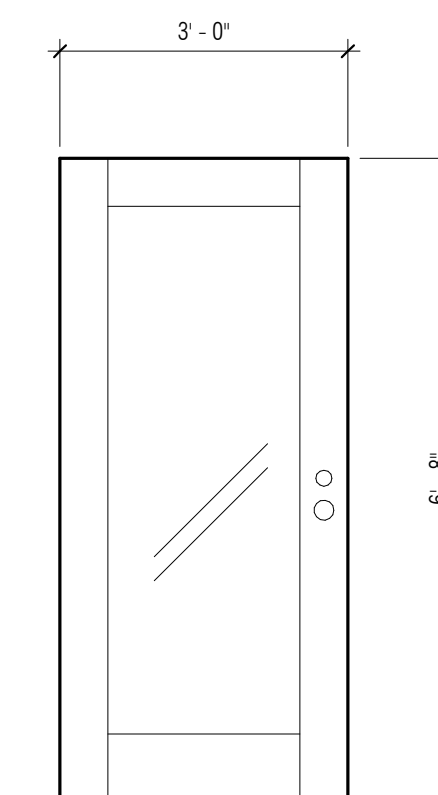
SHEET NO.:



4 SAUNA/CABANA ROOF PLAN  
1/4" = 1'-0"



**WINDOW**  
FRAME: WOOD  
FINISH: STAINED AND SEALED  
GLAZING: MUST BE .30 U FACTOR OR GREATER  
MANUF: TBD

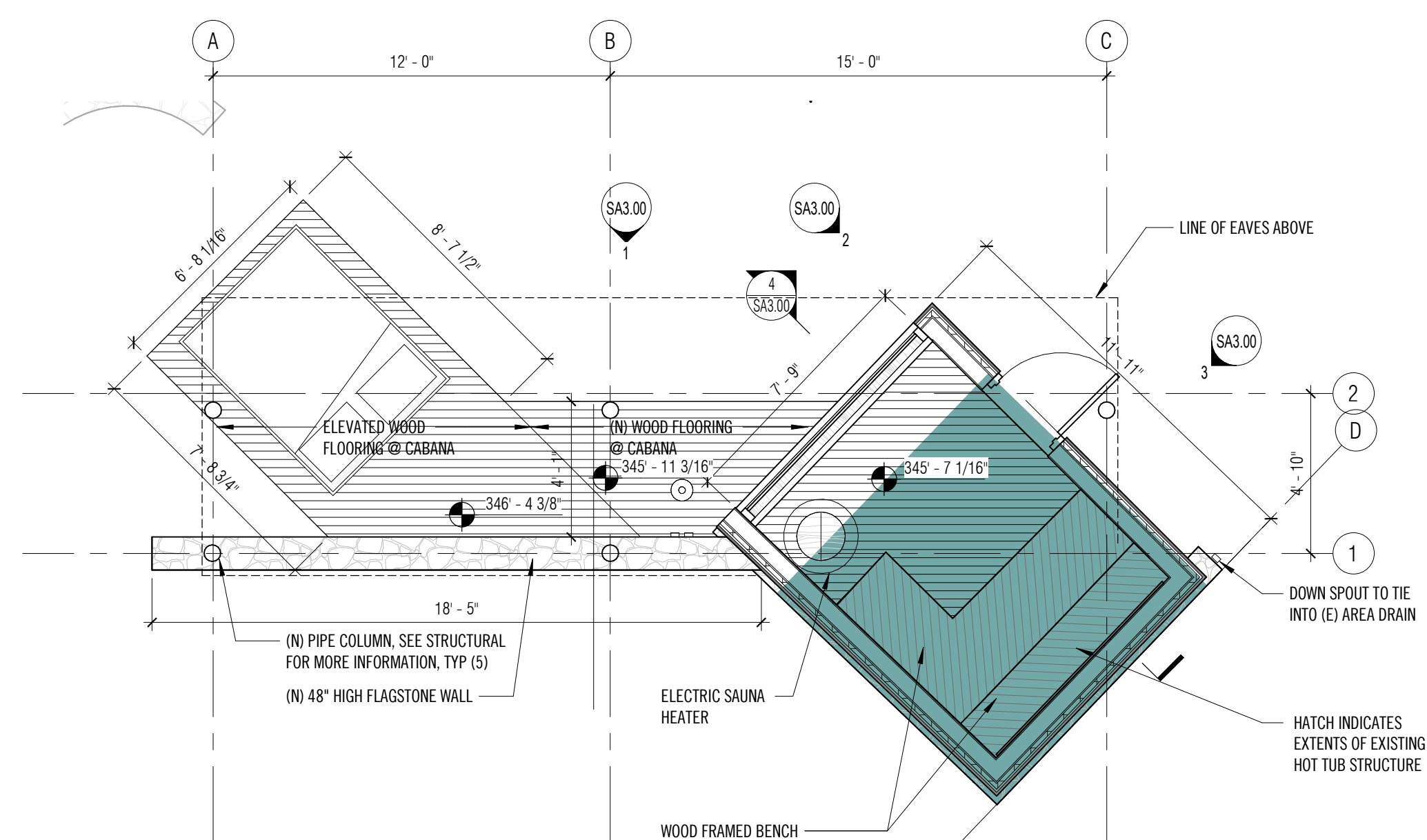


**DOOR**  
FRAME: WOOD  
FINISH: STAINED AND SEALED  
PANEL: WOOD W/ SINGLE LIGHT FULL GLAZING (GLAZING MUST MEET .30 U FACTOR)  
MANUF: TBD

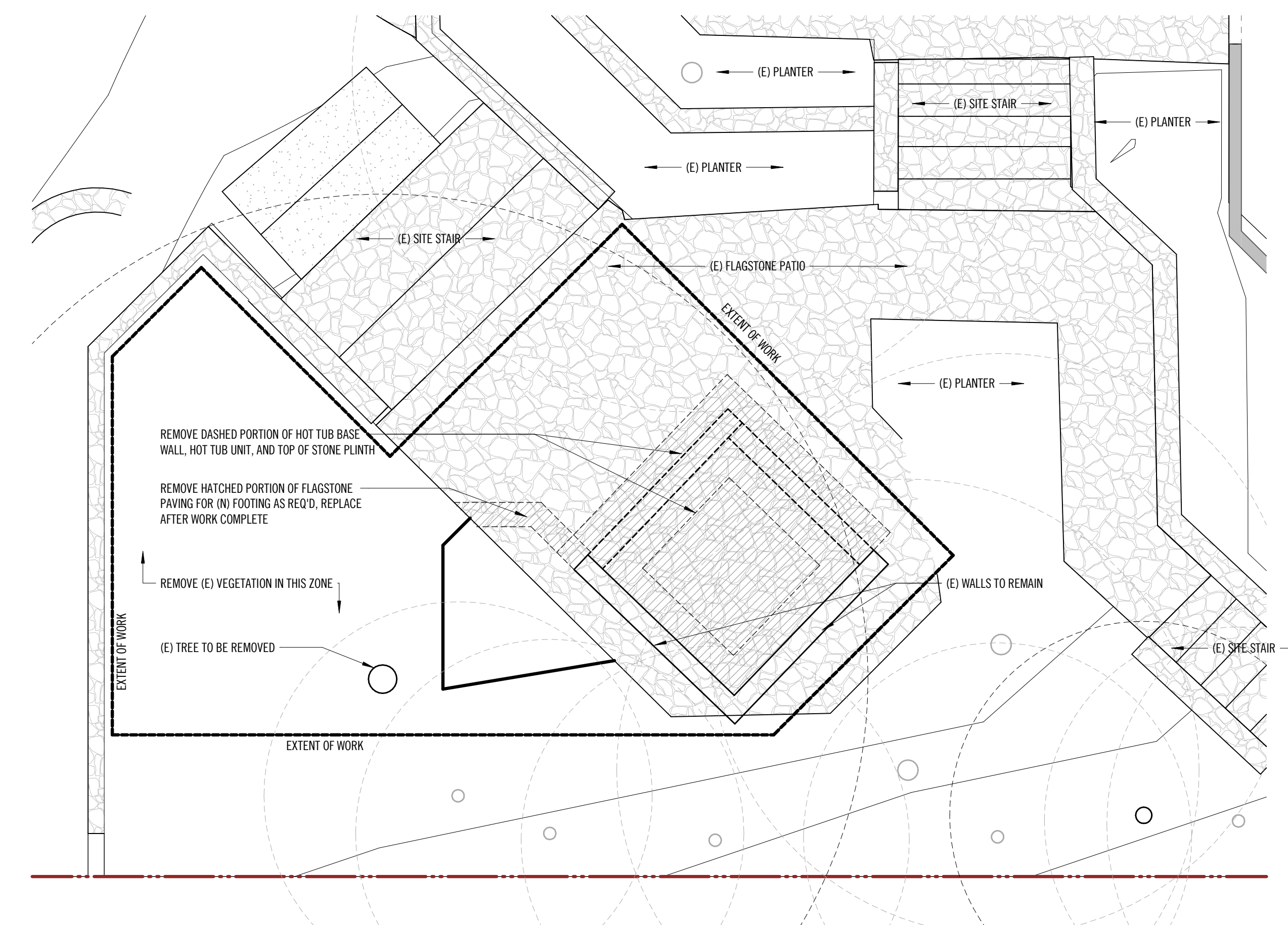
3 DOOR + WINDOW LEGEND  
1/2" = 1'-0"

DEMOLITION NOTES:

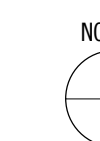
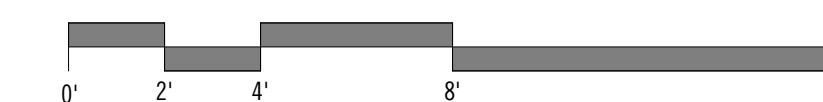
- GC TO PROTECT TREES + VEGETATION TO EXTENT POSSIBLE IN AREAS OF NO WORK
- GC TO PATCH AND REPAIR ANY PAVING REMOVED DURING CONSTRUCTION

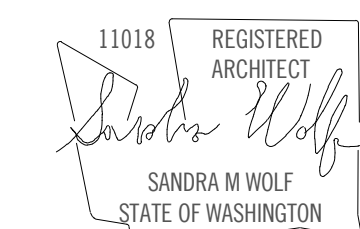


2 SAUNA/CABANA FLOOR PLAN  
1/4" = 1'-0"



1 DEMOLITION PLAN  
1/4" = 1'-0"





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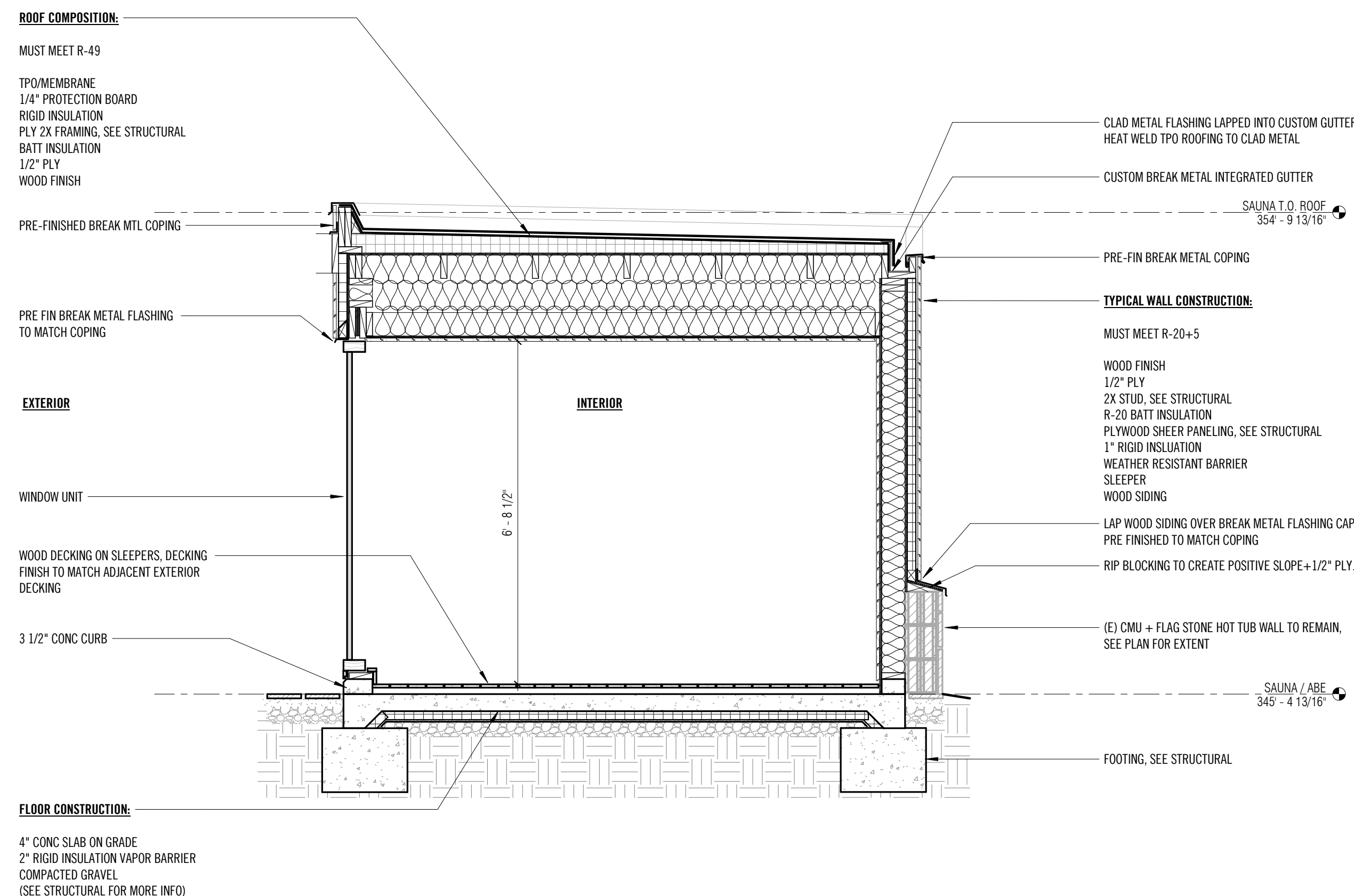
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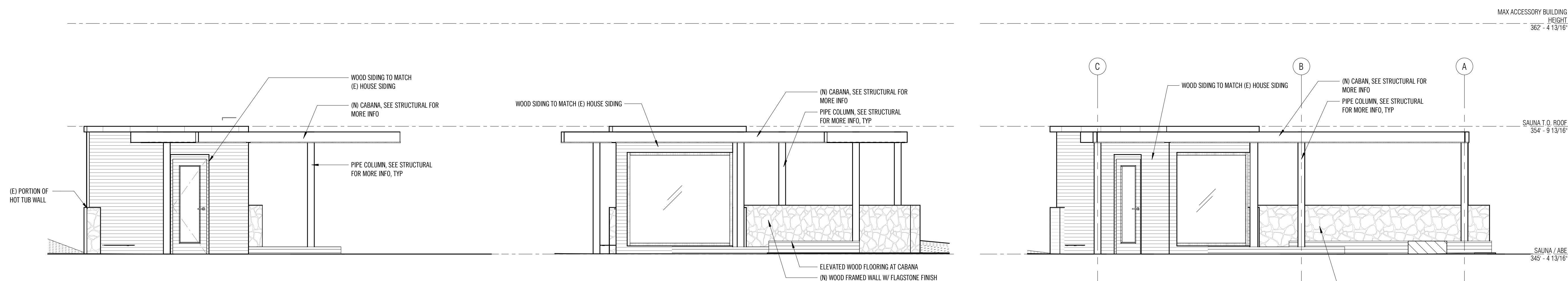
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| 00A PROJECT #:  | 2023030    |
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| PLOT DATE:      | 05.29.2025 |

ELEVATIONS

SHEET NO.:



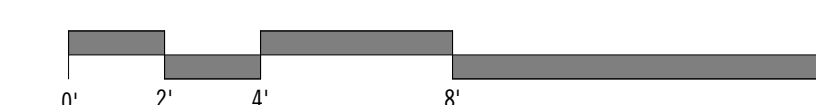
4 TYPICAL BUILDING/WALL SECTION  
1/2" = 1'-0"



3 SAUNA EAST ELEVATION  
1/4" = 1'-0"

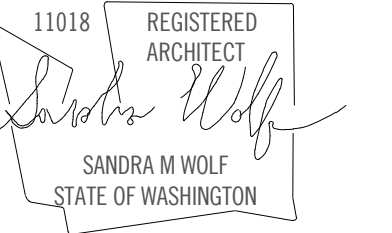
2 SAUNA NORTH ELEVATION A  
1/4" = 1'-0"

1 SAUNA NORTH ELEVATION B  
1/4" = 1'-0"



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OWNER:  
MIKA YAMAMOTO & ROBERT LAROSE

REVISION      DATE      DESCRIPTION

ISSUANCES

DATE      DESCRIPTION

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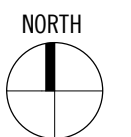
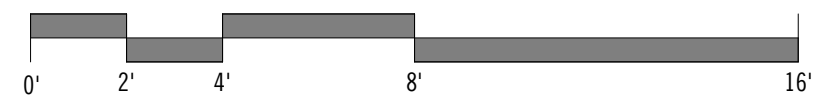
OOA PROJECT #: 2023030

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PLOT DATE: 05.29.2025

DETAILS

SHEET NO.:



SA4.00



ALL CONNECTIONS/FASTENERS IN CONTACT WITH PRESERVATIVE-TREATED OR FIRE-RETARDANT-TREATED WOOD, SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL OR STAINLESS STEEL. HOT DIPPED GALVANIZED FASTENERS SHOULD CONFORM TO ASTM STANDARD 153, AND HOT DIPPED GALVANIZED CONNECTORS SHOULD CONFORM TO ASTM STANDARD A653 (CLASS G-185). STAINLESS STEEL FASTENERS AND CONNECTORS SHOULD BE TYPE 304 OR 316. NOTE: ELECTROPLATED GALVANIZED FASTENERS AND CONNECTORS ARE NOT TO BE USED WITH PRESSURE TREATED WOOD. SIMPSON PRODUCT FINISHES CORRESPONDING TO THE ABOVE REQUIREMENTS ARE ZMAX (HOT DIPPED GALVANIZED) AND SST300 (STAINLESS STEEL). STAINLESS STEEL HARDWARE AND FASTENERS SHALL NOT BE COMBINED WITH UNTREATED OR GALVANIZED MATERIAL.

33. **WOOD FASTENERS:**

A. **NAIL SIZES** SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

| SIZE | LENGTH | DIAMETER |
|------|--------|----------|
| 6d   | 2"     | 0.113"   |
| 8d   | 2-1/2" | 0.131"   |
| 10d  | 3"     | 0.148"   |
| 12d  | 3-1/4" | 0.148"   |
| 16d  | 3-1/2" | 0.162"   |

DESIGN IS BASED ON COMMON STEEL WIRE NAILS MEETING THE REQUIREMENTS OF ASTM F1667. USE OF ALTERNATE FASTENERS MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER PRIOR TO THE START OF CONSTRUCTION.

B. **NAILS** — PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

34. **WOOD FRAMING NOTES** — THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1 OF THE INTERNATIONAL BUILDING CODE. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE AS SPECIFIED ABOVE. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. INSTALLATION OF BOLTS AND LAG SCREWS SHALL CONFORM TO SECTIONS 12.1.3 AND 12.1.4 OF THE 2018 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. NATURALLY DURABLE OR PRESSURE TREATED WOOD SHALL BE PROVIDED WHERE REQUIRED BY SECTION 2304.12 OF THE INTERNATIONAL BUILDING CODE.

B. WALL FRAMING: ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2X6 AT 16" O.C. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. TWO 2 x 8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED AND SHALL BEAR FULLY ON A MINIMUM OF TWO STUDS. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE SOLID BLOCKING BETWEEN STUDS AT MID-HEIGHT OF ALL STUD WALLS OVER 10' IN HEIGHT.

STUDS MAY BE NOTCHED, CUT, OR PENETRATED WITH ROUND BORED HOLES AS FOLLOWS:

| STUD SIZE | MAXIMUM NOTCH / CUT | MAXIMUM BORED HOLE |
|-----------|---------------------|--------------------|
| 2X4       | 7/8"                | 1-3/8"             |
| 2X6       | 1-3/8"              | 2-1/8"             |

BORED HOLES SHALL NOT BE LOCATED WITH 5/8" FROM THE EDGE OF THE STUD OR AT THE SAME LOCATION AS A NOTCH OR CUT.

WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d AT 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS AT 4" O.C. EACH SIDE OF JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16d NAILS AT 12" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS (WITH 7" MINIMUM EMBEDMENT) @ 4'-0" O.C. UNLESS INDICATED OTHERWISE. PROVIDE 3"x3" x1/4" HOT-DIPPED GALVANIZED PLATE WASHERS AT ALL ANCHOR BOLTS. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH 16d NAILS @ 12" O.C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING.

WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES NAILED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH NAILS AT 7" O.C. USE 5d COOLER NAILS FOR 1/2" GWB AND 6d COOLER NAILS FOR 5/8" GWB. PROVIDE 15/32" APA RATED SHEATHING (SPAN RATING 240) ON EXTERIOR SURFACES NAILED AT ALL PANEL EDGES (BLOCK UNSUPPORTED EDGES), TOP AND BOTTOM PLATES WITH 8d NAILS @ 6" O.C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH NAILS @ 12" O.C. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS.

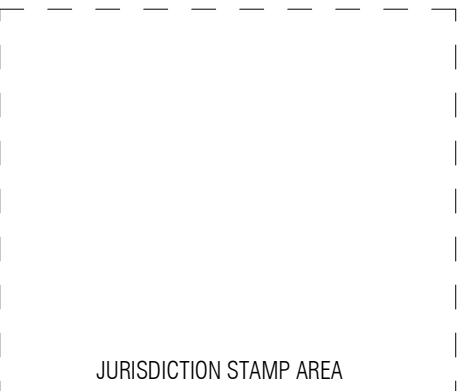
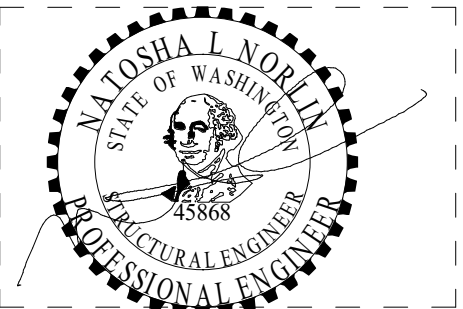
NOTCHES AT THE END OF JOISTS AND RAFTERS SHALL NOT EXCEED 1/4 THE DEPTH OF THE MEMBER. NOTCHES IN THE TOP OR BOTTOM SHALL NOT EXCEED 1/6 THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED WITHIN THE MIDDLE 1/3 OF THE SPAN. THE DIAMETER OF ROUND HOLES BORED IN JOISTS AND RAFTERS SHALL NOT EXCEED 1/3 OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED WITHIN 2" FROM THE TOP OR BOTTOM EDGE.

TOENAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH TWO ROWS OF 16d @ 12" O.C. ATTACH RAFTERS AND ROOF TRUSSES AT BEARING LINES WITH H2.5 @ 24" O.C. UNLESS OTHER METAL CONNECTIONS ARE INDICATED.

UNLESS OTHERWISE NOTED ON THE PLANS, APA RATED ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH STRENGTH AXIS PERPENDICULAR TO SUPPORTS AND ATTACHED WITH 10d NAILS @ 6" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" O.C. TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF ALL ROOF AND FLOOR SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d NAILS @ 12" O.C. UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PANEL EDGES AND FASTEN SHEATHING TO FRAMING/BLOCKING AS SPECIFIED.

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OWNER:  
MIKA YAMAMOTO & ROBERT LAROSE

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| DATE | DESCRIPTION |
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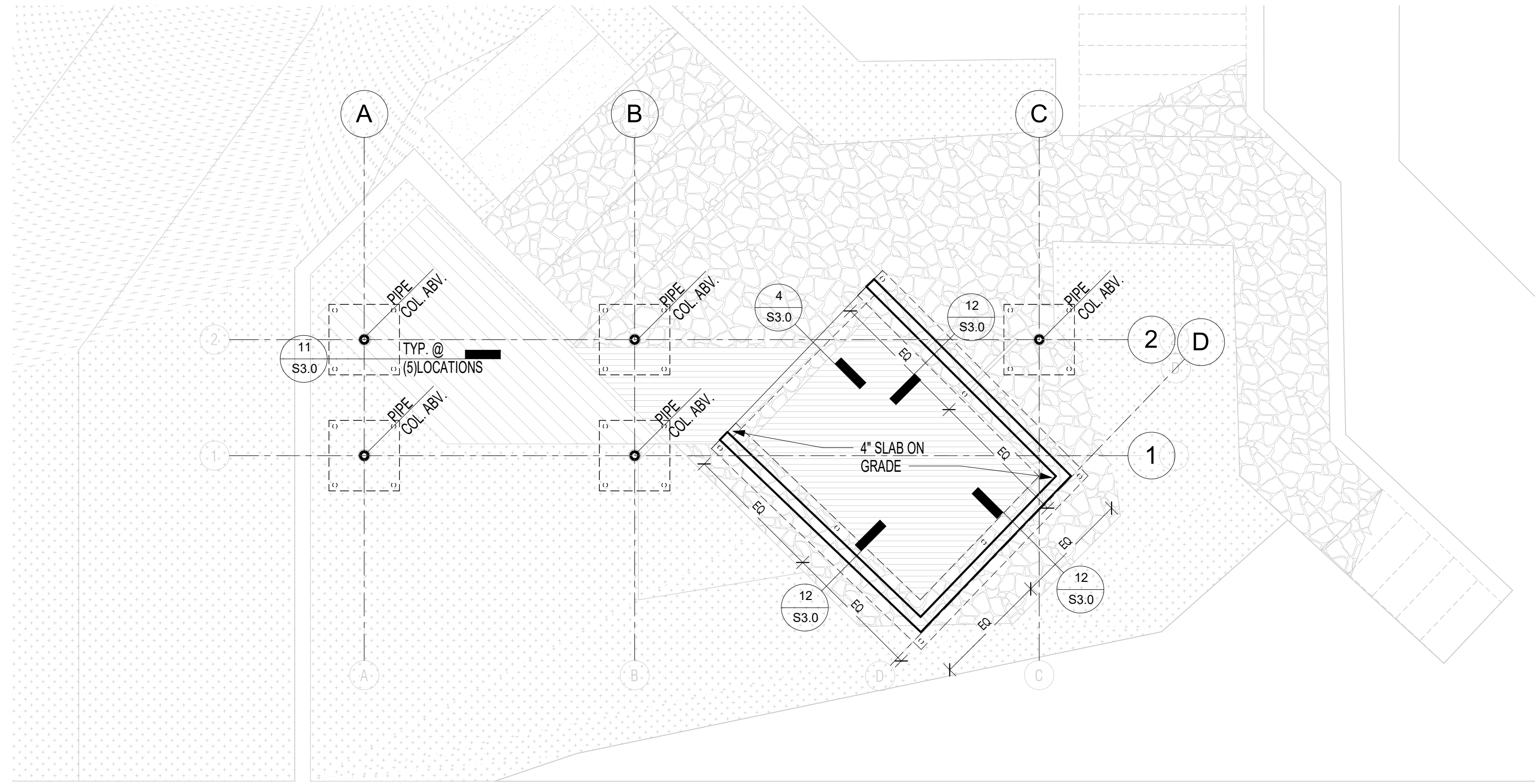
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PLOT DATE: 05.08.2025

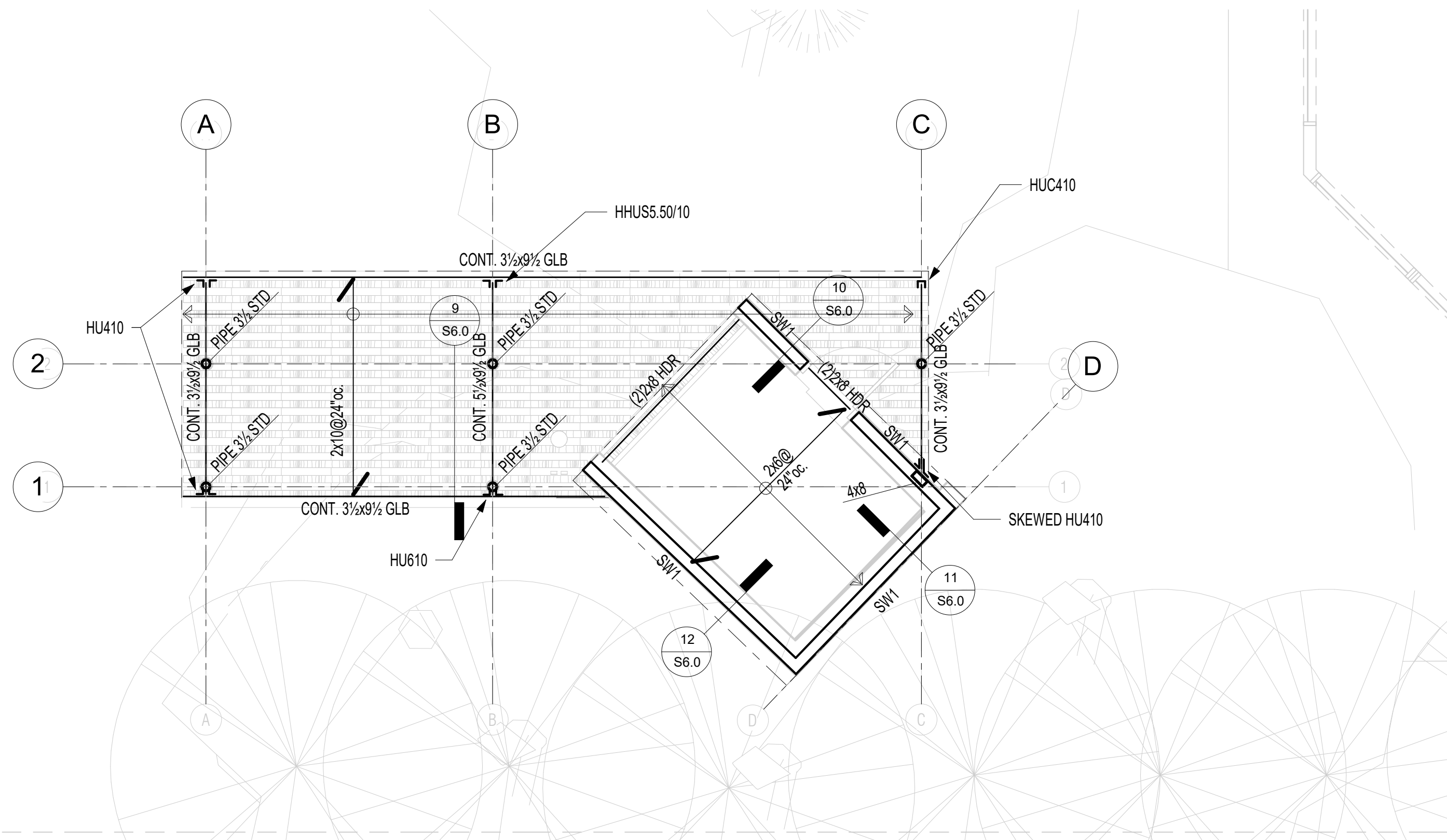
GENERAL STRUCTURAL NOTES

SHEET NO.:

S1.1



1 SAUNA FOUNDATION PLAN  
1/4" = 1'-0"



2 SAUNA ROOF FRAMING PLAN  
1/4" = 1'-0"

LEGEND

|  |   |  |  |
|--|---|--|--|
|  | HANGER                                  |  | INDICATES SHEARWALL PER SCHEDULE 8/S6.0                        |
|  | COLUMNS BELOW                           |  | SPAN AND EXTENTS   |
|  | COLUMNS ABOVE                           |  | 2"Ø PIPE PILES. REFER TO NOTE #16 ON S1.0 FOR MORE INFORMATION |
|  | ABRUPT CHANGE IN SLAB/FRAMING ELEVATION |  | INDICATES HEADER   |

FOUNDATION PLAN NOTES: (TYPICAL UNLESS NOTED OTHERWISE)

1. SLAB ON GRADE ELEVATION VARIES PER ARCHITECTURAL PLAN. SLAB SHALL BE 4" THICK WITH 6x6xw1.4x@1.4 WWM CENTERED, U.N.O. PREPARE SOILS AND PROVIDE MINIMUM 6-MIL VISQUEEN VAPOR BARRIER UNDER ALL SLABS. SLABS SHALL BE SUPPORTED ON MINIMUM 4 INCHES OF FREE DRAINING MATERIAL.
2. REFER ARCHITECTURAL SHEETS FOR DIMENSIONS AND ADDITIONAL TOP OF SLAB/CURB ELEVATIONS.
3. PIN PILES SHALL BE INSTALLED IN ACCORDANCE w/ NOTE 18/S1.00. PILES SHALL BE TESTED IN ACCORDANCE w/ ASTM STANDARD D1143-81. THE GEOTECHNICAL ENGINEER SHALL BE CONTINUOUSLY PRESENT DURING PIN PILE INSTALLATION.

FRAMING PLAN NOTES: (TYPICAL UNLESS NOTED OTHERWISE)

1. ROOF SHEATHING SHALL BE 15/32" APA RATED SHEATHING (SPAN RATING 24/0). NAIL @ ALL FRAMED PANEL EDGES AND OVER SHEARWALLS w/ 8d @ 6"oc AND 6"oc TO ALL INTERMEDIATE FRAMING. PORTION OF ROOF HAS BEEN DESIGNED FOR ADDITIONAL 5 PSF TO ACCOUNT FOR SOLAR PANELS.
2. SWx INDICATES STRUCTURAL WALL TYPE PER SCHEDULE 8/S6.0. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
3. ALL HEADERS AND BEAMS ARE MARKED ON PLAN. REFER NOTE 4 FOR SUPPORT REQUIREMENTS.
4. COLUMNS SHALL BE DOUBLE STUDS MINIMUM, U.N.O., WITH BEAM OR HEADER BEARING FULLY ON COLUMN.



JURISDICTION STAMP AREA

| REVISIONS | DATE | DESCRIPTION |
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ISSUANCES

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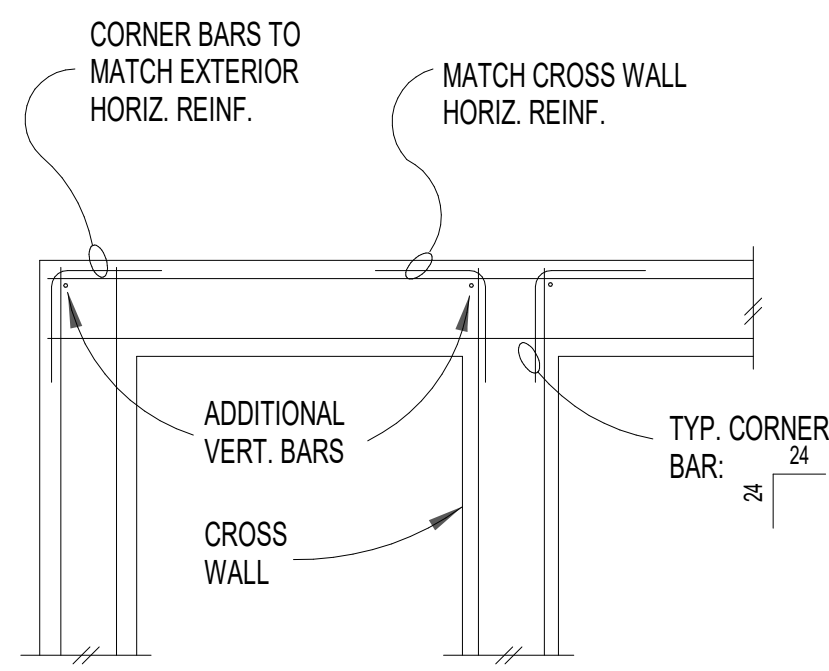
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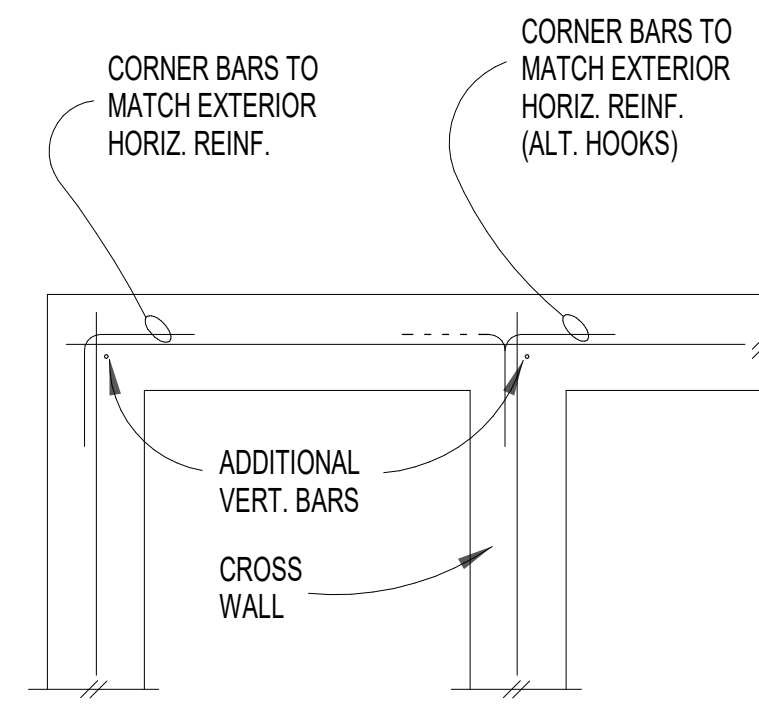
PLOT DATE: 05.08.2025

SAUNA PLANS

SHEET NO.:



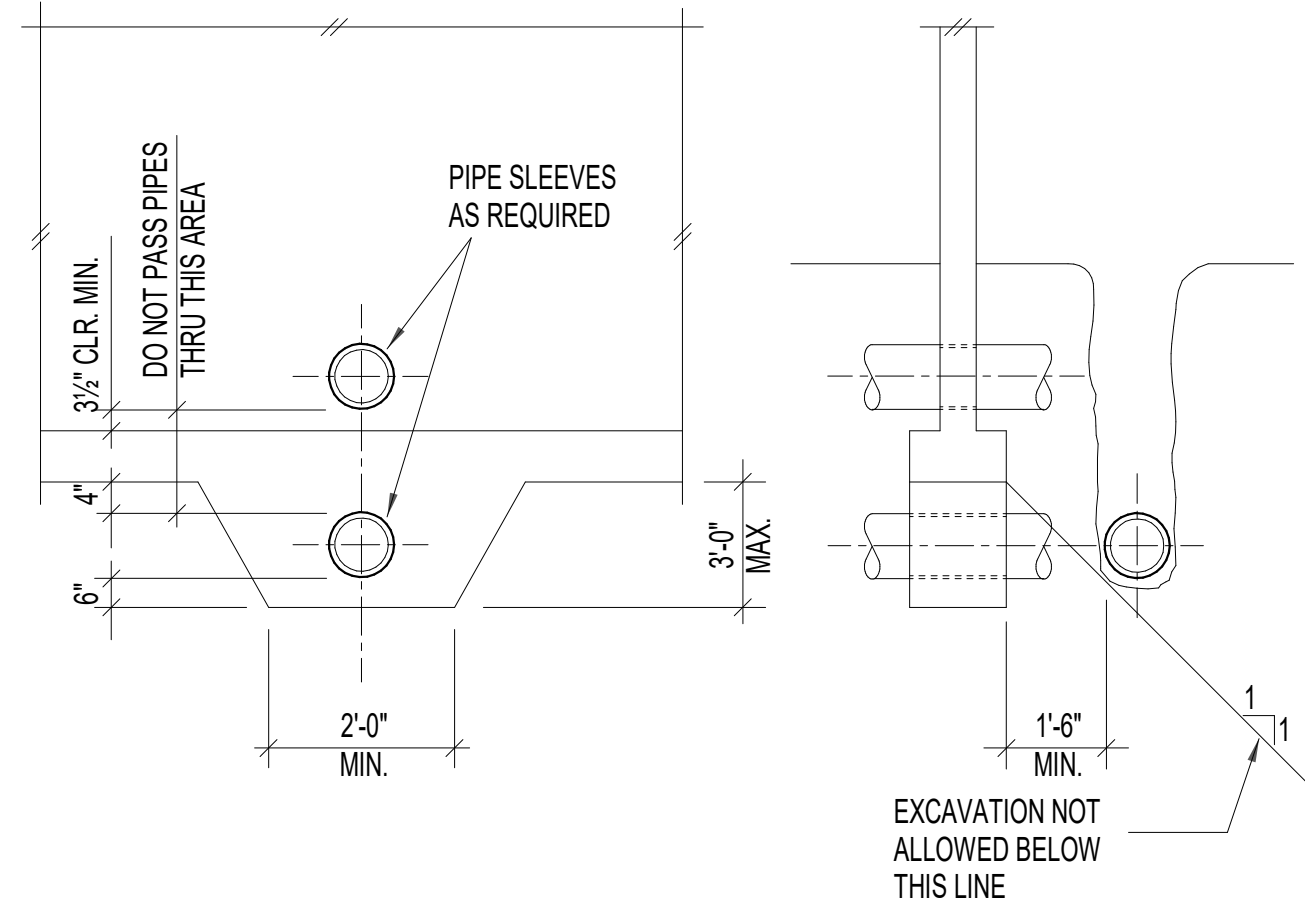
DOUBLE CURTAIN



SINGLE CURTAIN

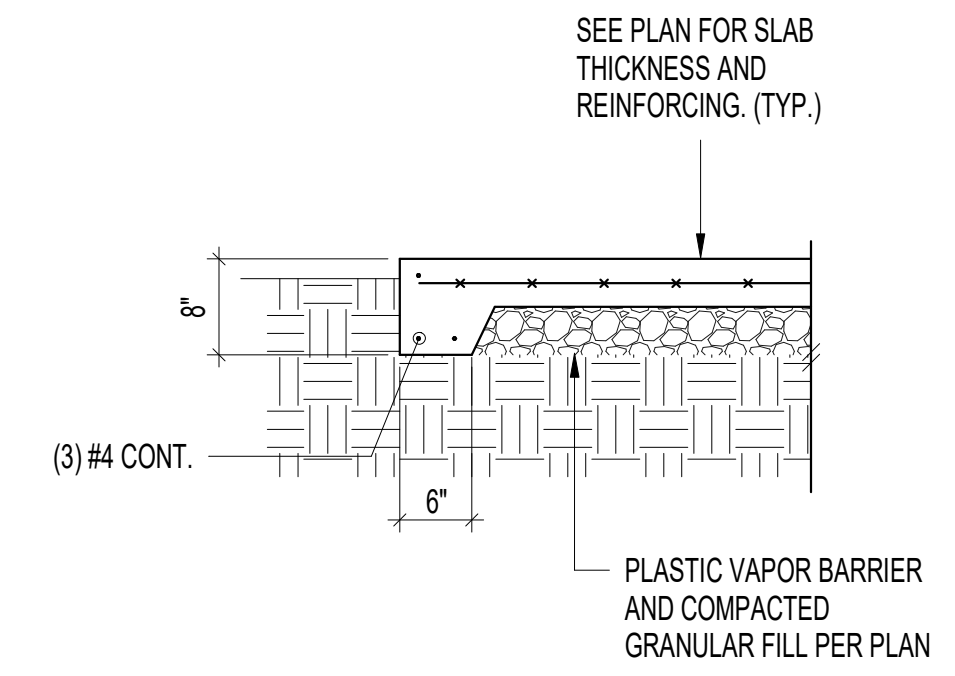
Typical Corner Bars at Concrete Walls

2  
S3.0



Pipe and Trench Location Conditions

3  
S3.0



Typical Slab Edge

4  
S3.0



JURISDICTION STAMP AREA

**YAMAMOTO & LAROSE**

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MERGER ISLAND, WA 98040

OWNER:  
MIKA YAMAMOTO & ROBERT LAROSE

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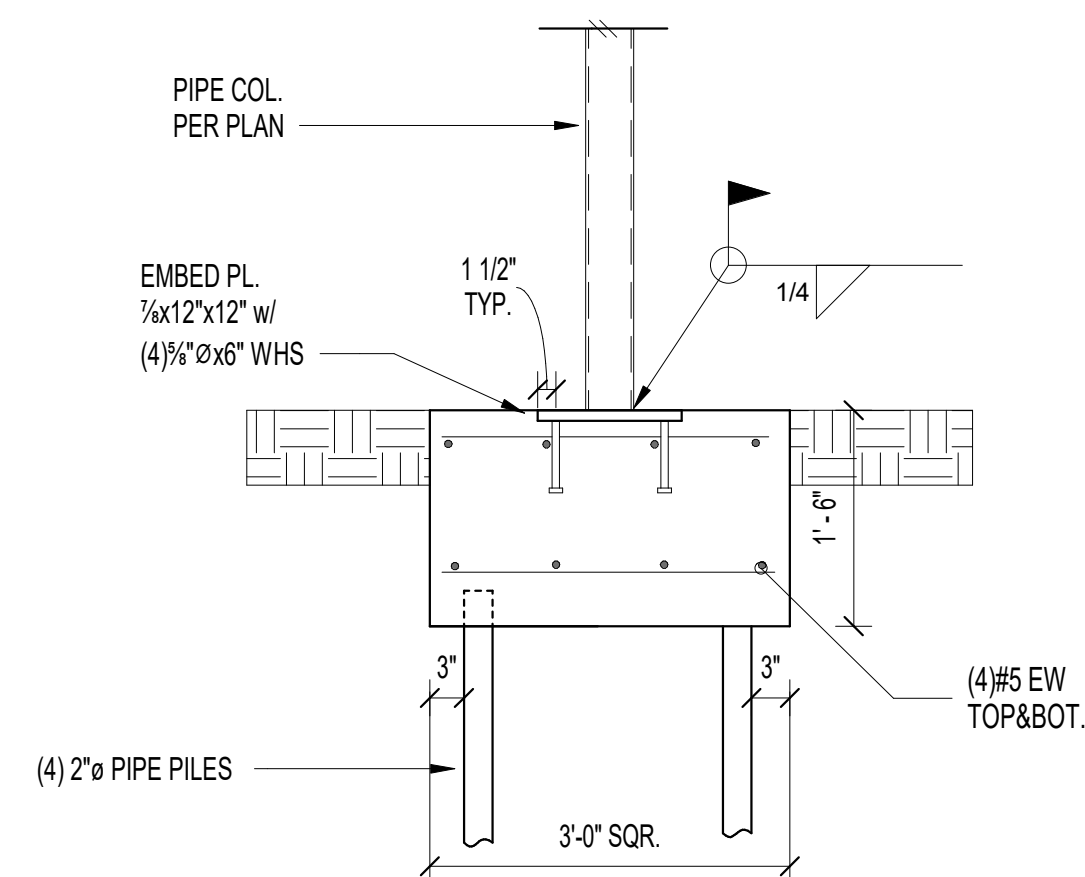
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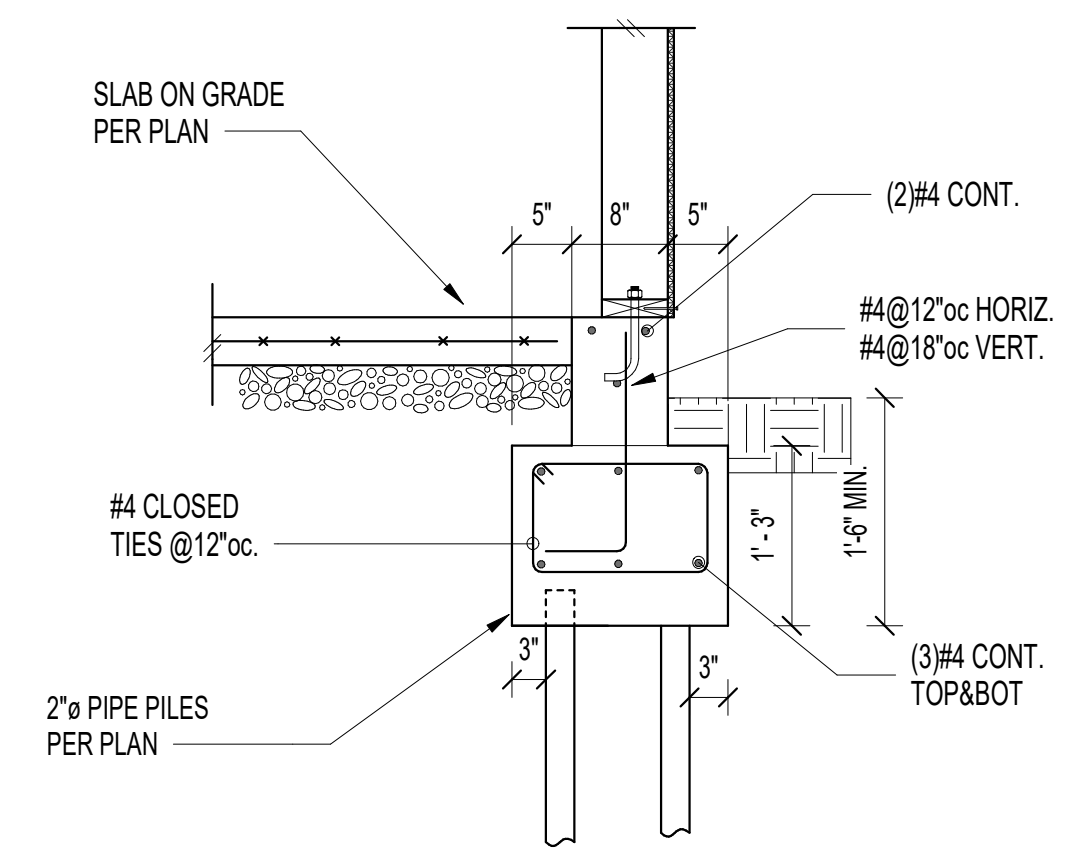
OGA PROJECT #:  
JURISDICTION PROJECT #:  
PLOT DATE: 05.08.2025

CONCRETE DETAILS

SHEET NO.:



11  
S3.0



12  
S3.0

**S3.0**

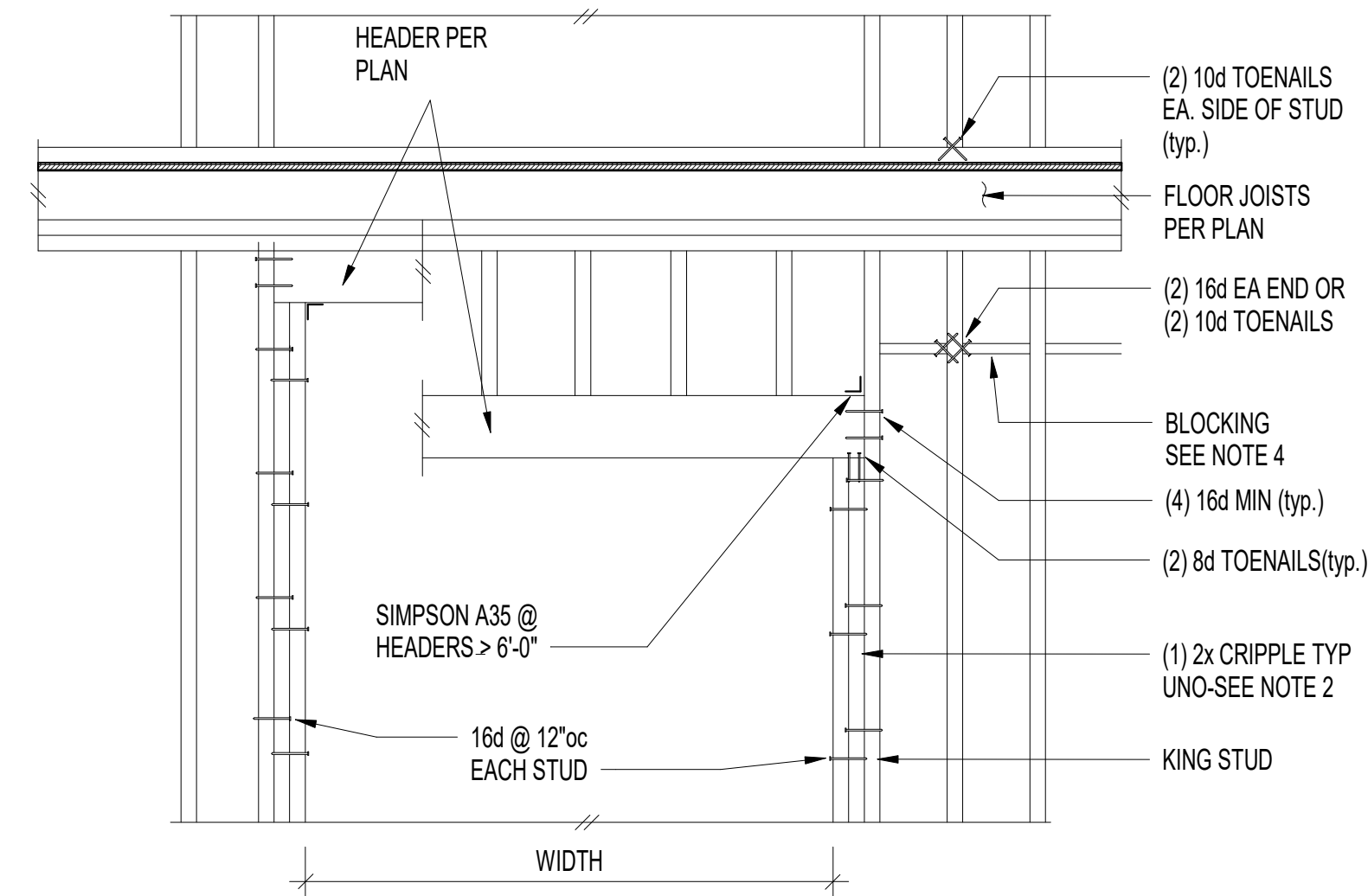


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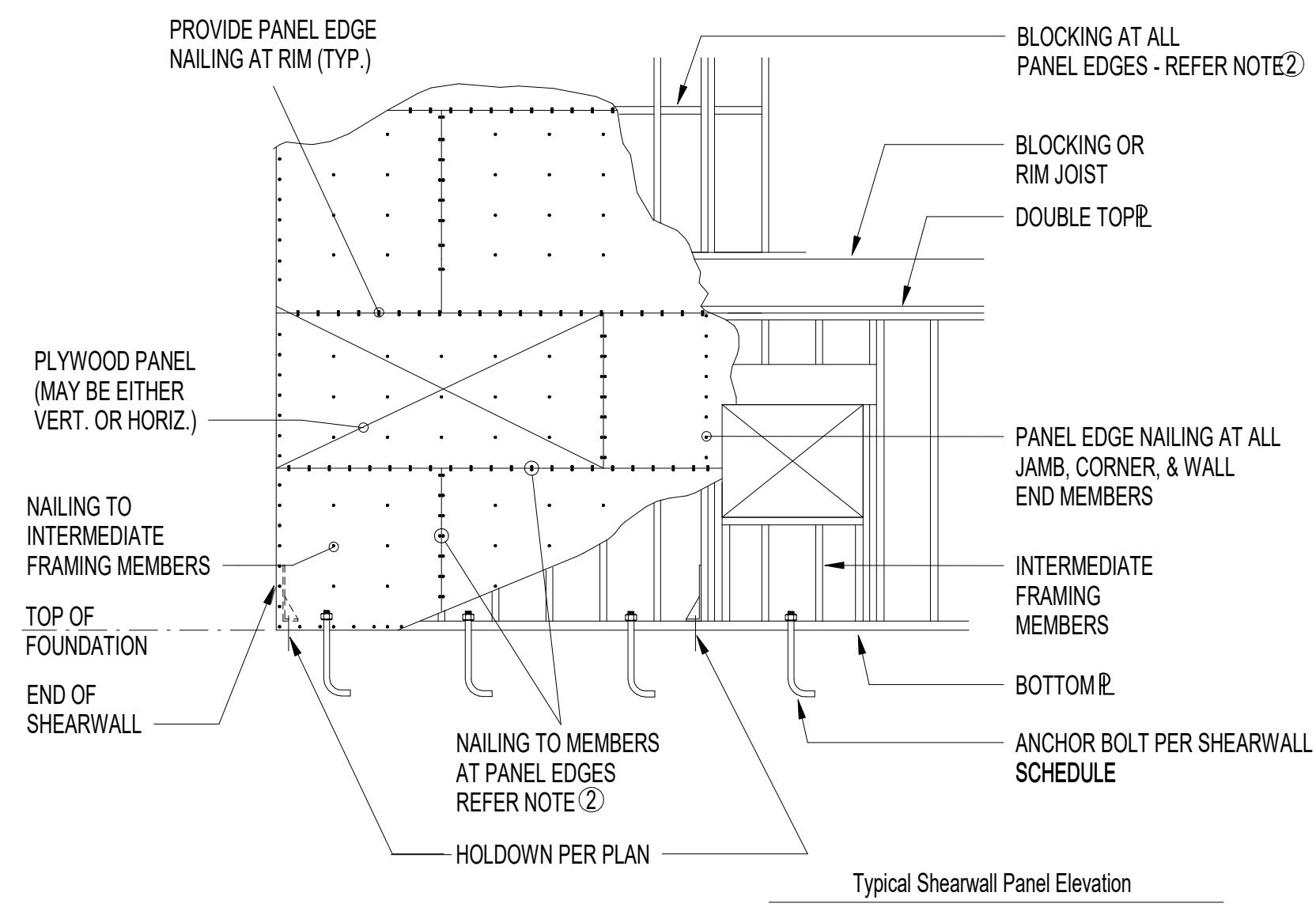
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- NOTES:
- HEADERS PER PLAN
  - PROVIDE (2) 2x CRIPPLE STUDS MINIMUM TYPICAL, U.O.N.
  - SEE ARCHITECTURAL DRAWINGS FOR OPENING SIZES AND LOCATIONS
  - 2x SOLID BLOCKING REQUIRED AT CEILING LINE, ALL PANEL EDGES, AND @ 8'-0" oc MAX.

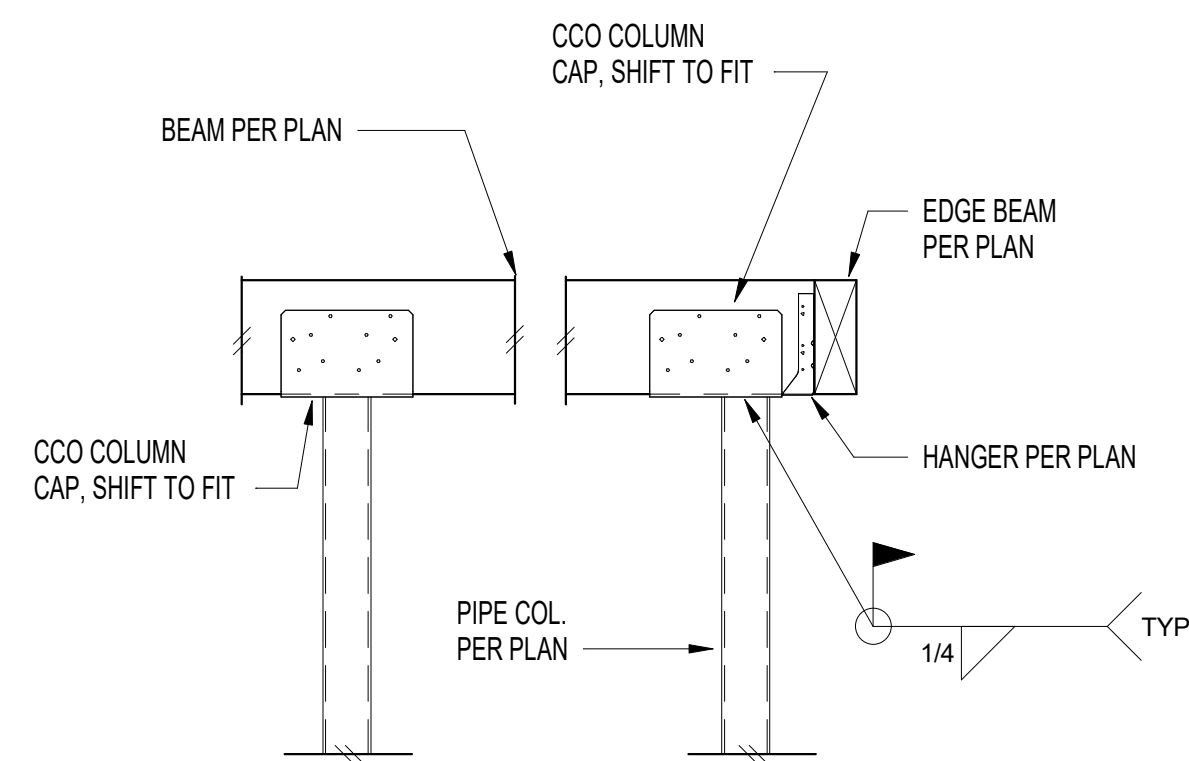
4  
S6.0



| SW# | SHEATHING                  | BLOCKING | PANEL EDGE NAILING ① | ATTACHMENT TO TOP PLATE ② | BOTTOM PLATE ATTACHMENT |                             |                                 | CAPACITY (plf) SEISMIC |
|-----|----------------------------|----------|----------------------|---------------------------|-------------------------|-----------------------------|---------------------------------|------------------------|
|     |                            |          |                      |                           | RIM BOARD REQ'D         | FACENAILING TO WOOD BELOW ③ | ANCHOR BOLTING TO CONC. BELOW ④ |                        |
| SW1 | 15/32" APA RATED SHEATHING | YES      | 8d @ 6"oc            | CLIP @ 16"oc              | 2x1 1/2" LSL            | NAILS @ 6"oc                | 3/4" @ 48"oc                    | 240 PLF                |

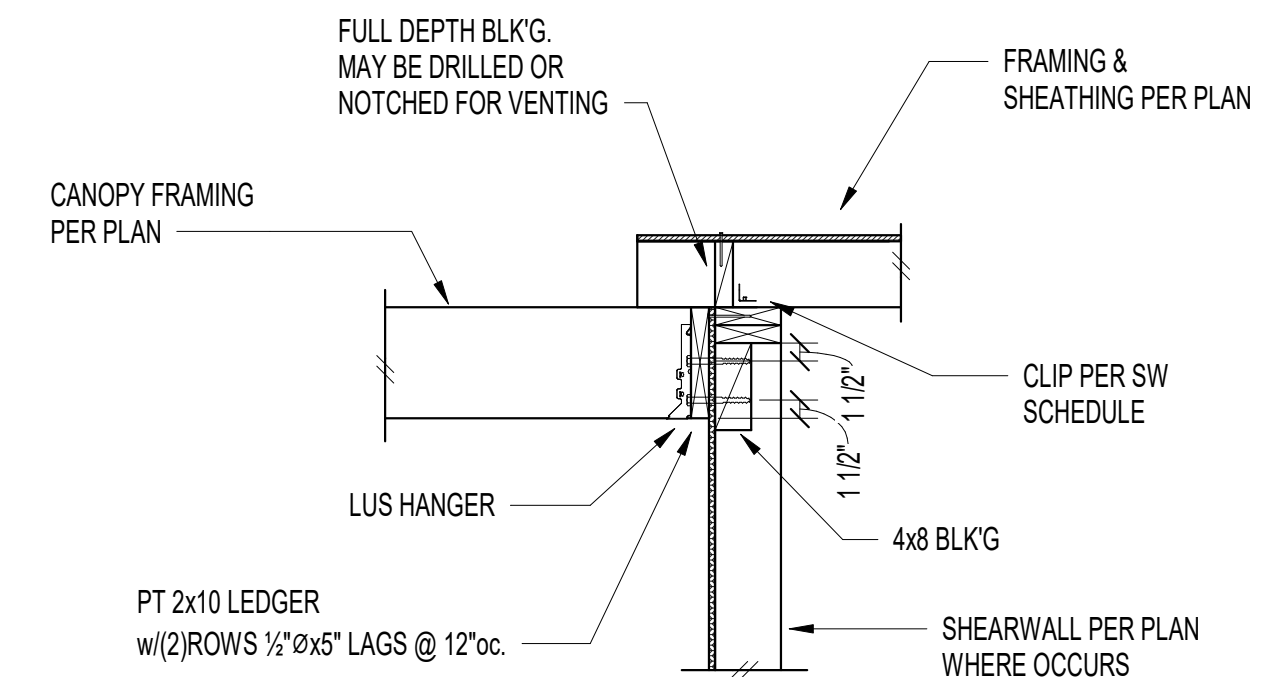
- NAILS SHALL BE 8d COMMON. NAILING APPLIES TO ALL PANEL EDGES (BLOCK ALL UNSUPPORTED PANEL EDGES), TOP & BOTTOM PLATES AND BLOCKING. NAIL TO INTERMEDIATE FRAMING MEMBERS w/8d @ 12"oc.
- CLIP SHALL BE EITHER A35 OR LTP4 NAILS SHALL BE 12d COMMON (0.148Ø x 3.25")
- SCREWS SHALL BE SIMPSON SDS25300 (1/4"Ø x 5" MIN.)
- PROVIDE 3"x3"x0.229" PLATE WASHER AT ALL ANCHOR BOLTS. ANCHOR BOLTS SHALL BE POSITIONED SUCH THAT PLATE EDGE OF PLATE WASHER IS WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE (PLATE WASHERS MAY BE DIAGONALLY SLOTTED WITH A WIDTH OF UP TO 13/16" AND A LENGTH NOT TO EXCEED 1 1/4")

8  
S6.0



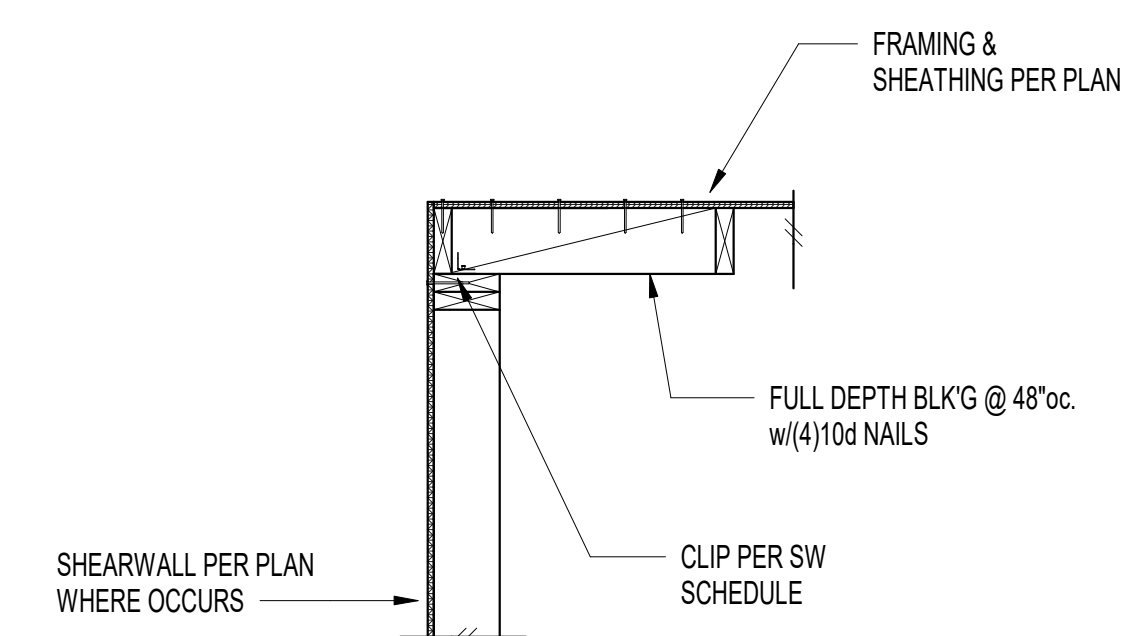
Pipe Column to Beam

9  
S6.0



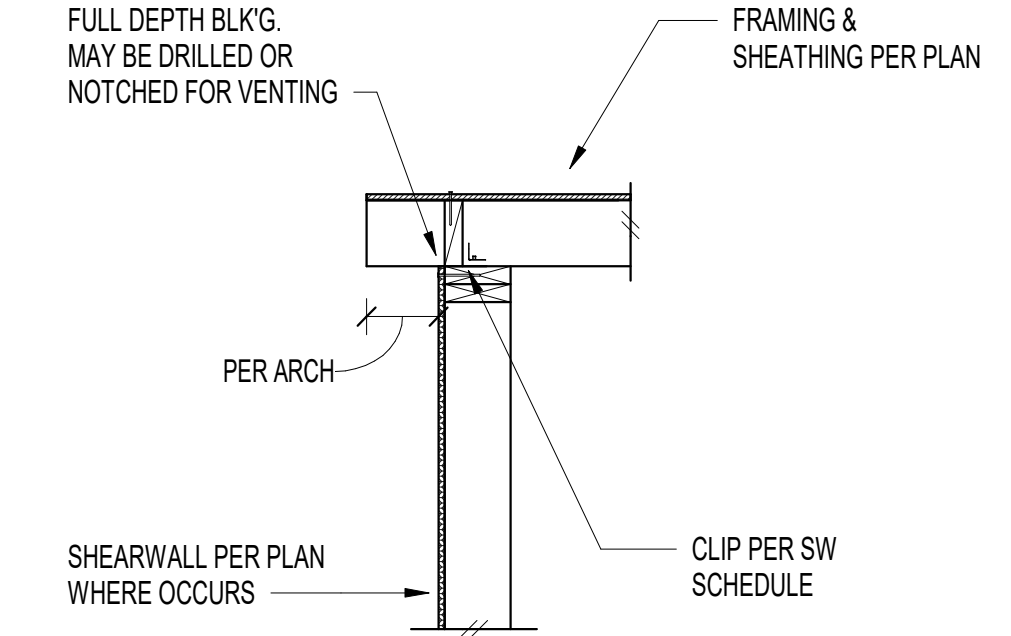
Canopy Ledger

10  
S6.0



Roof - Parallel

11  
S6.0



Roof - Perpendicular

12  
S6.0

| ISSUANCES | DATE | DESCRIPTION |
|-----------|------|-------------|
|           |      |             |

OGA PROJECT #:  
JURISDICTION PROJECT #:  
PLOT DATE: 05.08.2025

WOOD DETAILS  
SHEET NO.: