

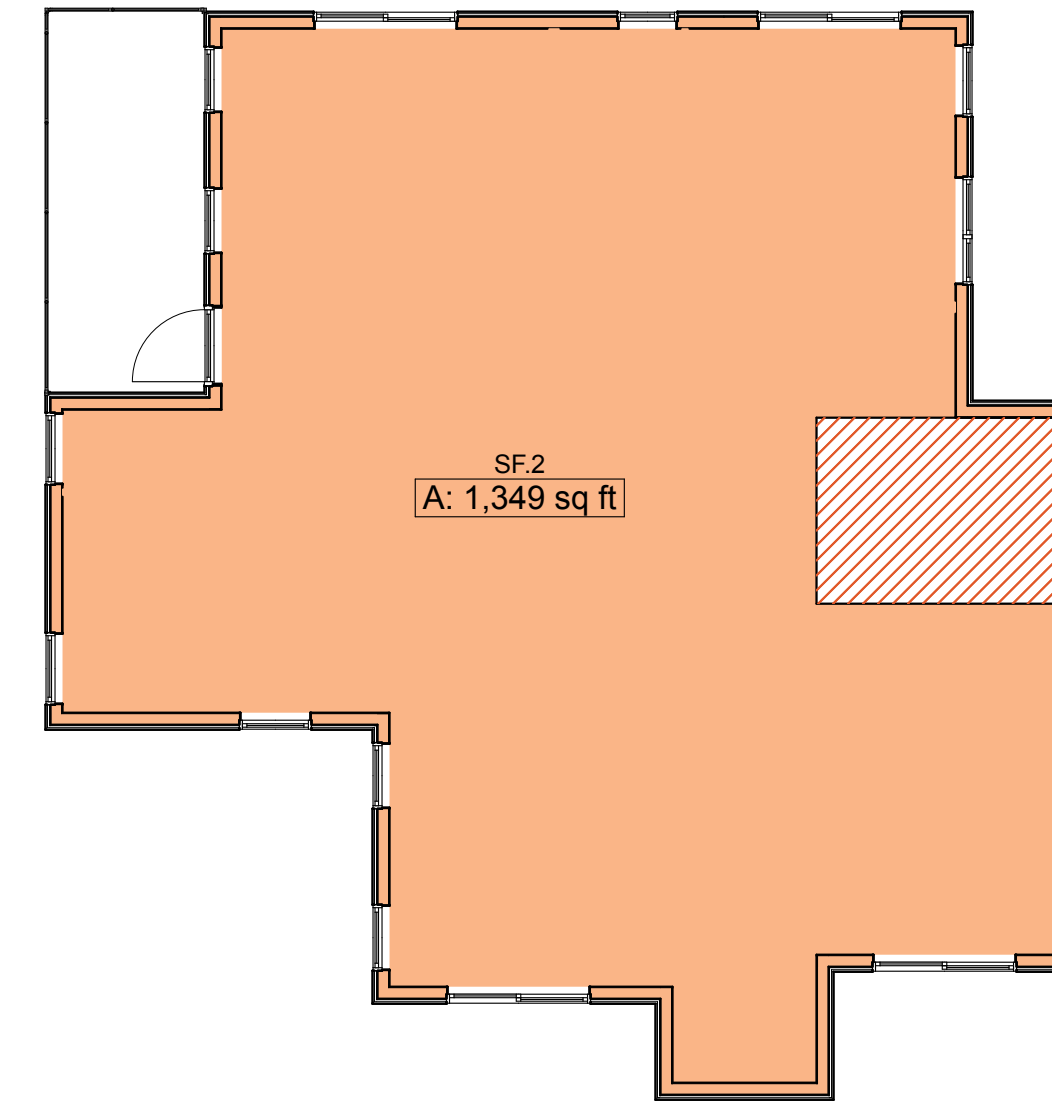


FAR/ MHA SCHEDULE - TOTAL			
STORY		FAR AREA	CODE EXEMPTION
FIRST FLOOR			
	G.1	430.94	
	SF.1	917.92	
SECOND FLOOR			
	SF.2	1,349.00	
	TOTAL:	2,697.86 ft²	

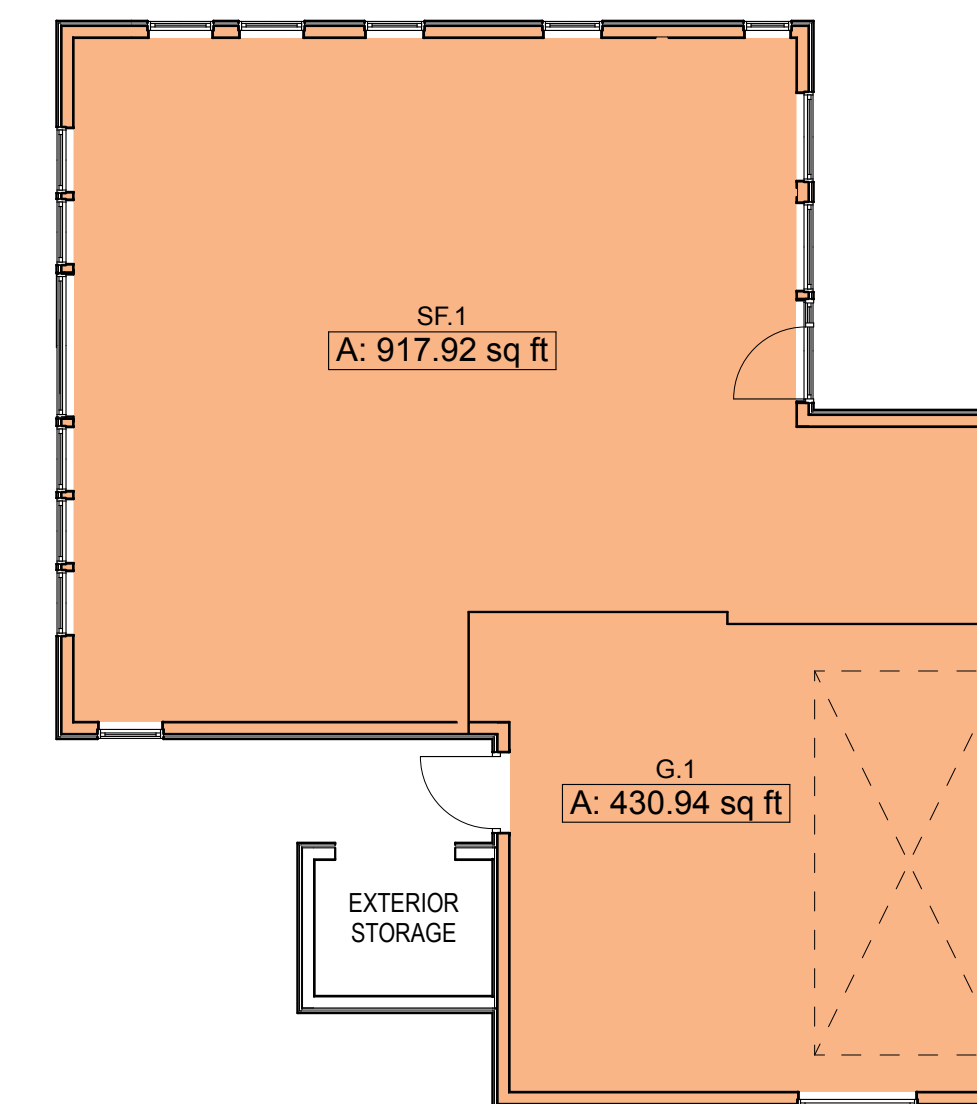
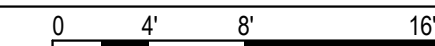
PLAN LEGEND	
	CHARGEABLE GROSS FLOOR AREA FOR FAR AND MHA
	EXEMPT GROSS FLOOR AREA PER MIMC 19.02.020.D.2

GROSS FLOOR AREA REQUIREMENTS	
ZONE:	R-8.4
LOT AREA:	5,999.4 SF
LOT COVERAGE ALLOWED:	40% x 6,000 SF = 2,400 SF (40% ALLOWED FOR SITES WITH SLOPE < 15%)
GROSS FLOOR AREA RATIO ALLOWED:	0.45 (MIMC 19.02.020.D.3) 5,999.4 SF X 0.45 = 2,700 SF
GROSS FLOOR AREA RATIO PROPOSED:	$\frac{2,697.86 \text{ SF}}{5,999.4 \text{ SF}} = 0.4496 < 0.45 \text{ FAR}$



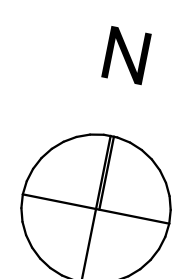
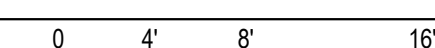
2 SECOND FLOOR

SCALE: 1/8" = 1'-0"



1 FIRST FLOOR

SCALE: 1/8" = 1'-0"



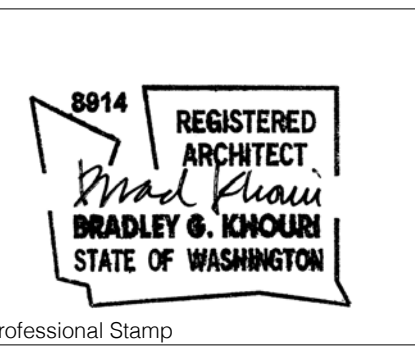
Architect of Record

b9 architects

400 E Pine Street
Seattle, WA 98122
206.297.1284
www.b9architects.com

Project:
27XX 62ND AVE SE

Location:
27XX 62ND AVE SE
MERCER ISLAND, WA 98040



Issue ID	Issue Name	Issue Date
01	Building Permit Set	10/10/24

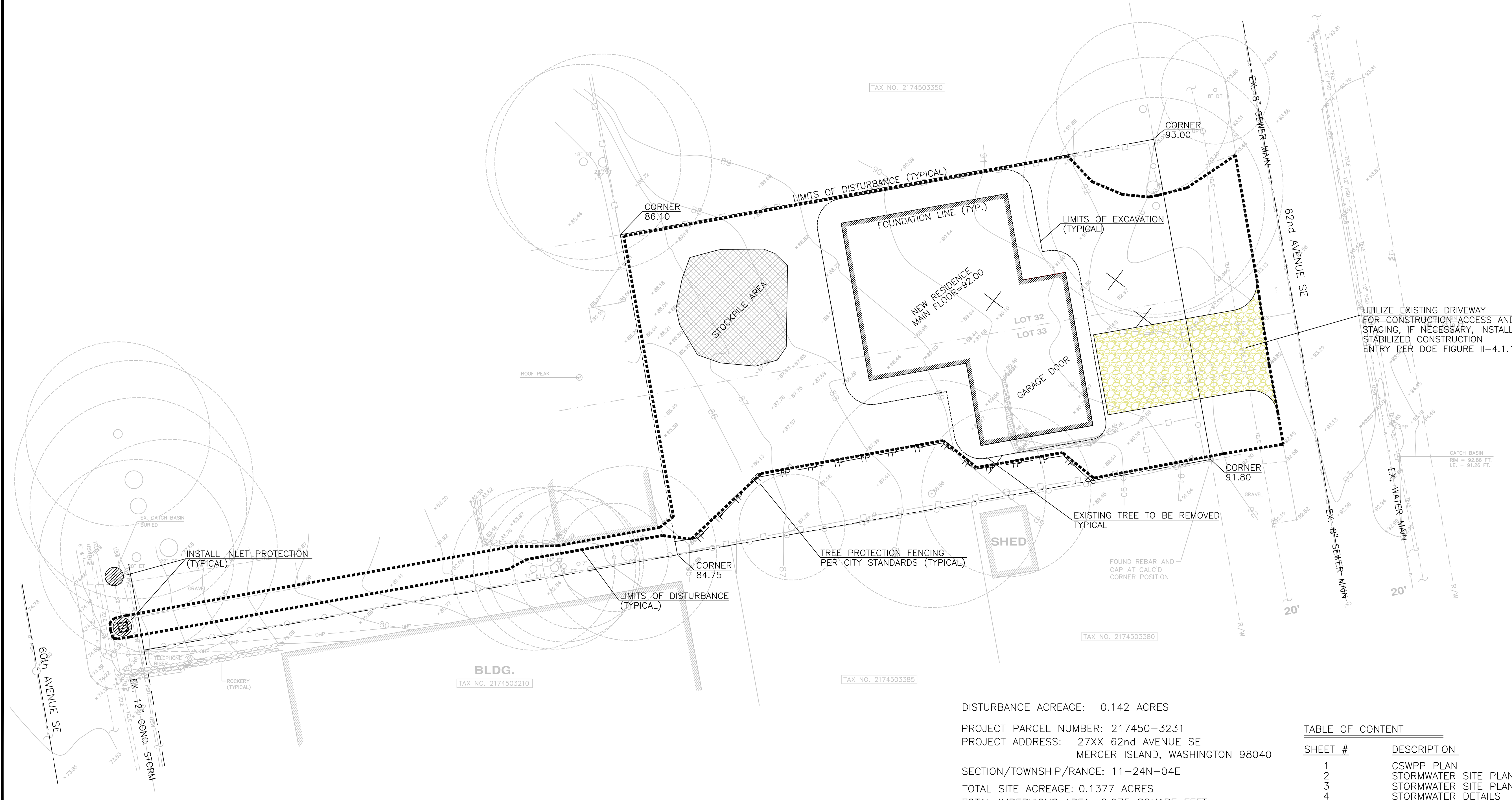


Land Use Code - FAR / Use Diagrams
A0.14

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.
CALL BEFORE YOU DIG: 811

LEGEND

- | | | | |
|--|-------------------------|--|--------------------------|
| | ASPHALT SURFACE | | EXISTING SPOT ELEVATIONS |
| | BRICK SURFACE | | MONUMENT IN CASE (FOUND) |
| | BUILDING | | POWER METER |
| | CENTERLINE ROW | | POWER (OVERHEAD) |
| | CLEANOUT | | POWER POLE |
| | CULVERT PIPE | | REBAR AS NOTED (FOUND) |
| | CONCRETE SURFACE | | REBAR & CAP (SET) |
| | RETAINING WALL | | ROCKERY |
| | DECK | | SEWER LINE |
| | FENCE LINE (CHAIN LINK) | | SEWER MANHOLE |
| | FENCE LINE (WOOD) | | STORM DRAIN LINE |
| | GAS METER | | TELEPHONE (OVERHEAD) |
| | GRAVEL SURFACE | | TEL SENTRY |
| | HEDGE FOLIAGE LINE | | WATER METER |
| | INLET (TYPE 1) | | POWER TRANSFORMER POLE |
| | MAILBOX (RESIDENTIAL) | | TREE (AS NOTED) |

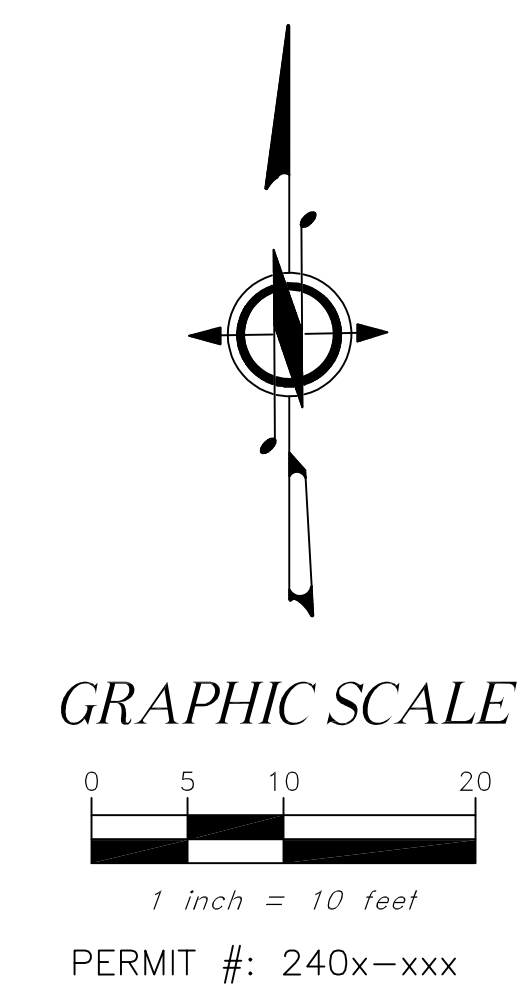


UTILIZE EXISTING DRIVEWAY FOR CONSTRUCTION ACCESS AND STAGING, IF NECESSARY, INSTALL STABILIZED CONSTRUCTION ENTRY PER DOE FIGURE II-4.1.1

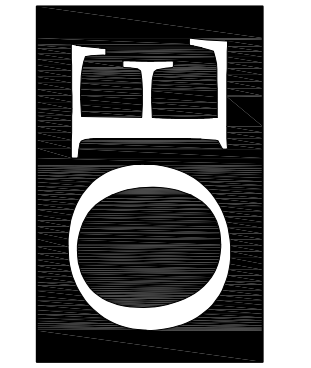
DISTURBANCE ACREAGE: 0.142 ACRES
 PROJECT PARCEL NUMBER: 217450-3231
 PROJECT ADDRESS: 27XX 62nd AVENUE SE
 MERCER ISLAND, WASHINGTON 98040
 SECTION/TOWNSHIP/RANGE: 11-24N-04E
 TOTAL SITE ACREAGE: 0.1377 ACRES
 TOTAL IMPERVIOUS AREA: 2,975 SQUARE FEET

TABLE OF CONTENT

SHEET #	DESCRIPTION
1	CSWPP PLAN
2	STORMWATER SITE PLAN
3	STORMWATER SITE PLAN
4	STORMWATER DETAILS
5	AMENDED SOILS PLAN

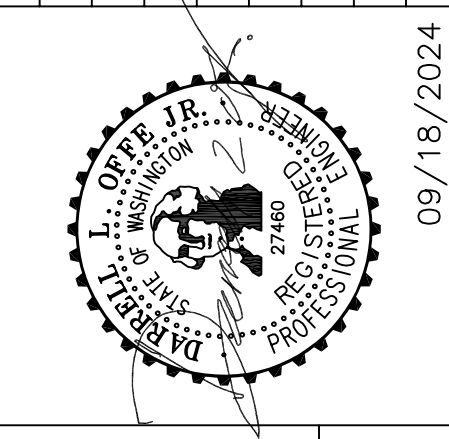


OFFE ENGINEERS
 13932 SOUTHEAST 199TH PLACE
 RENTON, WASHINGTON 98058
 PHONE: 425-260-3412
 CONTACT: DARRELL OFFE, P.E.



27XX 62nd AVENUE SE
BV Homes, LLC
CSWPP Plan

PROJECT	27XX 62nd AVENUE SE
CLIENT	BV Homes, LLC
SHEET CONTENT	CSWPP Plan
DATE	09/18/2024
JOB NO.	
DWG NO.	
SHEET	1 OF 5



REV. NO.	DATE	DESCRIPTION

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.
CALL BEFORE YOU DIG: 811

NOTE: THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

LEGEND

- | | | | |
|--|-------------------------|--|--------------------------|
| | ASPHALT SURFACE | | EXISTING SPOT ELEVATIONS |
| | BRICK SURFACE | | MONUMENT IN CASE (FOUND) |
| | BUILDING | | POWER METER |
| | CENTERLINE ROW | | POWER (OVERHEAD) |
| | CLEANOUT | | POWER POLE |
| | CULVERT PIPE | | REBAR AS NOTED (FOUND) |
| | CONCRETE SURFACE | | REBAR & CAP (SET) |
| | RETAINING WALL | | ROCKERY |
| | DECK | | SEWER LINE |
| | FENCE LINE (CHAIN LINK) | | SEWER MANHOLE |
| | FENCE LINE (WOOD) | | STORM DRAIN LINE |
| | GAS METER | | TELEPHONE (OVERHEAD) |
| | GRAVEL SURFACE | | TEL SENTRY |
| | HEDGE FOLIAGE LINE | | WATER METER |
| | INLET (TYPE 1) | | POWER TRANSFORMER POLE |
| | MAILBOX (RESIDENTIAL) | | TREE (AS NOTED) |



DOWNSPOUT TABLE

DS#1	CONCRETE=91.60 DOWNSPOUT LINE=90.20, 4"
DS#2	CONCRETE=91.20 DOWNSPOUT LINE=90.20, 4"
DS#3	CONCRETE=92.00 DOWNSPOUT LINE=89.55, 4"
DS#4	CONCRETE=92.00 DOWNSPOUT LINE=89.00, 4"

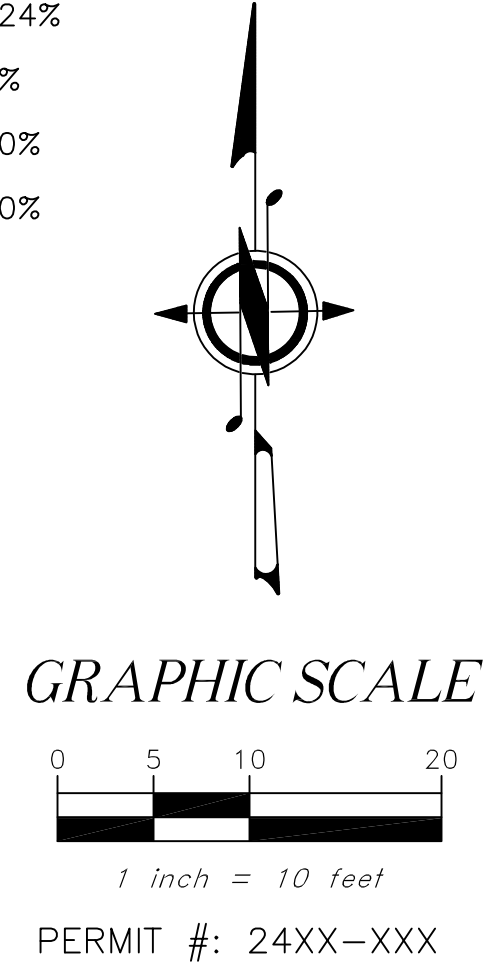
STORM PIPE TABLE

①	106LF., 6" PVC SDR-35 @ S=8.96%
②	16LF., 6" PVC SDR-35 @ S=4.69%
③	23LF., 6" PVC SDR-35 @ S=6.52%
④	12LF., 4" PVC SDR-35 @ S=25.0%
⑤	41LF., 4" PVC SDR-35 @ S=10.24%
⑥	8LF., 4" PVC SDR-35 @ S=2.00%
⑦	30LF., 4" PVC SDR-35 @ S=2.00%
⑧	32LF., 4" PVC SDR-35 @ S=2.00%

STORM PIPE PVC SHALL BE SDR-35 PVC AT SLOPE=2.00% MINIMUM (TYPICAL) UNLESS OTHERWISE NOTED

NEW PLUS REPLACED IMPERVIOUS SURFACES:
 ROOF AREA (UNDER EAVES) = 1,917 SQ. FEET
 UNCOVERED DRIVEWAY AREA = 657 SQ. FEET
 UNCOVERED PATIO/WALKWAYS = 401 SQ. FEET
 TOTAL IMPERVIOUS AREAS = 2,975 SQ. FEET

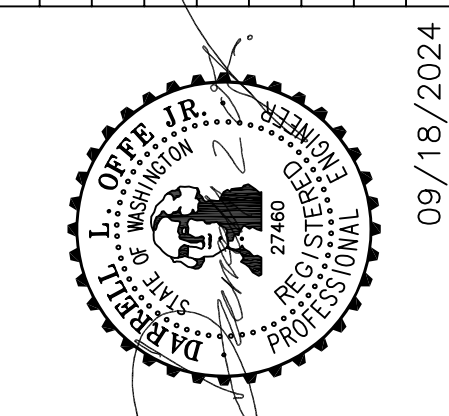
LANDSCAPE AREAS NOTE:
 DISTURBED LANDSCAPE AREAS SHALL BE TREATED AS AMENDED SOILS PER DOE FIGURE V-5.3.3, TYPICAL



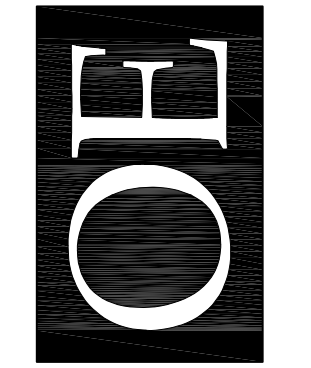
- CONSTRUCTION NOTES**
- (A) 4" FOUNDATION DRAIN CONNECTION
 - (B) YARD DRAIN #1
GRATE=86.13
IE=85.00, 4"(N)-FOUNDATION DRAIN
IE=84.50, 6"(E,SW)
 - (C) CB#1, TYPE 1
W/OIL SEPARATOR
W/VANED GRATE INLET
GRATE=85.50
TOP OF 6" TEE=84.50
IE=83.00, 6"(E,W)
BOTTOM OF 6" TEE=82.50
CB FLOOR=81.50(MIN.)
 - (D) INSTALL 1" METER AND 1" SERVICE LINE PER CITY OF MERCER ISLAND STANDARD PLAN W-14.
NOTE: CONTRACTOR TO COORDINATE FINAL LOCATION OF NEW METER WITH CITY OF MERCER ISLAND INSPECTOR AT TIME OF CONSTRUCTION
 - (E) 16" SLOT-DRAIN
GRATE=91.55
IE=90.40, 4"

NOTE: CONNECT 4" FOUNDATION DRAIN AT LOCATION SHOWN ON PLANS - ONLY!

NOTE: 4" PERFORATED FOUNDATION DRAIN REQUIRED BUT NOT SHOWN ON PLAN, CONNECT WHERE SHOWN ON PLAN, CONNECT TO YARD DRAIN (B), ONLY!



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 13932 SOUTHEAST 19TH PLACE
 RENTON, WASHINGTON 98058
 PHONE: 425-260-3412
 CONTACT: DARRELL OFFE, P.E.



27XX 62nd AVENUE SE
BV Homes, LLC
Stormwater Site Plan

PROJECT	DATE	09/18/2024
CLIENT	JOB NO.	
SHEET CONTENT	DWG NO.	
	SHEET	2 OF 5

REV. NO.	DATE	DESCRIPTION

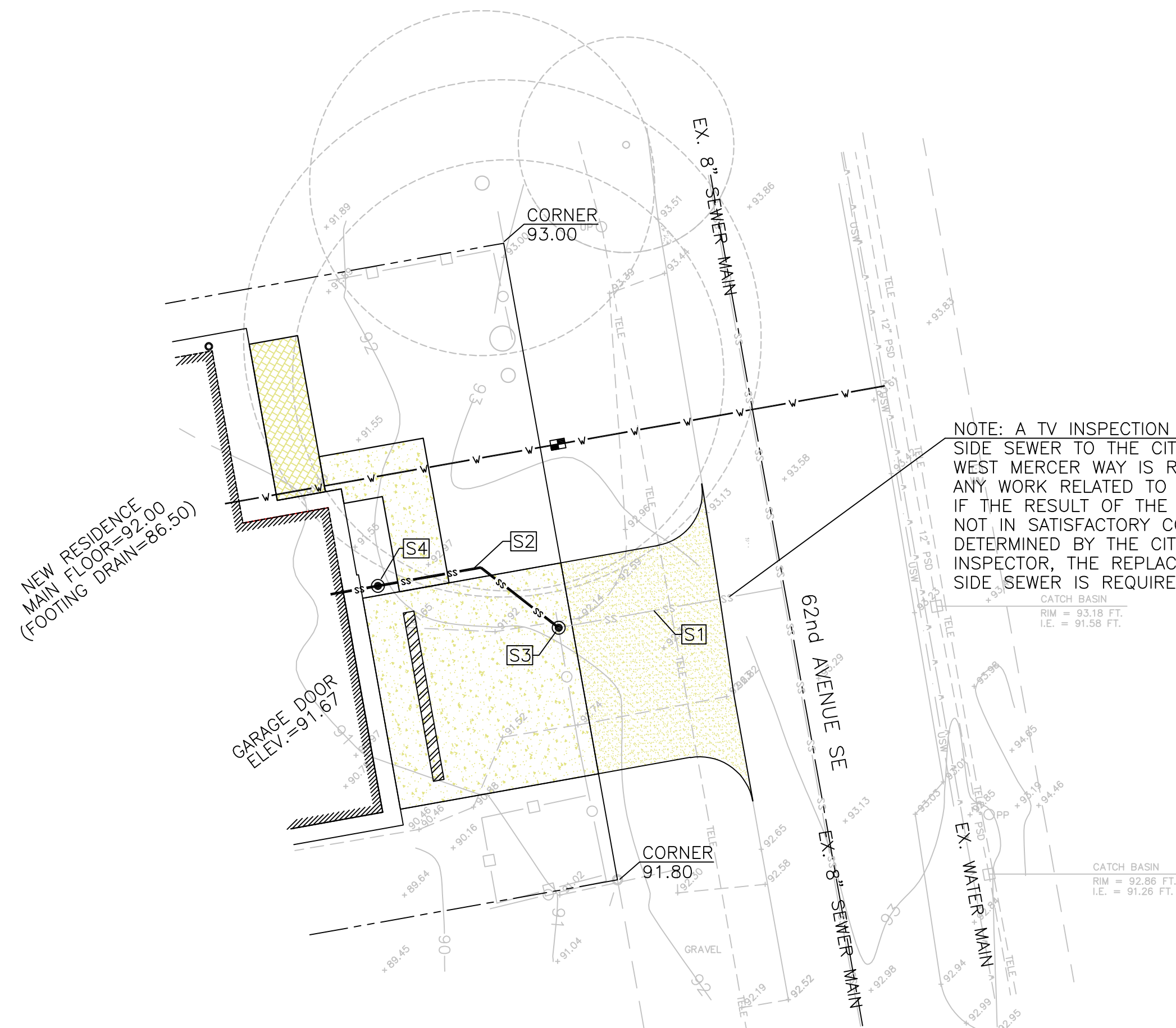
09/18/2024

CHECKED BY DLO

DRAWN BY SLS

DESIGNED BY DLO

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CALL BEFORE YOU DIG: 811



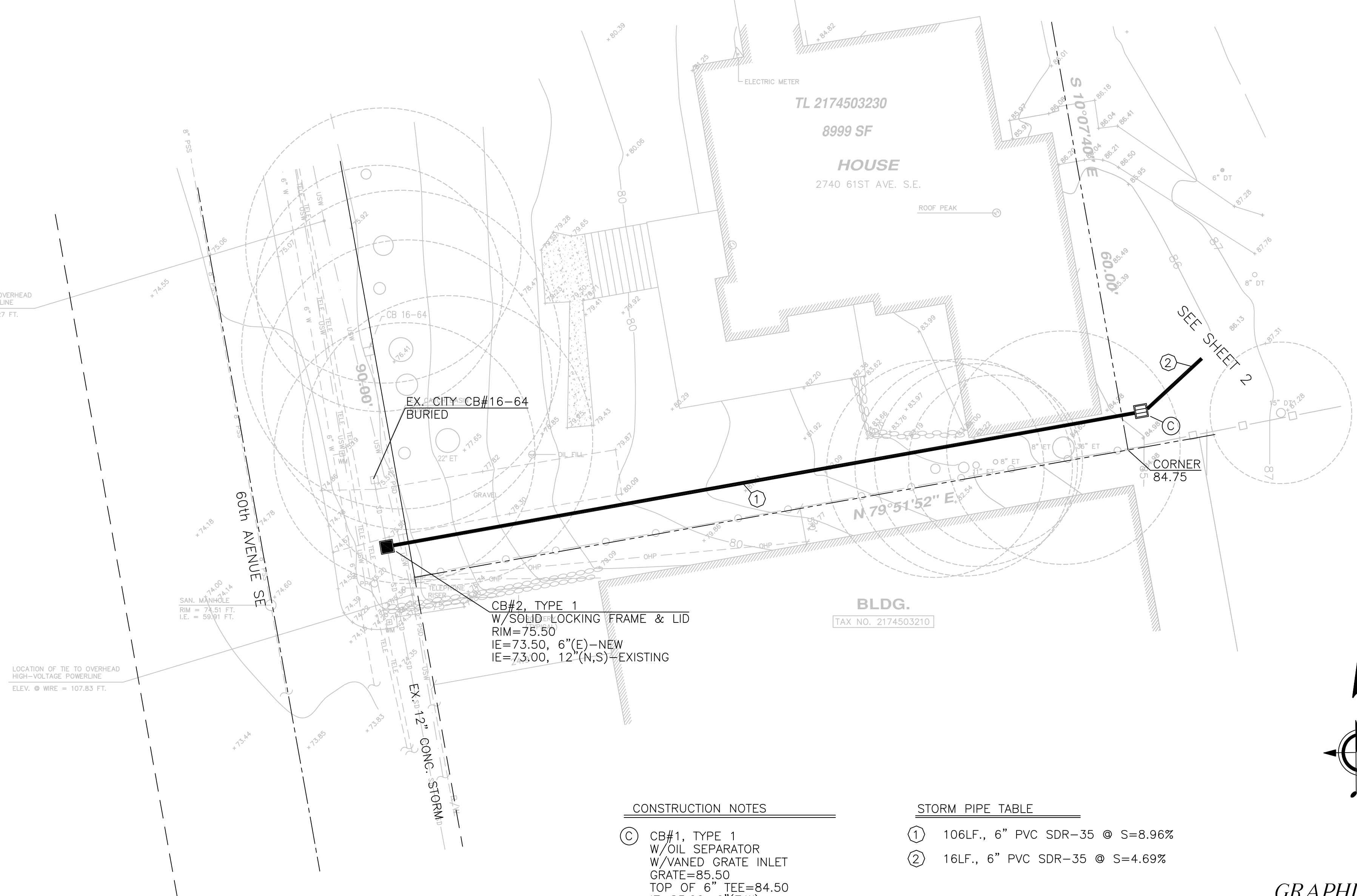
SANITARY SEWER CONNECTION

SIDE SEWER NOTES

- S1 APPROXIMATE LOCATION OF EXISTING SANITARY SIDE SEWER.
- S2 INSTALL 23LF., 4" PVC SIDE SEWER @ MIN. 2% SLOPE W/SANITARY SEWER CLEANOUTS
- S3 SANITARY SEWER CLEAN OUT W/TRAFFIC BEARING FRAME & LID
- S4 SANITARY SEWER CLEAN OUT W/IN LANDSCAPE AREA

LOCATION OF TIE TO OVERHEAD HIGH-VOLTAGE POWERLINE
ELEV. @ WRE = 103.27 FT.

LOCATION OF TIE TO OVERHEAD HIGH-VOLTAGE POWERLINE
ELEV. @ WRE = 107.83 FT.



CONSTRUCTION NOTES

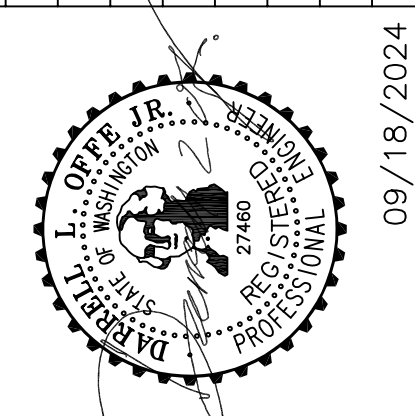
- C CB#1, TYPE 1 W/OIL SEPARATOR W/VANED GRATE INLET GRATE=85.50 TOP OF 6" TEE=84.50 IE=83.00, 6"(E,W) BOTTOM OF 6" TEE=82.50 CB FLOOR=81.50(MIN.)

STORM PIPE TABLE

- 1 106LF., 6" PVC SDR-35 @ S=8.96%
- 2 16LF., 6" PVC SDR-35 @ S=4.69%

LEGEND

	ASPHALT SURFACE		EXISTING SPOT ELEVATIONS
	BRICK SURFACE		MONUMENT IN CASE (FOUND)
	BUILDING		POWER METER
	CENTERLINE ROW		POWER (OVERHEAD)
	CLEANOUT		POWER POLE
	CULVERT PIPE		REBAR AS NOTED (FOUND)
	CONCRETE SURFACE		REBAR & CAP (SET)
	RETAINING WALL		ROCKERY
	DECK		SEWER LINE
	FENCE LINE (CHAIN LINK)		SEWER MANHOLE
	FENCE LINE (WOOD)		STORM DRAIN LINE
	GAS METER		TELEPHONE (OVERHEAD)
	GRAVEL SURFACE		TEL SENTRY
	HEDGE FOLIAGE LINE		WATER METER
	INLET (TYPE 1)		POWER TRANSFORMER POLE
	MAILBOX (RESIDENTIAL)		TREE (AS NOTED)



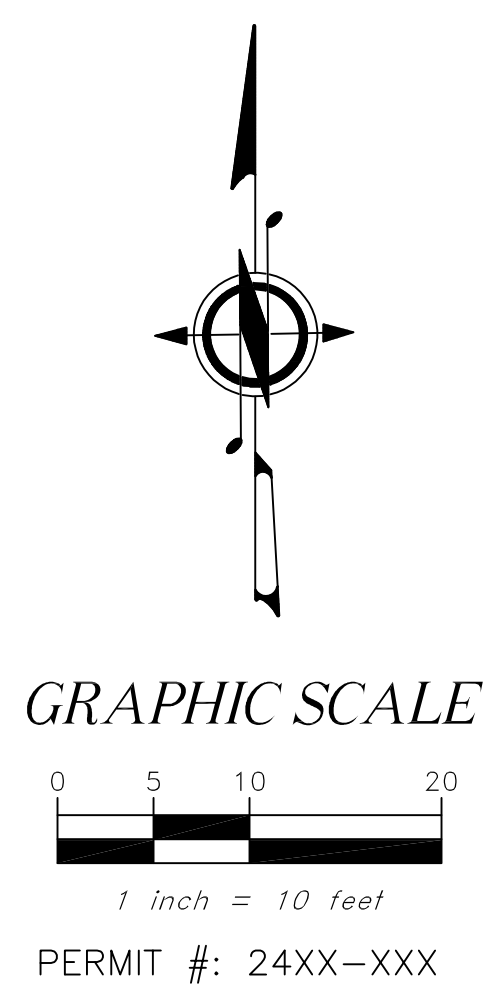
OFFE ENGINEERS
13932 SOUTHEAST 159TH PLACE
RENTON, WASHINGTON 98058
PHONE: 425-260-3412
CONTACT: DARRELL OFFE, P.E.



PROJECT: 27XX 62nd AVENUE SE
CLIENT: BV Homes, LLC
SHEET CONTENT: Stormwater Site Plan

DATE	09/18/2024
JOB NO.	
DWG NO.	
SHEET	3 OF 5
PERMIT #:	24XX-XXX

REV. NO.	DATE	DESCRIPTION



EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.
CALL BEFORE YOU DIG: 811

LEGEND

- | | | | |
|--|-------------------------|--|--------------------------|
| | ASPHALT SURFACE | | EXISTING SPOT ELEVATIONS |
| | BRICK SURFACE | | MONUMENT IN CASE (FOUND) |
| | BUILDING | | POWER METER |
| | CENTERLINE ROW | | POWER (OVERHEAD) |
| | CLEANOUT | | POWER POLE |
| | CULVERT PIPE | | REBAR AS NOTED (FOUND) |
| | CONCRETE SURFACE | | REBAR & CAP (SET) |
| | RETAINING WALL | | ROCKERY |
| | DECK | | SEWER LINE |
| | FENCE LINE (CHAIN LINK) | | SEWER MANHOLE |
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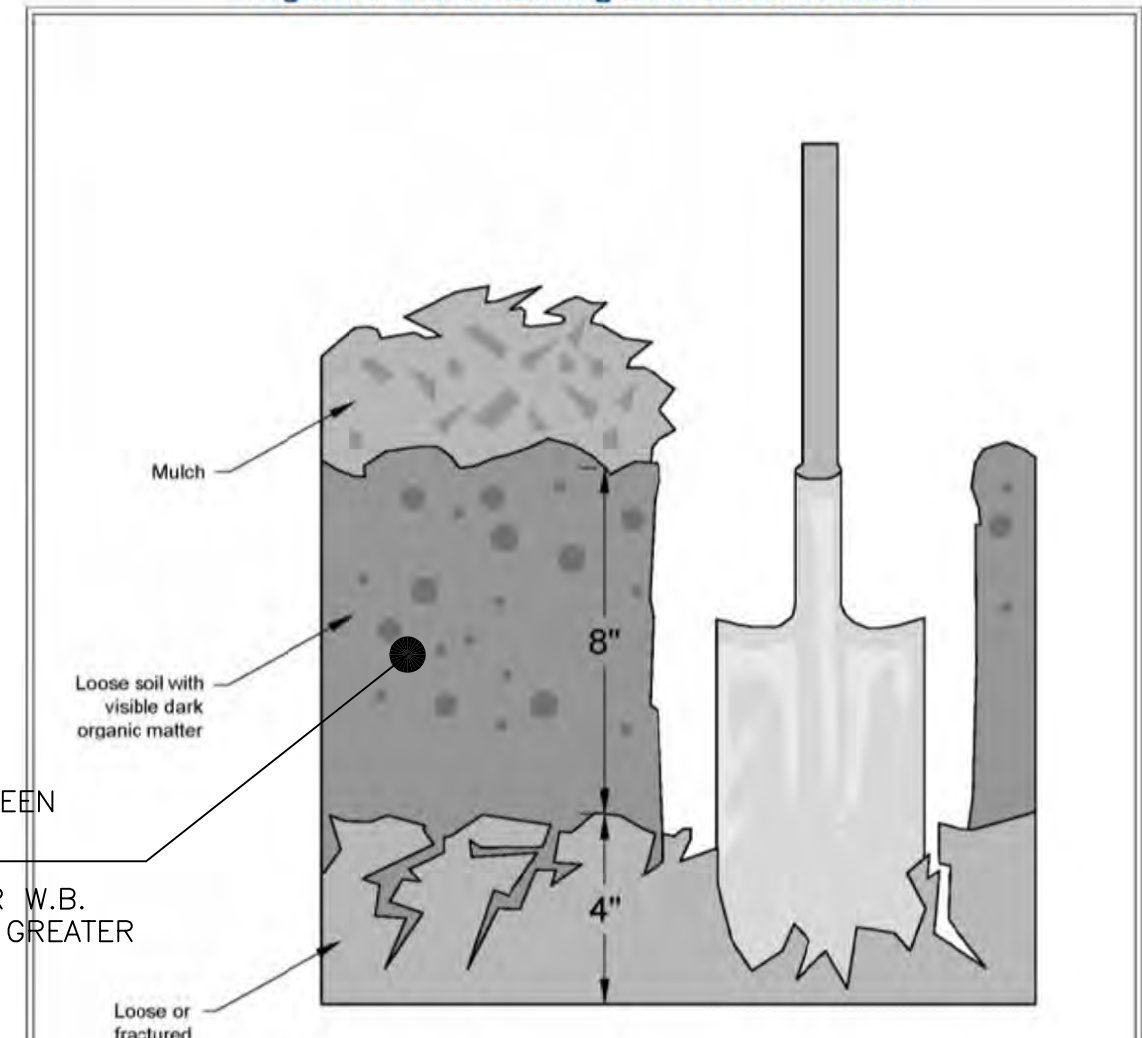
AMENDED SOIL MAP

- | | |
|--|---|
| | ESTIMATED
2,112 SQUARE FEET – TURF AREA
AMENDED 8" DEEP (52 CU. YDS.) |
| | ESTIMATED
307 SQUARE FEET – PLANTER AREA
AMENDED 8" DEEP (8 CU. YDS.) |



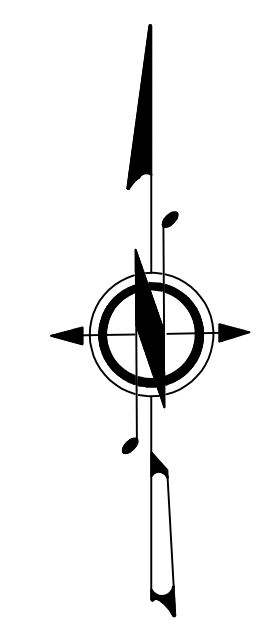
NOTE: THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

Figure V-11.1: Planting Bed Cross-Section

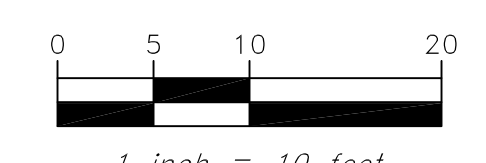


pH TO BE BETWEEN 6-10
ORGANIC MATTER W.B. TO BE 10% OR GREATER

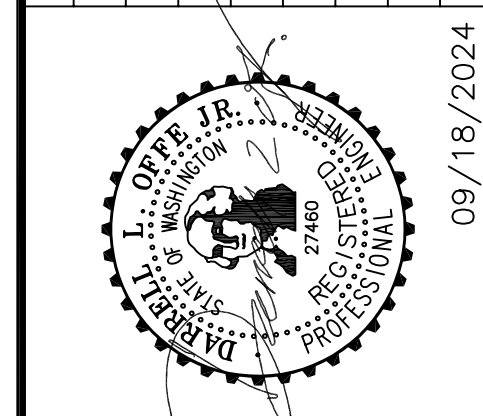
Reprinted from Guidelines and Resources For Implementing Soil Quality and Depth BMP T5.13 in WDOE Stormwater Management Manual for Western Washington, 2010, Washington Organic Recycling Council
NOT TO SCALE
Planting Bed Cross-Section
Revised June 2016
DEPARTMENT OF ECOLOGY
State of Washington
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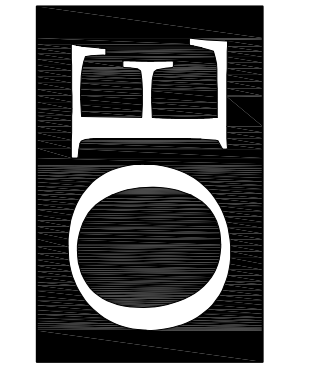
GRAPHIC SCALE



PERMIT #: 24XX-XXX



OFFE ENGINEERS
13932 SOUTHEAST 199TH PLACE
RENTON, WASHINGTON 98058
PHONE: 425-260-3412
CONTACT: DARRELL OFFE, P.E.



PROJECT: 27XX 62nd AVENUE SE
CLIENT: BV Homes, LLC
SHEET CONTENT: Amended Soils Plan

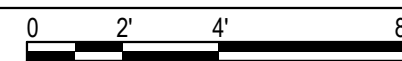
DESIGNED BY: DLO
DRAWN BY: SL\$
CHECKED BY: DLO
DATE: 09/18/2024
JOB NO.:
DWG NO.:
SHEET 5 OF 5

REV. NO.	DATE	DESCRIPTION



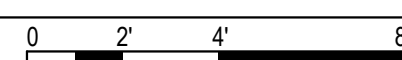
2 WEST RENDERED ELEVATION

SCALE: 1/4" = 1'-0"



1 EAST RENDERED ELEVATION

SCALE: 1/4" = 1'-0"



MATERIAL SCHEDULE						
ID	MATERIAL IMAGE	TYPE	EXT/INT	PRODUCT DIMENSIONS	COLOR/FINISH	NOTES/ DESCRIPTIONS
TBD						
BR.01		BRICK	EXT	3.5' x 2.5' x 7.5"	MUTUAL MATERIALS COAL CREEK	TBD
CN.01		CAST IN-PLACE CONCRETE	EXT	N/A	NATURAL	TBD
CP.01		FIBER CEMENT PANEL	EXT	4' x 10' SHEETS, MINIMIZE JOINTS, REFER TO ELEVATIONS	SW 7064 PASSIVE	TBD
CP.02		FIBER CEMENT PANEL	EXT	4' x 10' SHEETS, MINIMIZE JOINTS, REFER TO ELEVATIONS	SW 6258 TRICORN BLACK	BLACK SIDING ON ROOF AND EAVES, AND EXTERIOR WALLS, SEE DR ELEVATIONS
CP.03		FIBER CEMENT PANEL	EXT	4' x 10' SHEETS, MINIMIZE JOINTS, REFER TO ELEVATIONS	SW 7069 IRON ORE	TBD
WD.01		TIGHT KNOT STAINED CEDER	EXT	4' SHIPLAP OR TONGUE AND GROOVE	PRESTAINED, 2-COATS CABOT SEMI TRANSPARENT OIL STAIN, CLEAR COAT	INSTALL AT SOFFIT/ OVERHANGS WHERE VISIBLE

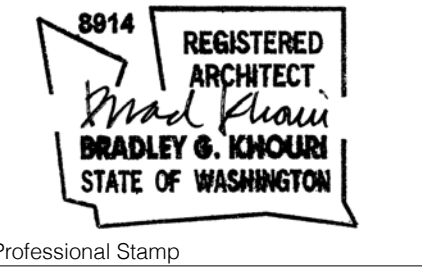
Architect of Record

b9 architects

400 E Pine Street
Seattle, WA 98122
206.297.1284
www.b9architects.com

Project:
27XX 62ND AVE SE

Location:
27XX 62ND AVE SE
MERCER ISLAND, WA 98040



Issue ID	Issue Name	Issue Date
01	Building Permit Set	10/10/24

City Stamp

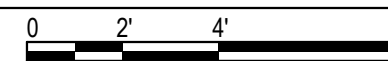
Rendered
Elevation

DR.01



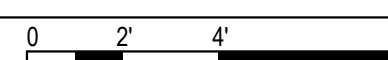
2 SOUTH RENDERED ELEVATION

SCALE: 1/4" = 1'-0"



1 NORTH RENDERED ELEVATION

SCALE: 1/4" = 1'-0"



MATERIAL SCHEDULE						
ID	MATERIAL IMAGE	TYPE	EXT/INT	PRODUCT DIMENSIONS	COLOR/FINISH	NOTES/ DESCRIPTIONS
TBD						
BR.01		BRICK	EXT	3.5" x 2.5" x 7.5"	MUTUAL MATERIALS COAL CREEK	TBD
CN.01		CAST IN-PLACE CONCRETE	EXT	N/A	NATURAL	TBD
CP.01		FIBER CEMENT PANEL	EXT	4' x 10' SHEETS, MINIMIZE JOINTS, REFER TO ELEVATIONS	SW 7064 PASSIVE	TBD
CP.02		FIBER CEMENT PANEL	EXT	4' x 10' SHEETS, MINIMIZE JOINTS, REFER TO ELEVATIONS	SW 6258 TRICORN BLACK	BLACK SIDING ON ROOF AND EAVES, AND EXTERIOR WALLS, SEE DR ELEVATIONS
CP.03		FIBER CEMENT PANEL	EXT	4' x 10' SHEETS, MINIMIZE JOINTS, REFER TO ELEVATIONS	SW 7069 IRON ORE	TBD
WD.01		TIGHT KNOT STAINED CEDER	EXT	4" SHIPLAP OR TONGUE AND GROOVE	PRESTAINED, 2-COATS CABOT SEMI TRANSPARENT OIL STAIN, CLEAR COAT	INSTALL AT SOFFIT/ OVERHANGS WHERE VISIBLE

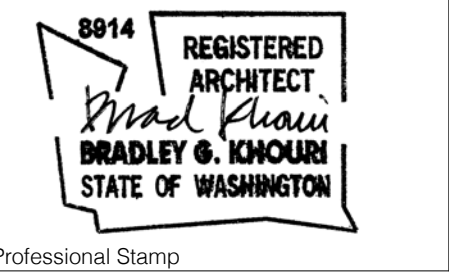
Architect of Record

b9 architects

400 E Pine Street
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Project:
**27XX 62ND AVE
SE**

Location:
27XX 62ND AVE SE
MERCER ISLAND, WA 98040



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01 | Building Permit Set | 10/10/24

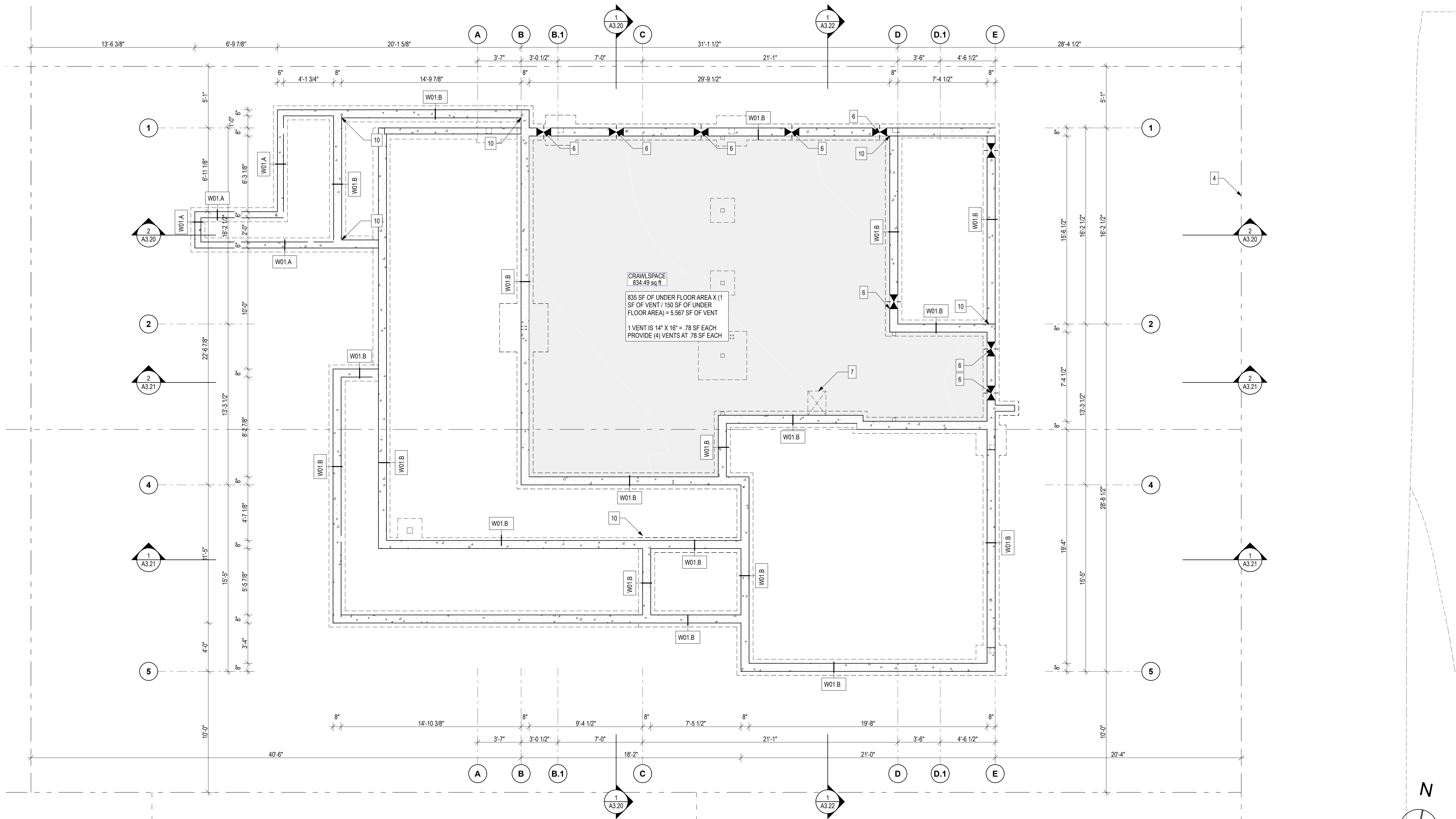
City Stamp

Rendered
Elevation

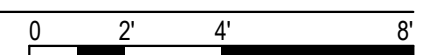
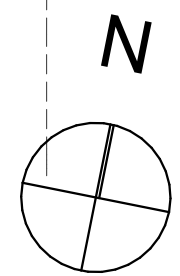
DR.02

FOUNDATION PLAN NOTES

1. *GENERAL CONTRACTOR TO VERIFY EXISTING/FINISHED GRADE AND TOP OF CONCRETE WALL ELEVATIONS SHOWN ON THE ARCHITECTURAL FOUNDATION PLAN. IF FIELD CONDITIONS VARY FROM DIMENSIONS IN THE PLANS, CONTRACTOR TO CONTACT ARCHITECT FOR CLARIFICATION.*
2. PROVIDE INSULATION EXTENDING DOWNWARD FROM THE TOP OF THE SLAB TO THE TOP OF THE FOOTING, PER SEC R402.2.9, TYP.
3. REFER TO STRUCTURAL DRAWINGS FOR ALL CONCRETE FOUNDATION WALLS AND FOOTINGS. LOCATE ALL WALLS AND FOOTING BASED ON DIMENSIONS ON THIS SHEET.
4. PROJECT AND GRIDS IS SQUARE TO EAST PROPERTY LINE
5. WHERE T.O. MUDSILL ELEVATION IS NOTED, REFER TO STRUCTURAL DRAWINGS FOR MUDSILL THICKNESS AND CALCULATE TOP OF CONCRETE ELEVATION
6. PROVIDE UNDER FLOOR VENT PER IRC R408.2. OPENING SHALL BE MIN. 78 SF.
835 SF OF UNDER FLOOR AREA X (1 SF OF VENT / 150 SF OF UNDER FLOOR AREA) = 5.567 SF OF VENT
1 VENT IS 14" X 16" = 78 SF EACH
PROVIDE (8) VENTS AT .78 SF EACH
7. PROVIDE 1'-6" X 2'-0" MIN CRAWL SPACE ACCESS HATCH PER IRC R408.4. PANEL TO ALIGN WITH FLOOR SUBSTRATE TO ALLOW FOR A SEAMLESS FLOOR FINISH.
8. CONCRETE STAIR ON GRADE
9. TERMINATE RETAINING WALL BELOW CONCRETE STAIR ON GRADE
10. STEP IN SLAB/STEP, TYP



1 FOUNDATION
SCALE: 1/4" = 1'-0"



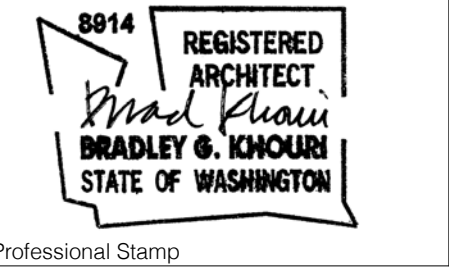
Architect of Record

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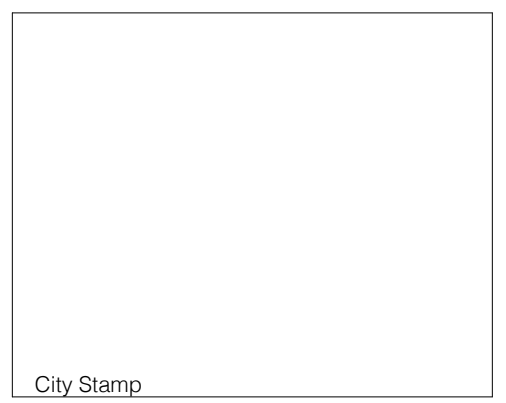
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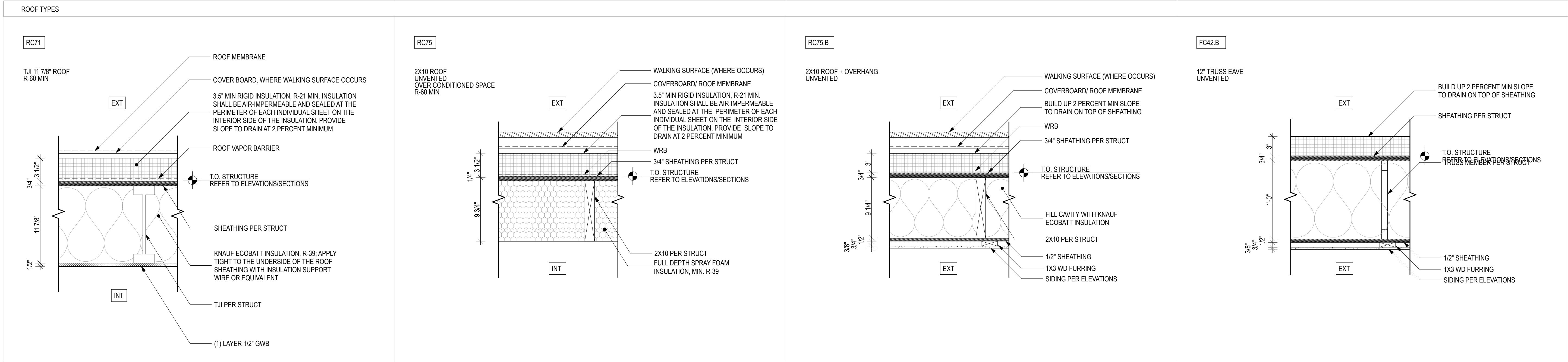
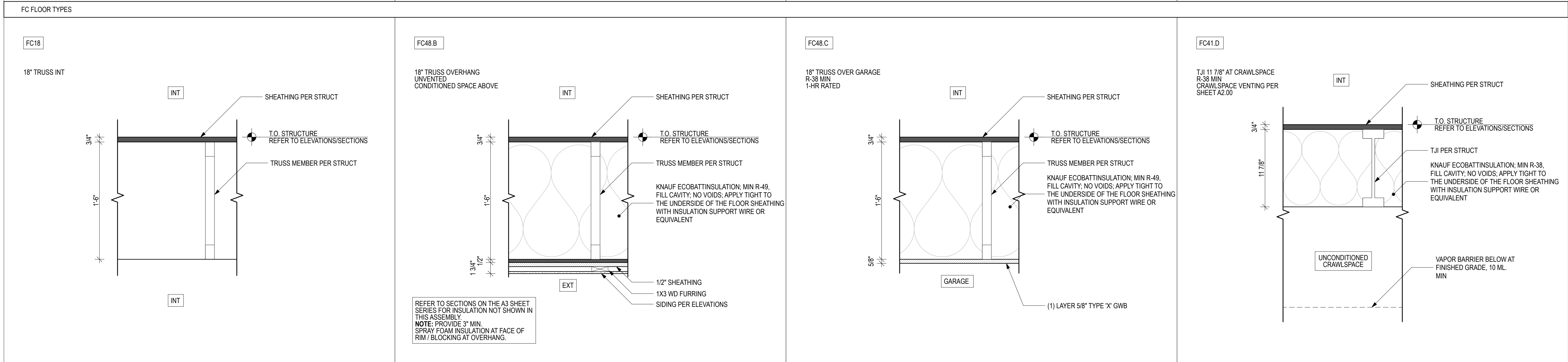
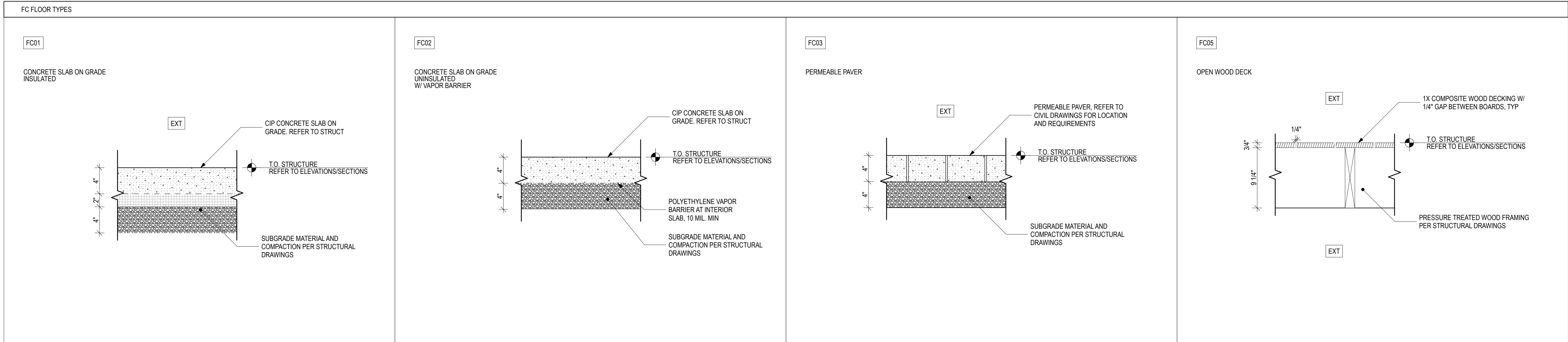


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Foundation Plan

A2.00



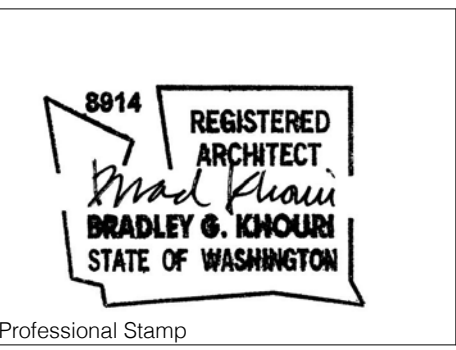
Architect of Record

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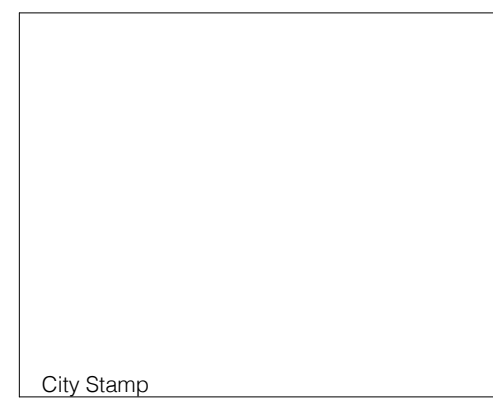
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Floor Types

A8.01

SINGLE FAMILY RESIDENCE WINDOW SCHEDULE											
WINDOW NUMBER	A1	A1.T	A2.T	A3.T	A4	A5	A6	A7.T	A8.T	A9	A10
QUANTITY	3	1	1	1	1	1	1	2	1	1	1
ELEVATION											
LOCATION	LIVING	DINING	BATH	ENTRY	KITCHEN	KITCHEN	PRIMARY BEDROOM	PRIMARY BATH	PRIMARY BATH	BEDROOM	BEDROOM
WINDOW TYPE	F	F	F	F	F	F	F	F	F	F	F
WIDTH	2'-9"	2'-9"	3'-9"	3'-9"	2'-6"	2'-6"	2'-9"	3'-0"	3'-0"	4'-0"	3'-0"
HEIGHT	8'-0"	8'-0"	8'-0"	8'-0"	6'-0"	6'-0"	6'-6"	4'-0"	4'-0"	6'-0"	6'-0"
WINDOW AREA	22.00	22.00	30.00	30.00	15.00	15.00	17.88	12.00	12.00	24.00	18.00
SILL HEIGHT	1'-9"	1'-9"	1'-9"	1'-9"	3'-9"	3'-9"	2'-1"	5'-2"	5'-2"	2'-7"	2'-7"
U-VALUE	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25
TEMPERED	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
EGRESS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
EXTERIOR FRAME COLOR	BLACK	BLACK	BLACK	BLACK	BLACK	BLACK	BLACK	BLACK	BLACK	BLACK	BLACK
INTERIOR FRAME COLOR	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE
NOTES			FROSTED FOR PRIVACY								

SINGLE FAMILY RESIDENCE WINDOW SCHEDULE											
WINDOW NUMBER	A11.T	B1	B2	B3	B4	B5	C1	C2.T	C3	C4.T	C5.T
QUANTITY	1	1	1	1	1	4	2	1	1	1	1
ELEVATION											
LOCATION	BATH	LIVING	GARAGE	ENTRY	PRIMARY BEDROOM	BEDROOM	LIVING	LIVING	DINING	STAIRWELL	BATH
WINDOW TYPE	F	F	F	F	F	S	C	C	C	F	C
WIDTH	2'-6"	6'-0"	5'-0"	4'-3 1/2"	3'-3"	6'-0"	2'-9"	2'-9"	2'-9"	4'-0"	2'-0"
HEIGHT	3'-0"	2'-6"	3'-0"	2'-3"	1'-6"	3'-0"	8'-0"	8'-0"	8'-0"	13'-0"	8'-0"
WINDOW AREA	7.50	15.00	15.00	9.66	4.87	18.00	22.00	22.00	22.00	52.00	16.00
SILL HEIGHT	5'-7"	7'-4"	5'-3"	7'-6"	7'-1"	5'-7"	1'-9"	1'-9"	1'-9"	7'-1 3/4"	1'-9"
U-VALUE	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25
TEMPERED	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
EGRESS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
EXTERIOR FRAME COLOR	BLACK	BLACK	BLACK	BLACK	BLACK	BLACK	BLACK	BLACK	BLACK	BLACK	BLACK
INTERIOR FRAME COLOR	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE
NOTES											

SINGLE FAMILY RESIDENCE WINDOW SCHEDULE					
WINDOW NUMBER	O6	C7	C8	C9	S1
QUANTITY	1	1	1	2	4
ELEVATION					
LOCATION	BEDROOM	PRIMARY BEDROOM	BEDROOM	BEDROOM	ROOF SKYLIGHT, REFER TO PLANS FOR DIMENSIONS
WINDOW TYPE	C	C	C	C	F
WIDTH	2'-9"	2'-9"	2'-9"	4'-6"	--
HEIGHT	7'-0"	6'-6"	7'-0"	6'-0"	--
WINDOW AREA	19.25	17.88	19.25	27.00	--
SILL HEIGHT	2'-2"	2'-1"	2'-2"	2'-7"	--
U-VALUE	0.25	0.25	0.25	0.25	0.50
TEMPERED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
EGRESS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
EXTERIOR FRAME COLOR	BLACK	BLACK	BLACK	BLACK	TBD
INTERIOR FRAME COLOR	WHITE	WHITE	WHITE	WHITE	WHITE
NOTES					SKYLIGHT GLAZING TO COMPLY WITH

WINDOW TYPES NAMING CONVENTION

WINDOW CONFIGURATION (REFER TO WINDOW TYPE ROW)
 VARIANT (WINDOW CONFIGURATION: COLOR / SIZE)
 VARIANT (TEMPERED)

WINDOW NUMBER ID: A1.T

OPERABILITY:
 HINGE AT LEFT SIDE EXTERIOR ELEVATION (L)
 HINGE AT RIGHT SIDE EXTERIOR ELEVATION (R)
 UP (U)
 DOWN (DN)

NOTE: ALL INTERIOR WINDOW FRAMES ARE TO BE WHITE VINYL, REFER TO WINDOW SCHEDULE FOR EXTERIOR FRAME COLOR

WINDOW GROUPING DESIGNATIONS

CONFIGURATION:	TYPES:
VERTICAL WINDOW WITH/WITHOUT OPERABLE PANE	A FIXED/ PICTURE WINDOW F
HORIZONTAL WINDOW WITH/WITHOUT OPERABLE PANE	B SLIDING WINDOW S
COMBINATION	C AWNING A
SKYLIGHT	S CASEMENT C
	SINGLE HUNG SH
	DOUBLE HUNG DH

NFRC CERTIFIED PRODUCT DIRECTORY NUMBERS

MILGARD WINDOWS:
 STYLES 6110; 6340; 6230

6340 FIXED	MIL-A-178-09307-00001
6110 SLIDING	MIL-A-153-16580-00001
6230 SINGLE HUNG	MIL-A-154-05562-00001

GENERAL WINDOW NOTES

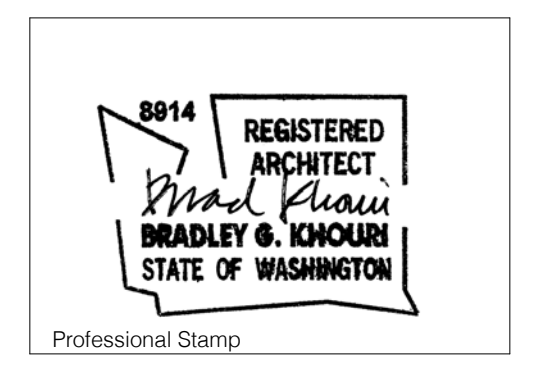
- ALL WINDOW SIZES DENOTE ROUGH OPENING
- CONTRACTOR IS RESPONSIBLE FOR ORDERING THE CORRECT WINDOW SIZES, CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS DURING CONSTRUCTION.
- SEE PLANS AND ELEVATIONS FOR HINGE LOCATIONS AND DIRECTIONS.
- ALL GLAZING TO BE LOW-E, INSULATED GLAZING, U.O.N.
- U-FACTORS SHALL BE LABELED AND NFRC CERTIFIED
- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS FOR EGRESS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20".
- HAZARDOUS GLAZING LOCATIONS:
 - GLAZING IN DOORS: GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS.
 - EXCEPTIONS:
 - GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3-INCH DIAMETER SPHERE IS UNABLE TO PASS.
 - DECORATIVE GLAZING
 - GLAZING ADJACENT TO DOORS: GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
 - EXCEPTIONS:
 - DECORATIVE GLAZING.
 - WHERE THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER BETWEEN THE DOOR AND GLAZING.
 - GLAZING ADJACENT TO WINDOWS: GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS.
 - EXCEPTIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET, AND
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR, AND
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR, AND
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.
 - GLAZING IN GUARDRAILS AND RAILINGS: ALL GLAZING IN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS, REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
 - GLAZING AND WET SURFACES: GLAZING IN ENCLOSURES FOR OR WALLS FACING BATHTUBS AND SHOWERS WHERE THE EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 - EXCEPTIONS: GLAZING THAT IS MORE THAN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE FROM THE WATER'S EDGE OF A BATHTUB.
 - GLAZING ADJACENT TO STAIRWAYS AND RAMPS: GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS SHALL BE CONSIDERED TO BE HAZARDOUS LOCATIONS.
 - EXCEPTIONS:
 - THE SIDE OF THE STAIRWAY, LANDING, OR RAMP THAT HAS GUARD COMPLYING WITH SECTIONS 1015 AND 1607.8, AND THE PLANE OF THE GLASS IS GREATER THAN 18 INCHES FROM THE RAILING.
 - GLAZING 36 INCHES OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACES.
 - GLAZING ADJACENT TO THE BOTTOM STAIRWAY LANDING: GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE LANDING AND WITHIN A 60-INCH HORIZONTAL ARC THAT IS LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
 - EXCEPTION: GLAZING THAT IS PROTECTED BY A GUARD COMPLYING WITH SECTIONS 1015 AND 1607.8 WHERE THE PLANE OF THE GLASS IS GREATER THAN 18 INCHES FROM THE GUARD
 - FIRE DEPARTMENT ACCESS PANELS: FIRE DEPARTMENT GLASS ACCESS PANELS SHALL BE OF TEMPERED GLASS. FOR INSULATING GLASS UNITS, ALL PANES SHALL BE TEMPERED.
 - REFER TO FLOOR PLAN FOR ALL EGRESS WINDOWS.

Architect of Record

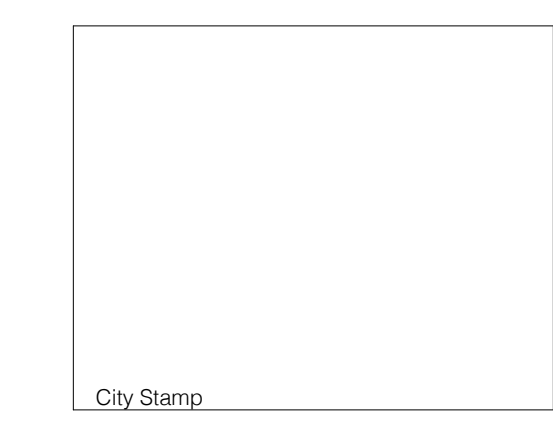
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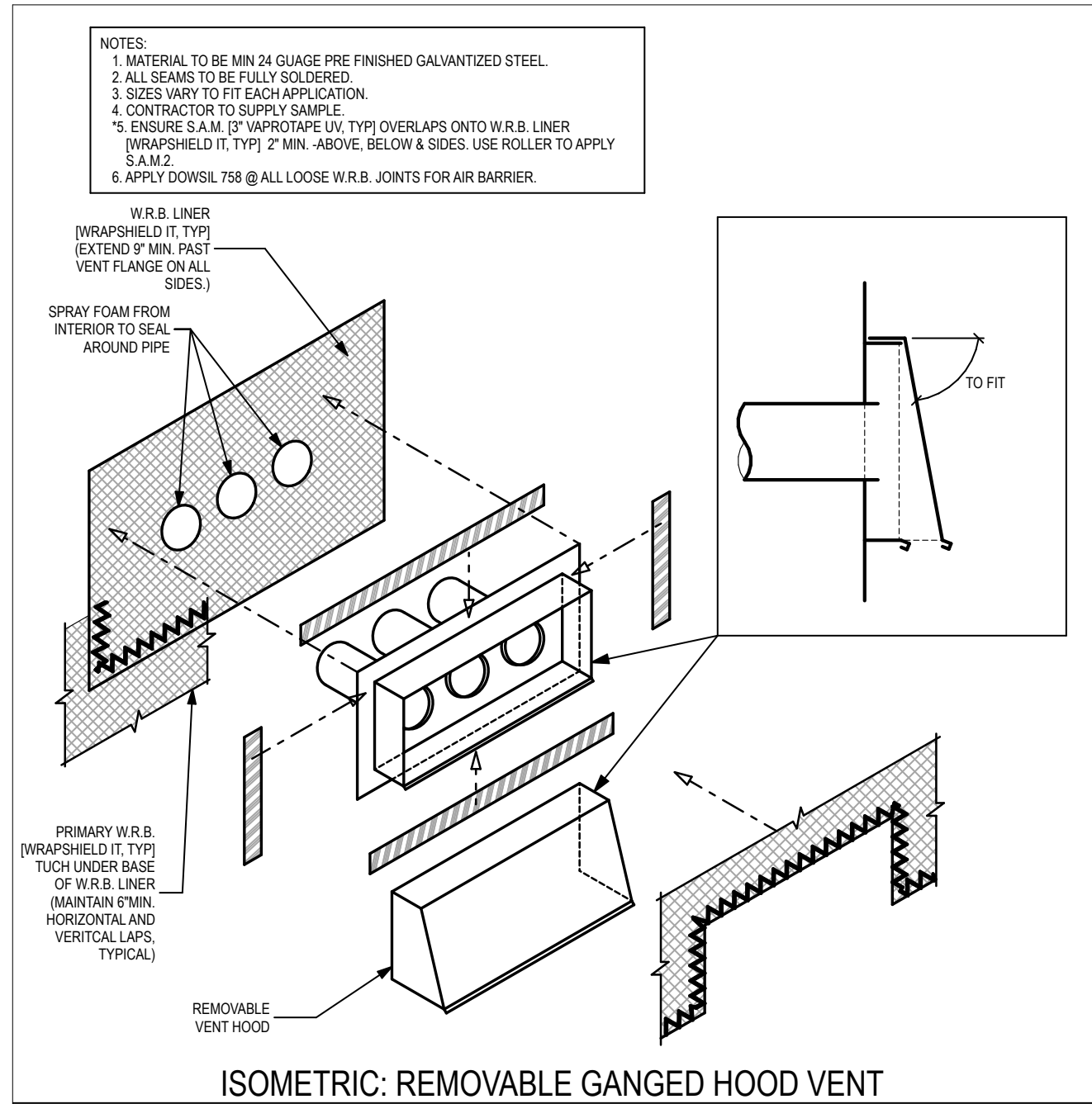


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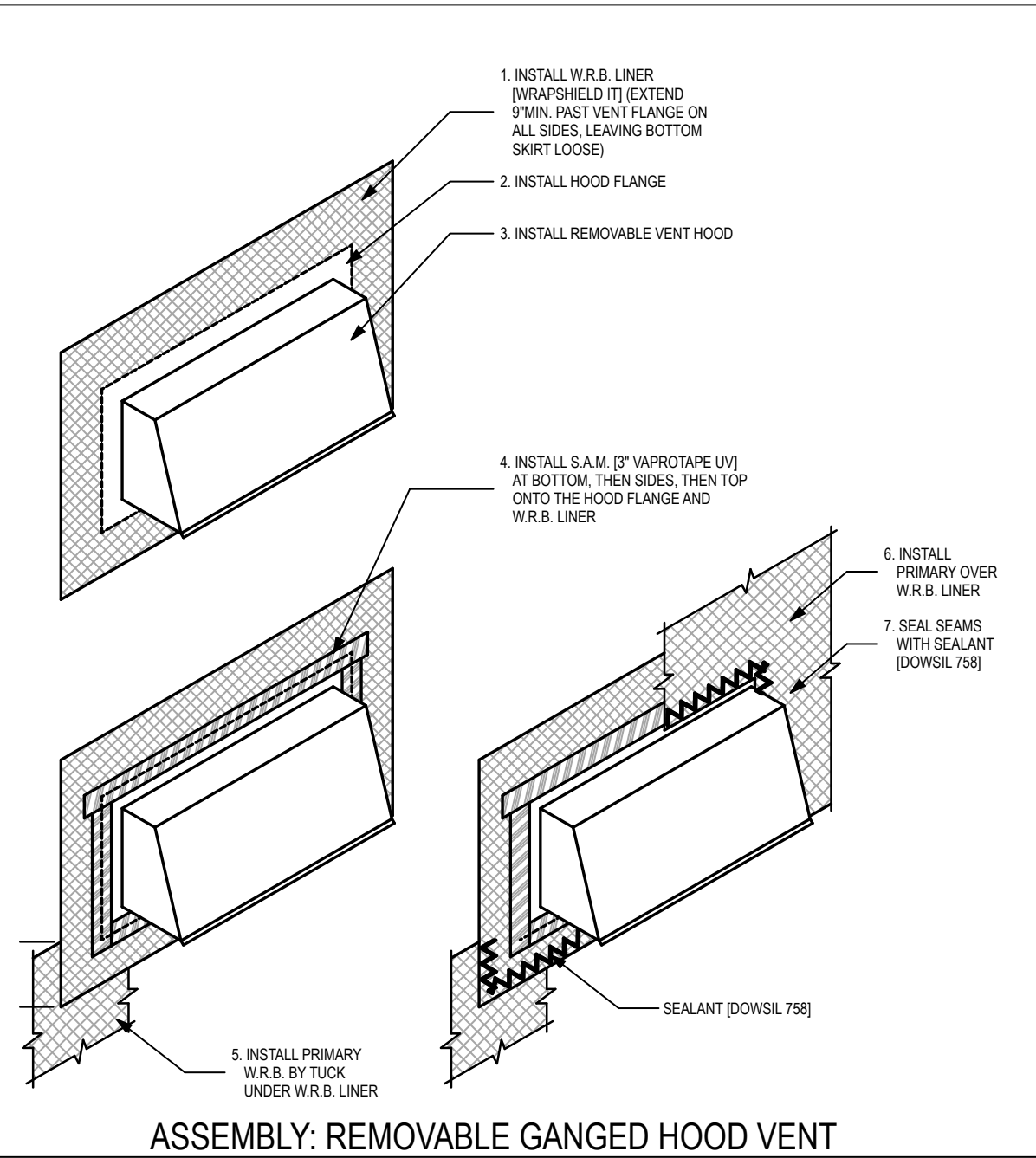


Windows Schedule

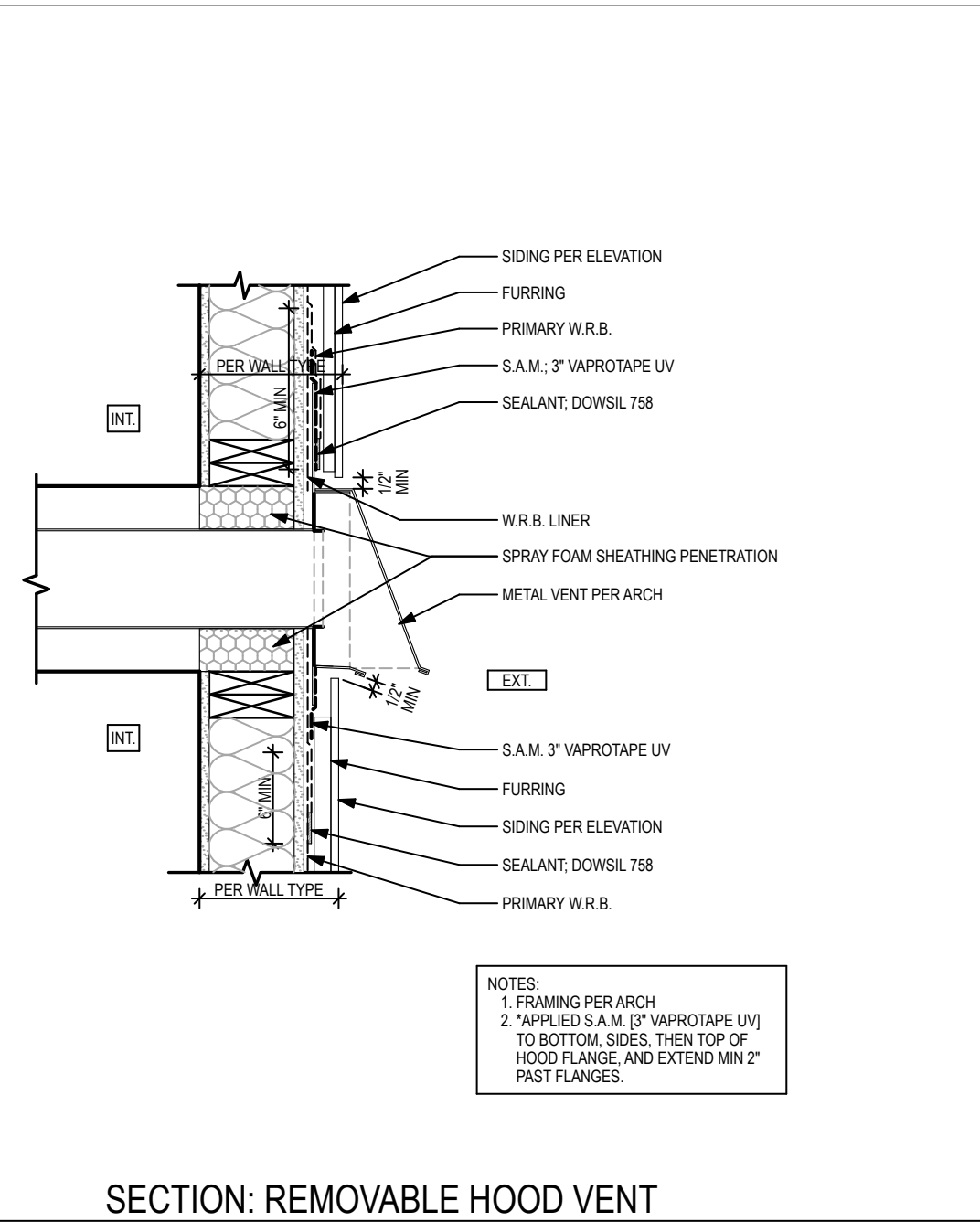
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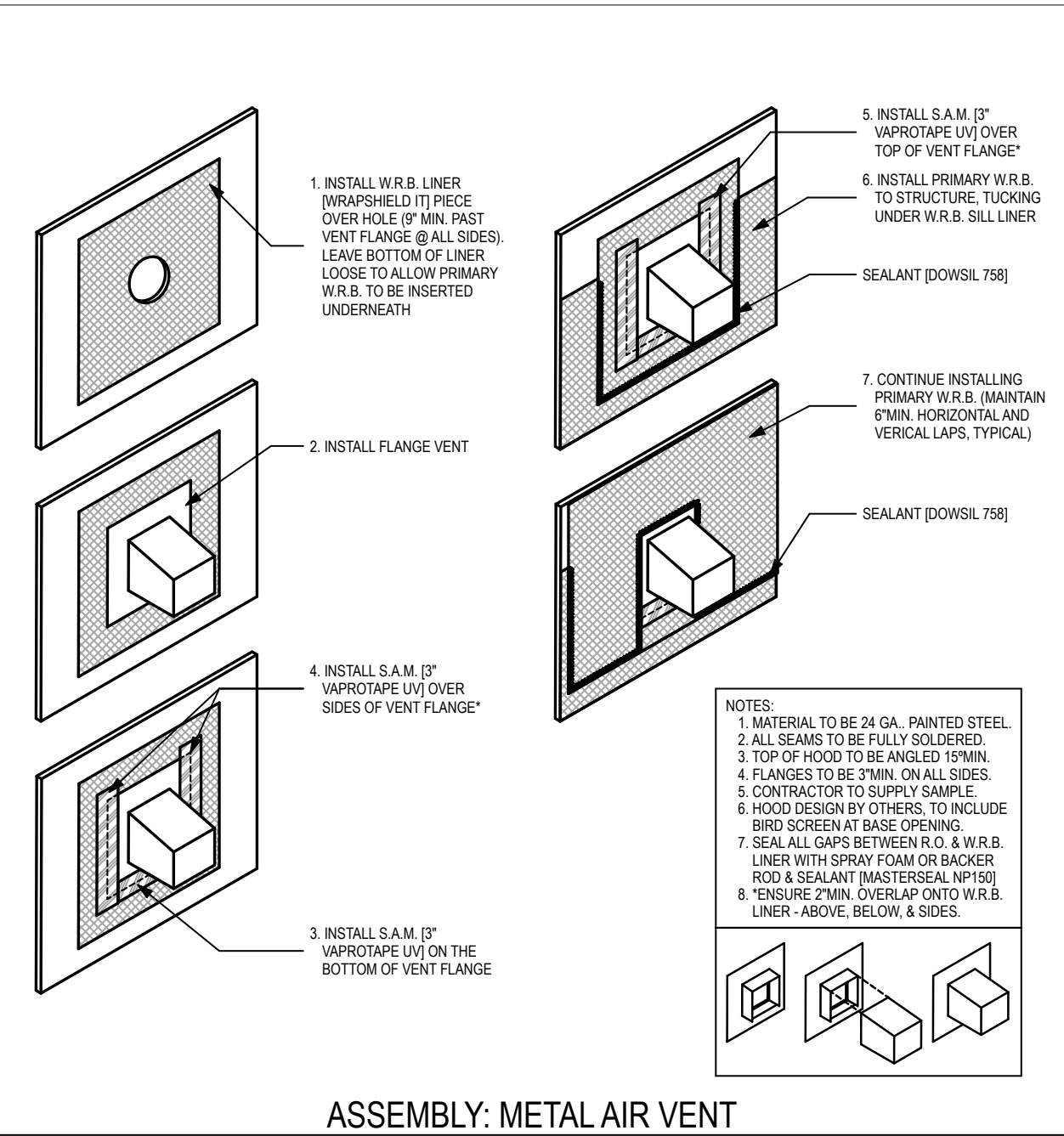
ISOMETRIC: REMOVABLE GANGED HOOD VENT



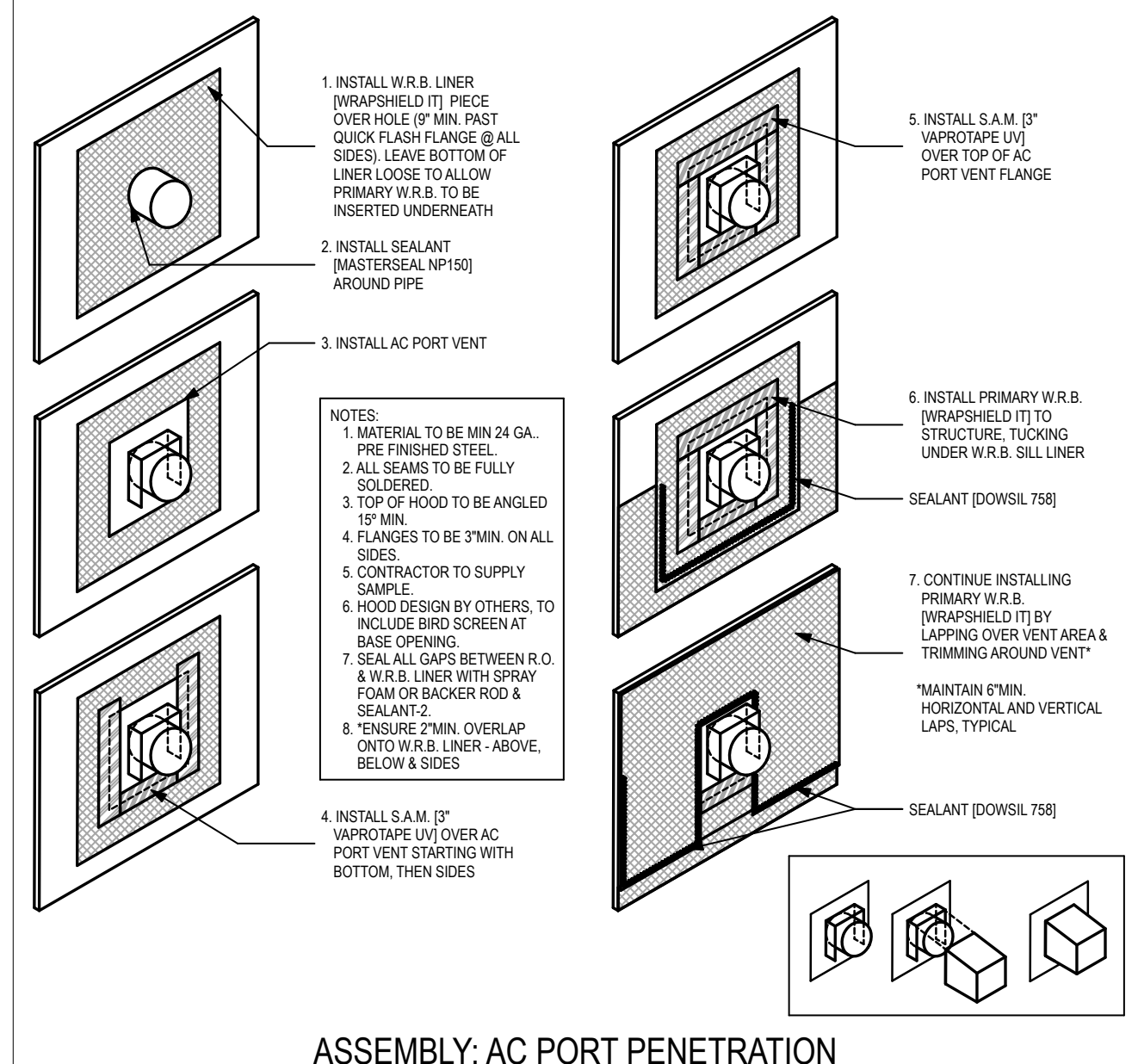
ASSEMBLY: REMOVABLE GANGED HOOD VENT



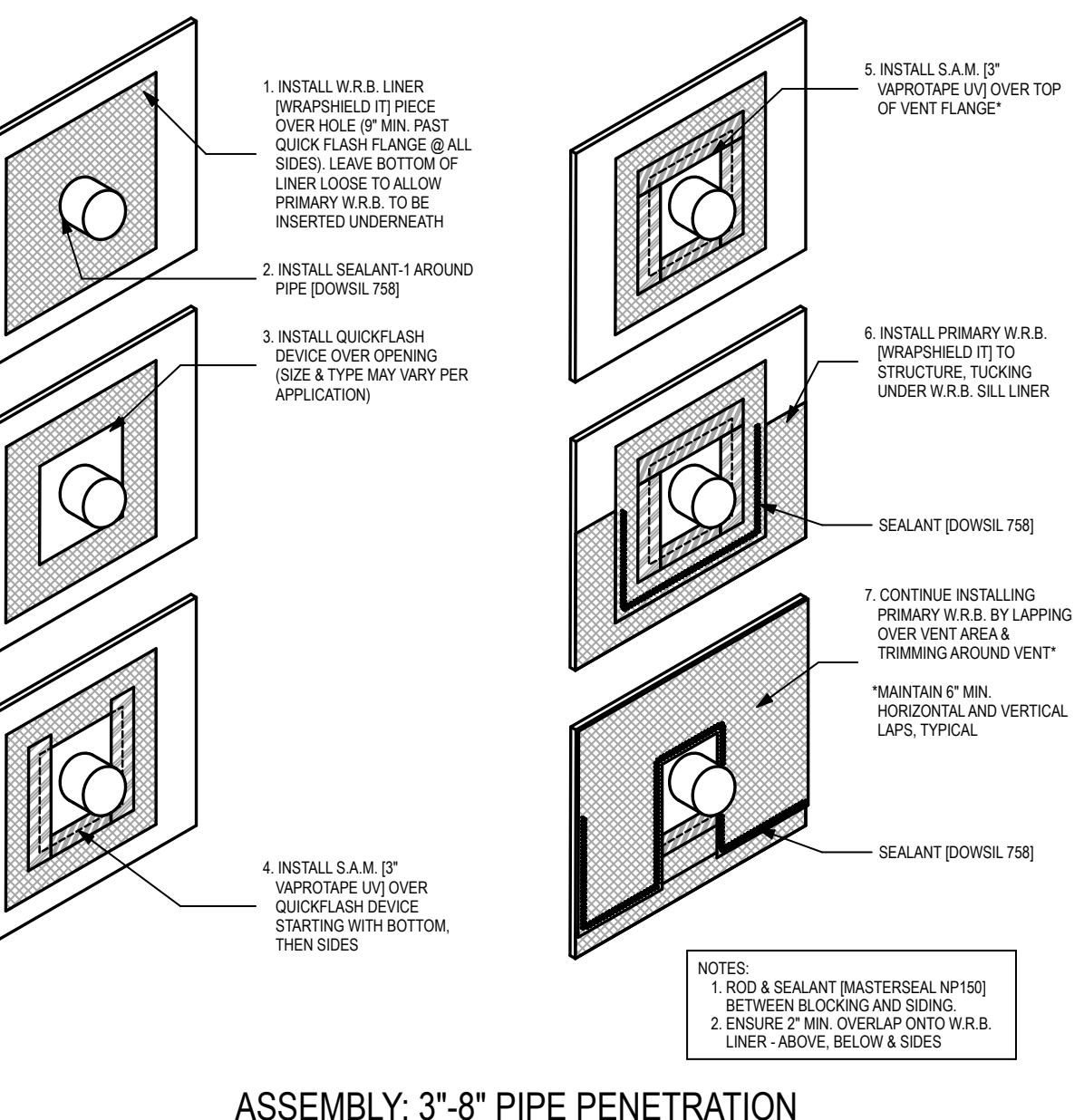
SECTION: REMOVABLE HOOD VENT



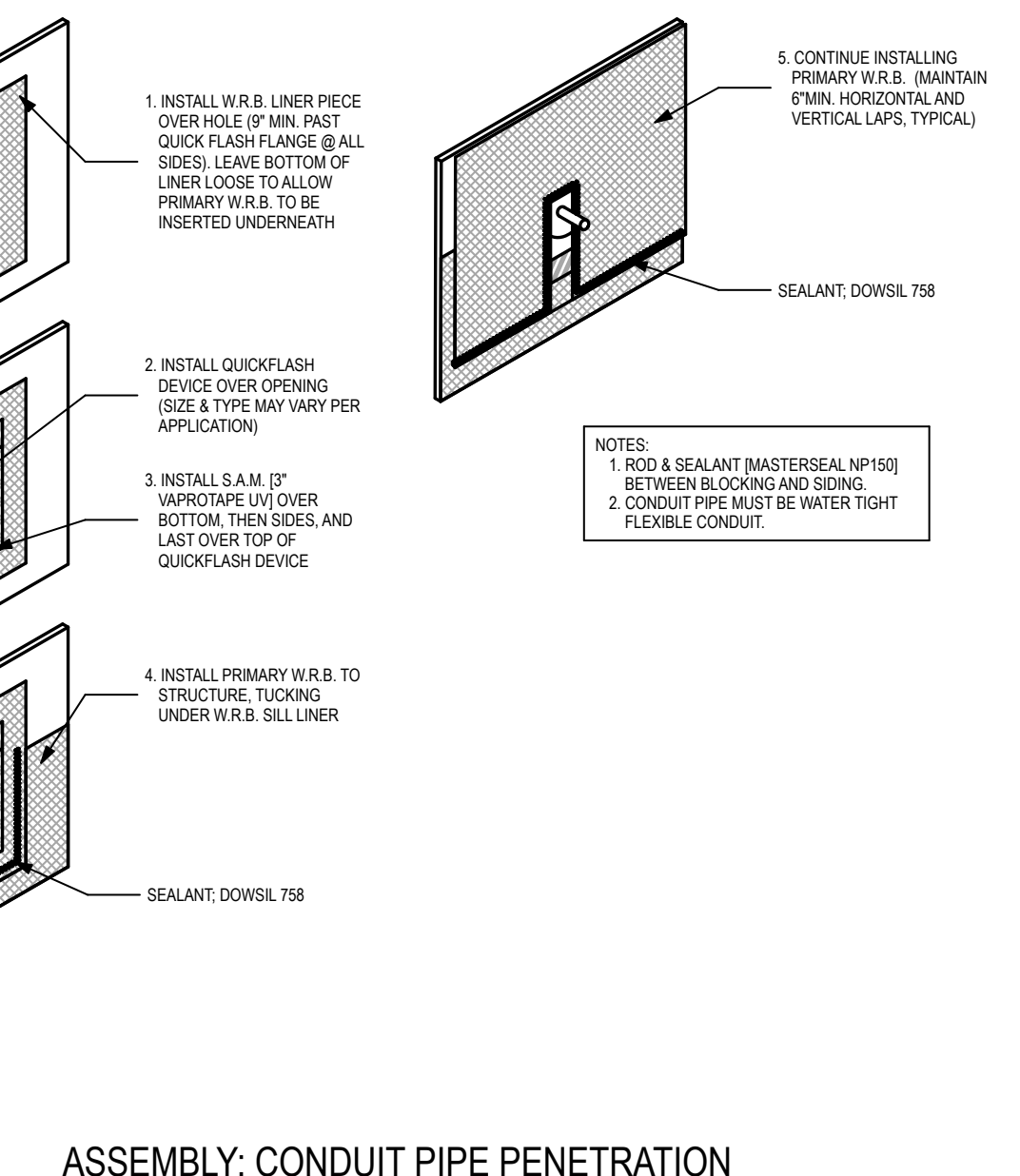
ASSEMBLY: METAL AIR VENT



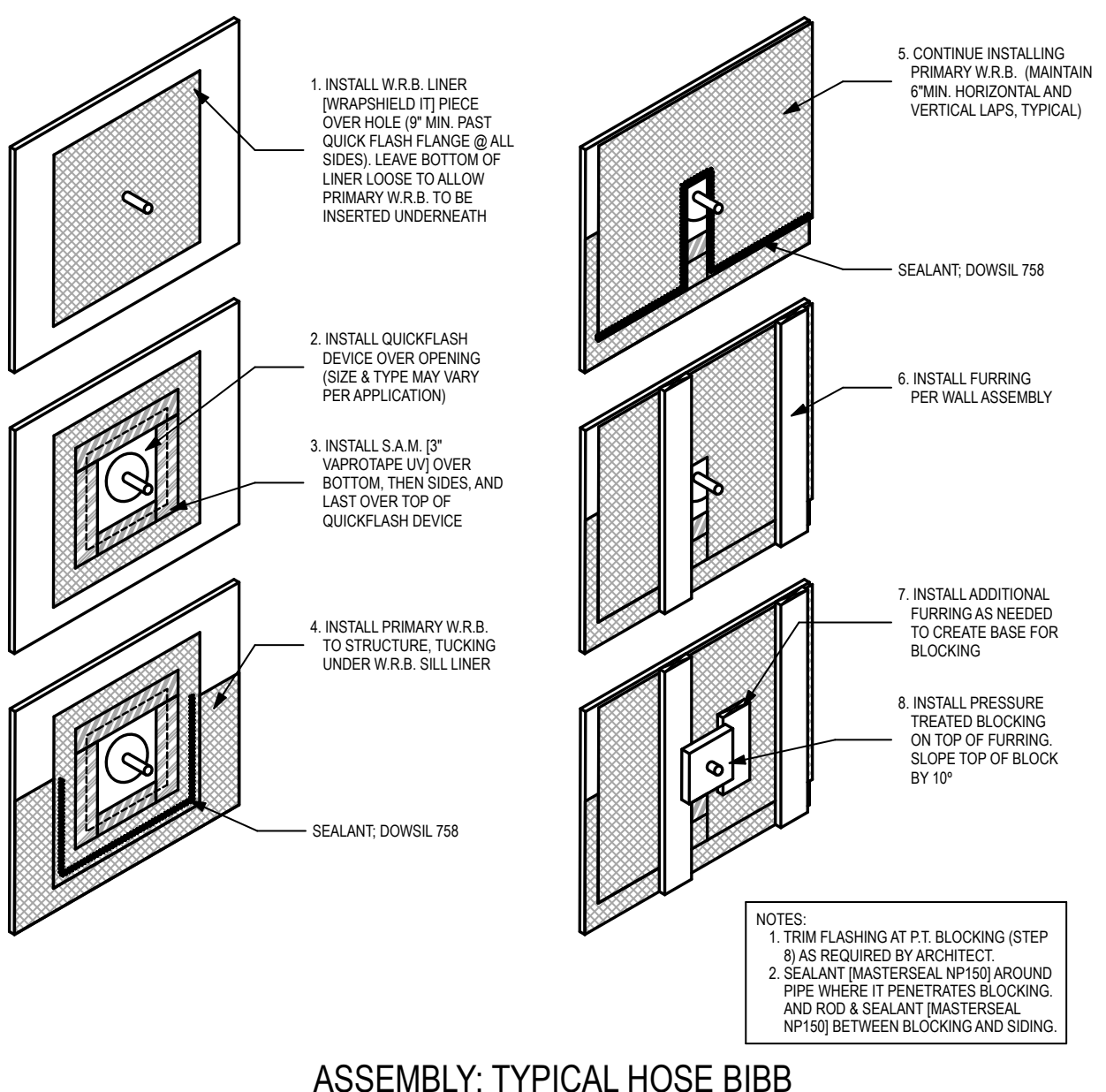
ASSEMBLY: AC PORT PENETRATION



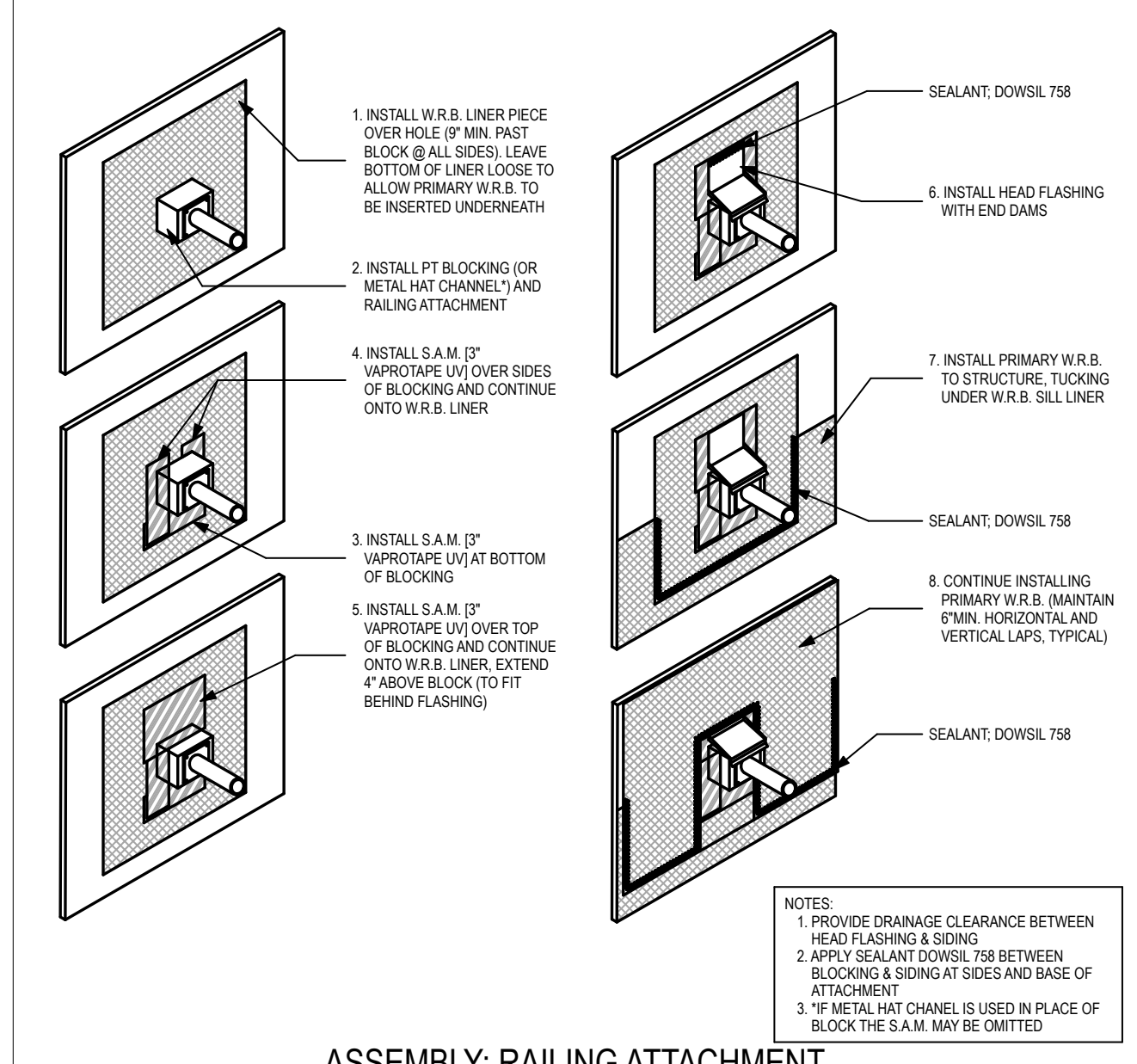
ASSEMBLY: 3"-8" PIPE PENETRATION



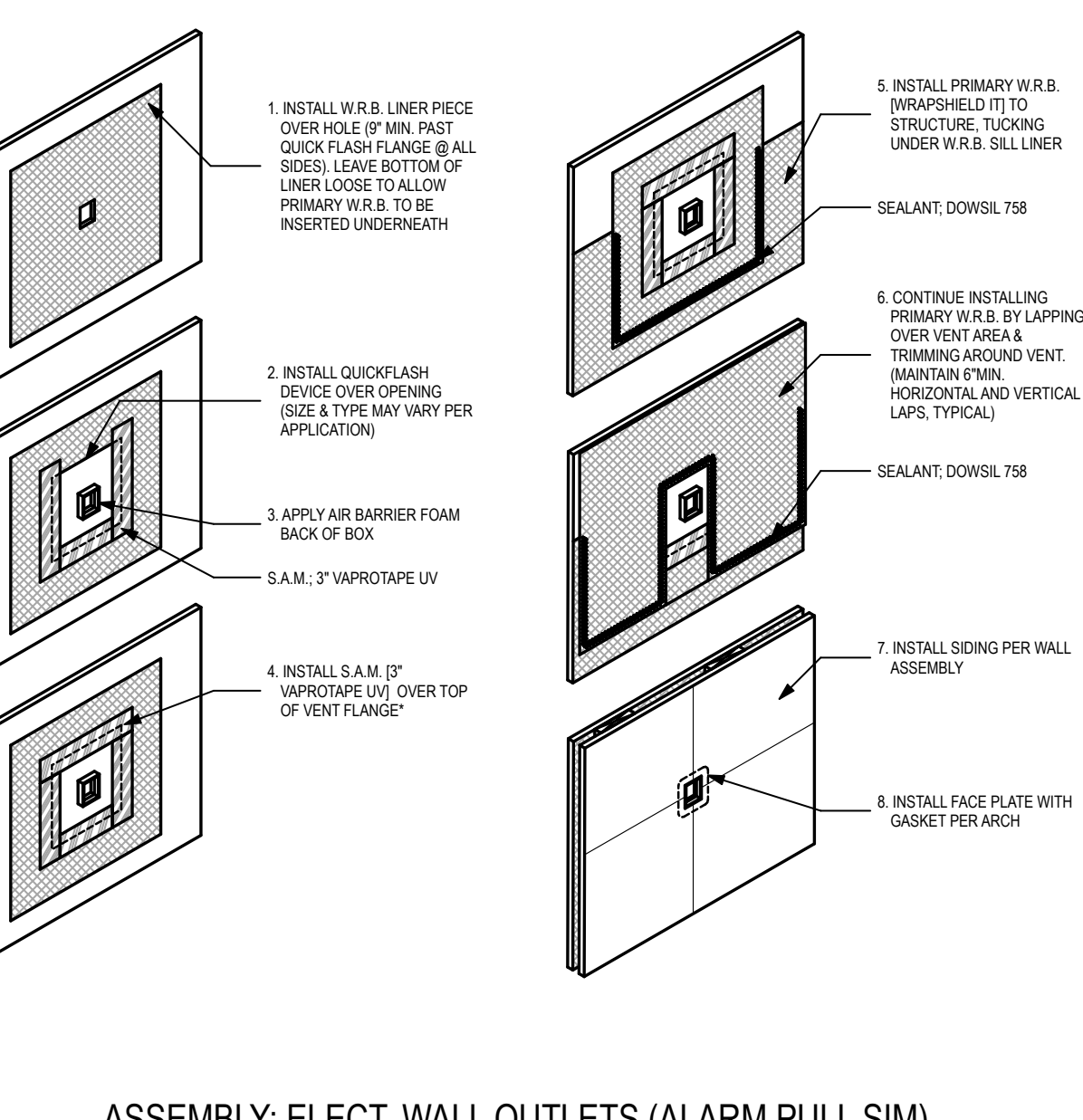
ASSEMBLY: CONDUIT PIPE PENETRATION



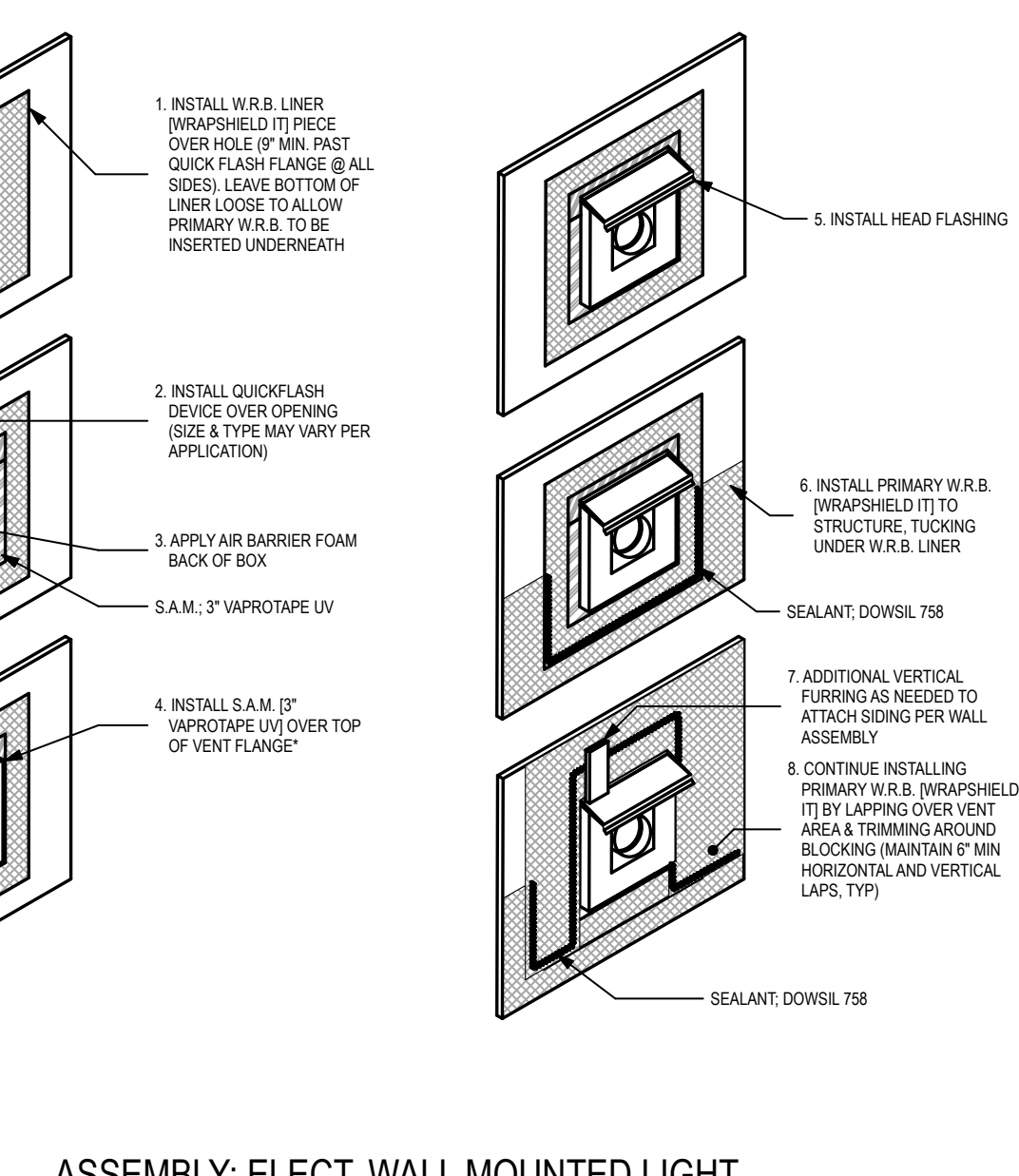
ASSEMBLY: TYPICAL HOSE BIBB



ASSEMBLY: RAILING ATTACHMENT



ASSEMBLY: ELECT. WALL OUTLETS (ALARM PULL SIM)



ASSEMBLY: ELECT. WALL MOUNTED LIGHT

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GARAGE SLAB
4" CONG. SLAB ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

PORCH SLAB
4" CONG. SLAB ON GRADE ON 10 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

SLAB ON GRADE
4" CONG. SLAB ON GRADE ON 10 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2021 INTERNATIONAL RESIDENTIAL CODE & 2021 INTERNATIONAL BUILDING CODE
- DESIGN LOADS: SOIL: 1500 PSF ALLOWABLE BEARING PRESSURE
- CONCRETE SHALL ATTAIN THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS IN 28 DAYS, UNO:
 - FC = 3000 PSI * FOUNDATION WALLS
 - 3000 PSI * FOOTINGS
 - 2500 PSI * INTERIOR SLABS ON GRADE
 - 3500 PSI * GARAGE & EXT. SLABS ON GRADE
 - fy = 60,000 PSI
- ALL CONCRETE HAS BEEN DESIGNED FOR 2500 PSI, ANYTHING GREATER THAN THIS SPECIFICATION IS FOR WEATHERING ONLY.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
- FOUNDATION WALL DESIGN IS BASED ON BACKFILL SOIL PRESSURE OF 55 PCF AT REST, 35 PCF ACTIVE & 7% SEISMIC SURCHARGE.
- TYPICAL REINFORCEMENT DETAILS: LAP ALL REBAR 24" MIN. BEND BARS AND LAP AT CORNERS, PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT; PROVIDE 3" MINIMUM COVER AT THE BOTTOM BARS AND 1 1/2" COVER AT THE SIDES.
- FOUNDATION WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY EITHER ADEQUATE TEMPORARY BRACING OR INSTALLATION OF FIRST FLOOR DECK
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE. CONSULT SOILS REPORT/LOCAL MUNICIPALITY FOR MINIMUM DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP. (5'-0" O.C.)
- FASTEN SILL PLATES TO FOUNDATION WALLS WITH 3/8" DIA. ANCHOR BOLTS W/ MIN. 3"x3"x 1/2" PLATE WASHERS (EDGE OF SILL PLATE PROVIDE A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAXIMUM FROM PLATE ENDS, UNO. (SEE FIN. DETAILS).
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR MASONRY FOUNDATION SHALL BE PRESERVATIVE TREATED HEM FIR #2.
- ARCH/BUILDER TO VERIFY ALL DIMENSIONS.

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN DETAIL AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING BUT NOT LIMITED TO, FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF TOLERANCES THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSSES, FLOOR TRUSSES AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MK& FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES OR GIRDER TRUSSES DOES NOT EXCEED THE FOLLOWING:

- ROOF TRUSSES:
 - 1/4" DEAD LOAD
 - FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS: 1/8" DEAD LOAD
 - FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS: LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)

LOADING AND DESIGN PARAMETERS

GRAVITY DESIGN LOADS:

DEAD LOAD (PSF):	
ROOF (RAFTERS) :	10
FLOOR (TRUSSES) :	15
FLOOR (JOISTS) :	10
DECK (JOISTS) :	10
TILE FLOORS :	10
LIVE LOAD (PSF):	
ROOF :	20
RESIDENTIAL LIVING AREAS :	40
RESIDENTIAL SLEEPING AREAS :	30
RESIDENTIAL WOOD DECKS/ROOFTOP DECK:	60
GARAGE :	50
SNOW LOAD:	
GROUND SNOW LOAD (P) (PSF) :	25
ROOF SNOW LOAD (P) (PSF) :	25
SNOW EXPOSURE FACTOR (Ce) :	0.1
SNOW LOAD IMPORTANCE FACTOR (I) :	1.0
THERMAL FACTOR (Ct) :	1.2

LATERAL DESIGN LOADS:

WIND LOAD: (IBC 1604)	
SPEED (V) (MPH) :	100
WIND RISK CATEGORY :	II
IMPORTANCE FACTOR (Iw) :	1.0
EXPOSURE CATEGORY :	C
INTERNAL PRESSURE COEFF. (GCp) :	0.18
TOPOGRAPHIC FACTOR (Kz) :	1.0
SEISMIC LOAD: (IBC 1601)	
SEISMIC RISK CATEGORY :	II
SEISMIC IMPORTANCE FACTOR (Iw) :	1.0
MAPPED SPECTRAL RESPONSE:	
Ss: 1.02	Ss: 0.488
SITE CLASS :	D
SPECTRAL RESPONSE COEFF. :	
Sms: 1.122	Sms: 0.540
SEISMIC DESIGN CATEGORY:	
BASIC SEISMIC-FORCE-RESISTING SYSTEMS :	
LIGHT FRAMED WALLS	
W/ WOOD STRUCTURAL PANELS	
ULTIMATE BASE SHEAR:	
TRANS: 11k	LONG: 11k
SEISMIC RESPONSE COEFF. (Ca) :	
TRANS: 0.175	LONG: 0.175
RESPONSE MODIFICATION FACTOR (R) :	
WOOD STRUCTURAL PANELS:	
TRANS: 6.5	LONG: 6.5
PROCEDURE USED:	
EQUIVALENT LATERAL FORCE	

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
▶ HD-1	SIMPSON 5THD14RJ HOLD-DOWN
▶ HD-5	SIMPSON CSI6 STRAP TIE (14" END LENGTH)

LEGEND

- ◻ INTERIOR BEARING WALL
- ◻ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
- BEAM / HEADER
- INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/ 3" O.C. EDGE NAILING
- AREA OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▶ INDICATES HOLD-DOWN

LATERAL BRACING NOTES

THIS HOME HAS BEEN ENGINEERED TO RESIST LATERAL FORCES RESULTING FROM: 100 MPH WIND SPEED, EXP. C (ASCE 7-16 WIND MAP, PER IRC R301.2.1.1) RISK CAT. 2 & SEISMIC CAT. D2.

100 MPH WIND IN 2021 IRC MAP

ENGINEERED DESIGN WAS COMPLETED PER 2021 IBC (SECTION 1604 & 1613) & ASCE 7-16, AS PERMITTED BY R301.1.3 OF THE 2021 IRC. ACCORDINGLY, THIS HOME, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES, AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF R602.10.

STANDARD EXTERIOR WALL SHEATHING SPECIFICATIONS
(INTERIOR WALL SPECIFICATION HERE NOTED ON PLANS)

- 3/8" OSB OR 1/2" PLYWOOD:
- FASTEN SHEATHING W/ 2"x0.131" NAILS @ 6" O.C. AT ALL SUPPORTED PANEL EDGES AND 12" O.C. IN THE PANEL FIELD. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED PER THIS SPECIFICATION UNO, ON PLANS.

3" O.C. EDGE NAILING
(HERE NOTED ON PLANS)

- 3/8" OSB OR 1/2" PLYWOOD:
- ONLY AT LOCATIONS INDICATED ON PLANS - SHEATH WALL SHOWN WITH 3/8" OSB, FASTEN SHEATHING W/ 2"x0.131" NAILS @ 3" O.C. AT EDGES AND 12" O.C. AT CENTER. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE AND 3" O.C. FASTENING.

- NOTES:**
- LATERAL ANALYSIS ASSUMES STUD SPACING @ 16" O.C.
 - ALL SHEAR WALLS SHALL HAVE DOUBLE TOP PLATES FASTENED TOGETHER W/ 3"x0.131" NAILS @ 8" O.C. USE (12/35"x0.131" NAILS AT EACH LAP SPLICE, (6) EACH SIDE OF JOINT (TYP. UNO).
 - ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED.
 - ALL INTERIOR SHEAR WALLS AND EXTERIOR WALLS ARE SHEATHED ABOVE AND BELOW OPENINGS.

GENERAL STRUCTURAL NOTES

DESIGN PARAMETERS

- DESIGN IS BASED ON 2021 INTERNATIONAL RESIDENTIAL CODE & 2021 INTERNATIONAL BUILDING CODE
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

GENERAL FRAMING

- EXTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (W/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, UNO.
- INTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (W/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, UNO.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x "STUD" GRADE MEMBERS SPACED @ 24" O.C. (MAX.)
- ALL WALLS TALLER THEN TYP. PLATE HEIGHT SHALL BE CONSIDERED BALLOON FRAMED & SHALL BE CONSTRUCTED FROM FLOOR TO UNDERSIDE OF FRAMING AT NEXT LEVEL. BF. WALLS SHALL BE 2x6 HEM FIR (HF) #2 GRADE LUMBER, OR BETTER, UNO.
- ALL SHEATHING AND LEDGERS ARE TO BE DIRECTLY APPLIED AND FASTENED TO FRAMING. DO NOT PROVIDE CONTINUOUS INSULATION BETWEEN FRAMING AND SHEATHING LEDGERS.
- ALL HEADERS SHALL BE SUPPORTED BY (1) 2x JACK STUD & (1) 2x KING STUD MINIMUM. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, UNO.
- BUILT-UP POSTS SHALL BE 2x4 OR 2x6 HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, UNO. & SOLID WOOD COLUMNS SHALL BE SPRUCE PINE FIR (SPF) #2 GRADE LUMBER, OR BETTER, UNO.
- ALL 2x6 AND LARGER SOLID SAWN BEAMS/HEADERS SHALL BE HEM FIR #2 (HF #2) OR BETTER. ALL 4x6 AND LARGER SOLID SAWN LUMBER SHALL BE DOUG FIR #2 (DF #2) OR BETTER.
- ALL FRAMING LUMBER SHALL BE KILN DRIED TO 15% MC (KD-15).
- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN GENERAL NOTES, IN DETAILS, OR ON PLANS. ALL NAILS SPECIFIED ARE MIN. DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX. CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING 60N NAILS.
- FASTEN ALL BEAMS TO COLUMNS, OR FLUSH BEAMS TO SUPPORTING BEAMS, W/ (4) 3"x0.131" TOENAILS (MIN), TYP. UNO.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS & HOLD-DOWNS CONTINUOUS TO FOUNDATION/BEARING, BLOCKING TO MATCH POST JOINT.
- ENGINEERED LUMBER TO MEET OR EXCEED THE FOLLOWING:
 - LSL MEMBERS - Fb=2325 PSI; Fv=510 PSI; E=15500'6 PSI
 - LVL MEMBERS - Fb=2600 PSI; Fv=285 PSI; E=2.0x10'6 PSI
 - GLB MEMBERS - Fb(4)=2400 PSI; Fv(4)=1850 PSI; Fv=265 PSI; E=1.8x10'6 PSI; DF/DF; 24F-V4 (UNO)
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
 - LVL MEMBERS - Fb=2400 PSI; Fc(1)=2500 PSI; E=1.8x10'6 PSI
- FACE NAIL MULTI-PLY 2x BEAMS & HEADERS W/ 3-ROWS OF 3"x0.131" NAILS (MIN) @ 12" O.C. STAGGERED. APPLY NAILING FROM BOTH FACES @ 3-PLY OR MORE CONDITIONS. UTILIZE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
- TRUSS SHOP DRGS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF PROPOSED CONSTRUCTION SHALL BE SUBMITTED TO BUILDING DESIGNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY IN ACCORDANCE WITH TPI-1 2.3.2.3 & 2.3.4.3.
- REFER TO IRC FASTENING SCHEDULE TABLE R602.3(U) FOR ALL CONNECTIONS, TYP. UNO.
- BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE, FASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD. IN THE ABSENCE OF MANUFACTURER'S RECOMMENDATIONS, NOT LESS THAN ASTM A653, TYPE 685 ZINC-COATED GALVANIZED STEEL, OR EQUIVALENT, SHALL BE USED.

FLOOR FRAMING

- JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/360 LIVE LOAD DEFLECTION CRITERIA AND SHALL RUN CONTINUOUS OVER SUPPORTS WHEREVER POSSIBLE. ALL LOADS SHOWN ON PLAN FOR MANUF. DESIGNS ARE ASD LEVEL LOADS, UNO. (EXCLUDES STONE/MARBLE OR NET BED CONSTRUCTED FLOORS - CONTACT MK& FOR EXCLUDED DESIGNS).
- ALL METAL I-JOIST/TRUSS HANGERS SHALL BE SPECIFIED BY I-JOIST/TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED.
- 2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED L/360 LIVE LOAD DEFLECTION CRITERIA.
- TYPICAL 2x JOIST HANGERS (UNO. ON PLANS):
 - SINGLE PLY: SIMPSON LUS210
 - DOUBLES: SIMPSON LUS210-2
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED "STURD-I-FLOOR" 24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND 2 1/2" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD.
- ALL FLUSH CONNECTIONS SHALL BE CONNECTED WITH HANGER APPROPRIATE FOR MEMBER SIZE, UNO.
- FASTEN HANGERS TO SINGLE PLY FLUSH BEAMS W/ 1/2" LONG NAILS.

ROOF FRAMING

- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ (4) 3"x0.131" TOENAILS (MIN) & (1) SIMPSON H25T CLIP. PROVIDE (2) H25T CLIPS AT 2-PLY GIRDER TRUSSES, (3) H25T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- FASTEN EACH ROOF RAFTER TO TOP PLATE WITH (1) SIMPSON H25T CLIP. PROVIDE (2) SIMPSON H25T CLIPS AT FLUSH BEAMS IN THE ROOF - AT ALL BEARING POINTS.
- ROOF SHEATHING SHALL BE 7/8" A.P.A. RATED SHEATHING 24/6 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS W/ 2 1/2" x 0.131" NAILS @ 6" O.C. AT PANEL EDGES & @ 6" O.C. AT INTERMEDIATE SUPPORTS. ROOF SHEATHING SHALL EXTEND BELOW ALL INSTANCES OF OVERFRAMING. BLOCKING SHALL BE INSTALLED AS REQUIRED TO LIMIT ROOF SHEATHING SPANS TO 24" MAX. PROVIDE H-CLIP AT ALL UNSUPPORTED EDGES.
- ALL METAL HANGERS SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED.
- ROOF TRUSS SHOP DRAWINGS & CALCULATIONS SHALL BE DESIGNED FOR UNBALANCED SNOW LOADING PER ASCE 7-16, SECTION 7.6.
- ERECT AND INSTALL ROOF TRUSSES PER NTCA & TPI'S BC51 I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES"
- FASTEN OVER-FRAMED TRUSS SETS TO TRUSSES BELOW W/ (2) 3"x0.131" TOENAILS AT EA. TRUSS.
- FASTEN ALL INTERIOR NON-BEARING PARTITION WALLS TO TRUSS BOTTOM CHORD ABOVE WITH SIMPSON 5TG CLIPS AT 24" O.C. MAX. PROVIDE BLOCKING BETWEEN THE TRUSS BOTTOM CHORDS AS REQUIRED FOR THE PARALLEL CONDITIONS.



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M&K project number:
300-24003

project mgr: NJM
drawn by: MPM
issue date: 09/06/24

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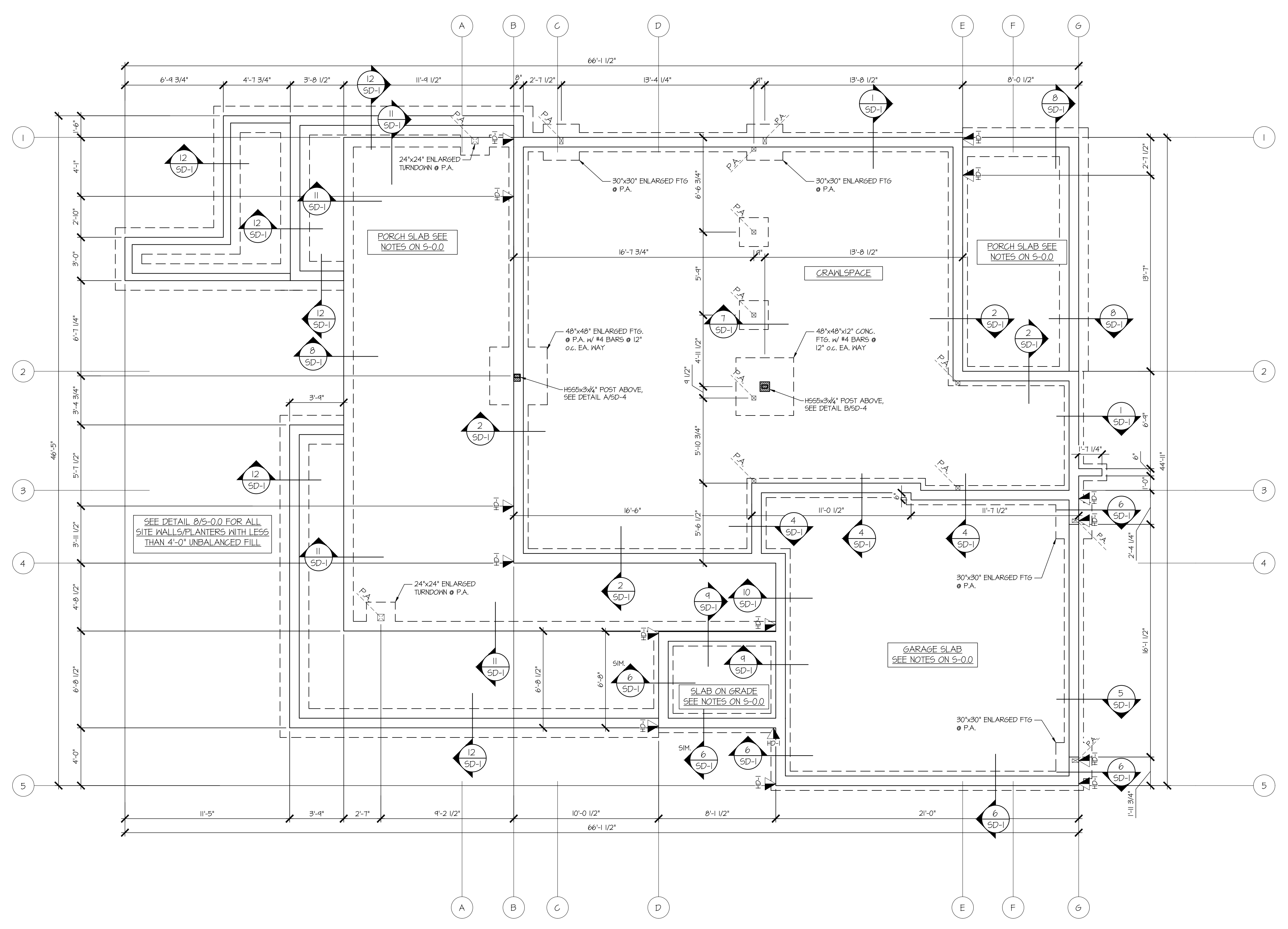
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STRUCTURAL NOTES

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REFER TO S-0.0 FOR
TYPICAL STRUCTURAL
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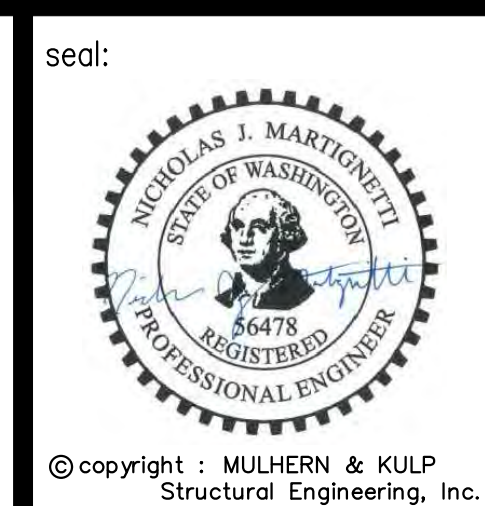
HOLD-DOWN SCHEDULE	
SYMBOL	SPECIFICATION
▶ HD-1	SIMPSON STD14RJ HOLD-DOWN
▶ HD-5	SIMPSON C516 STRAP TIE (14" END LENGTH)

LEGEND	
▬	INTERIOR BEARING WALL
▬	BEARING WALL ABOVE (B/W/A), OR SHEARWALL ABOVE (S/W/A)
▬	BEAM / HEADER
▬	INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/ 3" o.c. EDGE NAILING
▬	AREA OF OVERFRAMING
JL	METAL HANGER
*	INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
▶	INDICATES HOLD-DOWN.

CRAWLSPACE GIRDERS TO BE 4x10 DROPPED (TYP. UNO.) [B3]

TYP. CRAWLSPACE POSTS:
4x4 P.T. POST W/ 2x4 CLEATS EAL SIDE OF POST & (2) SIMPSON A305 CLIPS ON EA. SIDE @ BASE OF POST W/ 0.25"x8" LONG REDHEAD NAILS (4'-0" MAX. POST HEIGHT) ON 24"x24"x8" PLAIN CONC. FTG. (TYP.)

FOUNDATION PLAN
SCALE: 1/4"=1'-0"



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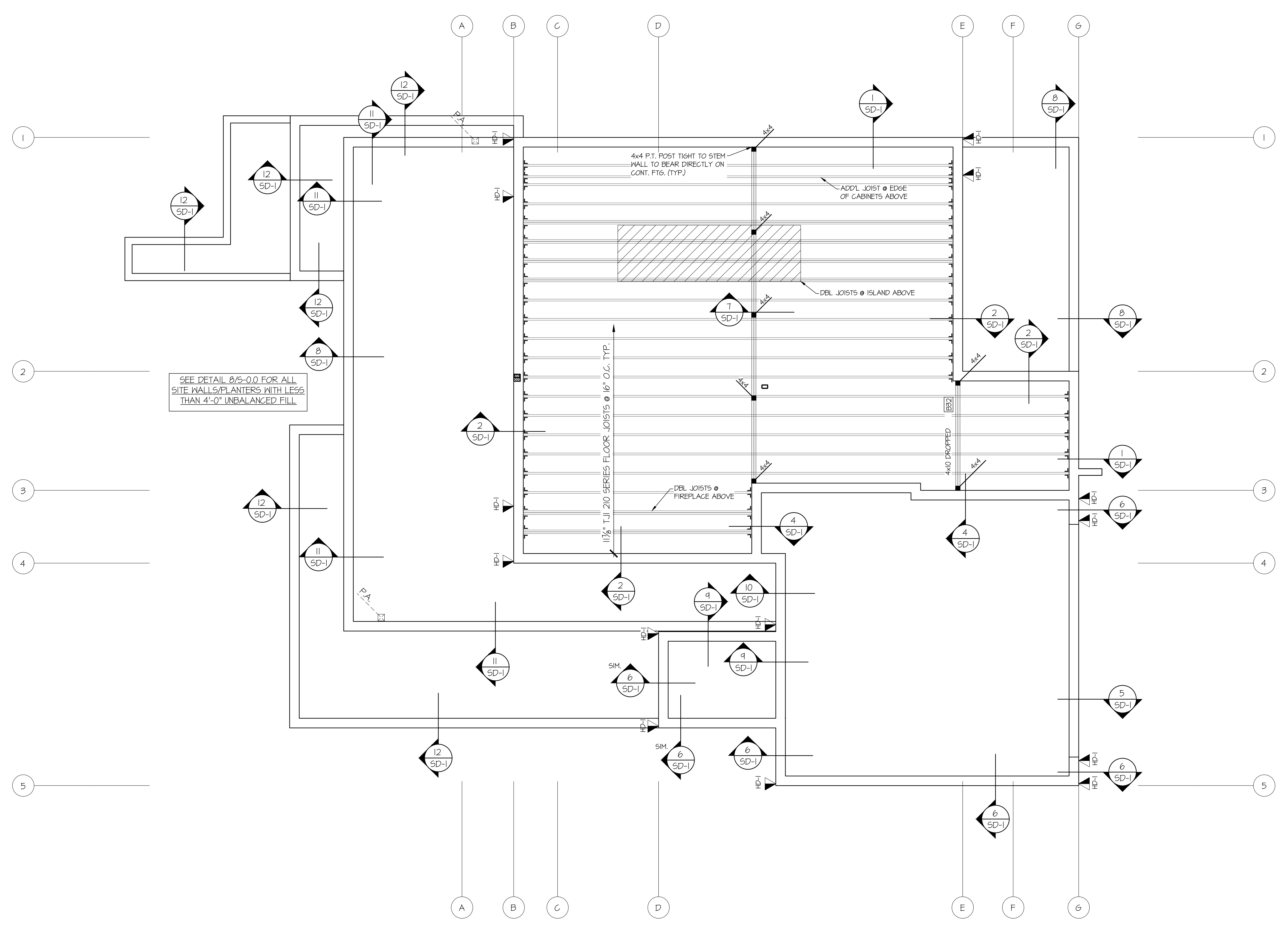
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FOUNDATION PLAN
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SEE DETAIL 0/5-0.0 FOR ALL SITE WALLS/PLANTERS WITH LESS THAN 4'-0" UNBALANCED FILL

GRANLSPACE GIRDERS TO BE 4x10 DROPPED (TYP. UNO.) [B32]

TYP. GRANLSPACE POSTS: 4x4 P.T. POST W/ 2x4 GLEATS EAL SIDE OF POST & (2) SIMPSON A35 CLIPS ON EA. SIDE @ BASE OF POST W/ 0.25"x1/2" LONG RED-HEAD NAILS (4'-0" MAX. POST HEIGHT) ON 24"x24"x8" PLAIN CONC. FTG. (TYP.)

REFER TO S-0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

HOLD-DOWN SCHEDULE	
SYMBOL	SPECIFICATION
▶ HD-1	SIMPSON 5THD14RJ HOLD-DOWN
▶ HD-5	SIMPSON C516 STRAP TIE (14" END LENGTH)

LEGEND	
▬	INTERIOR BEARING WALL
▬	BEARING WALL ABOVE (B/W/A), OR SHEARWALL ABOVE (S/W/A)
▬	BEAM / HEADER
▬	INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/ 3" o.c. EDGE NAILING
▬	AREA OF OVERFRAMING
JL	METAL HANGER
*	INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
▶	INDICATES HOLD-DOWN.

1 MAIN FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

seal:

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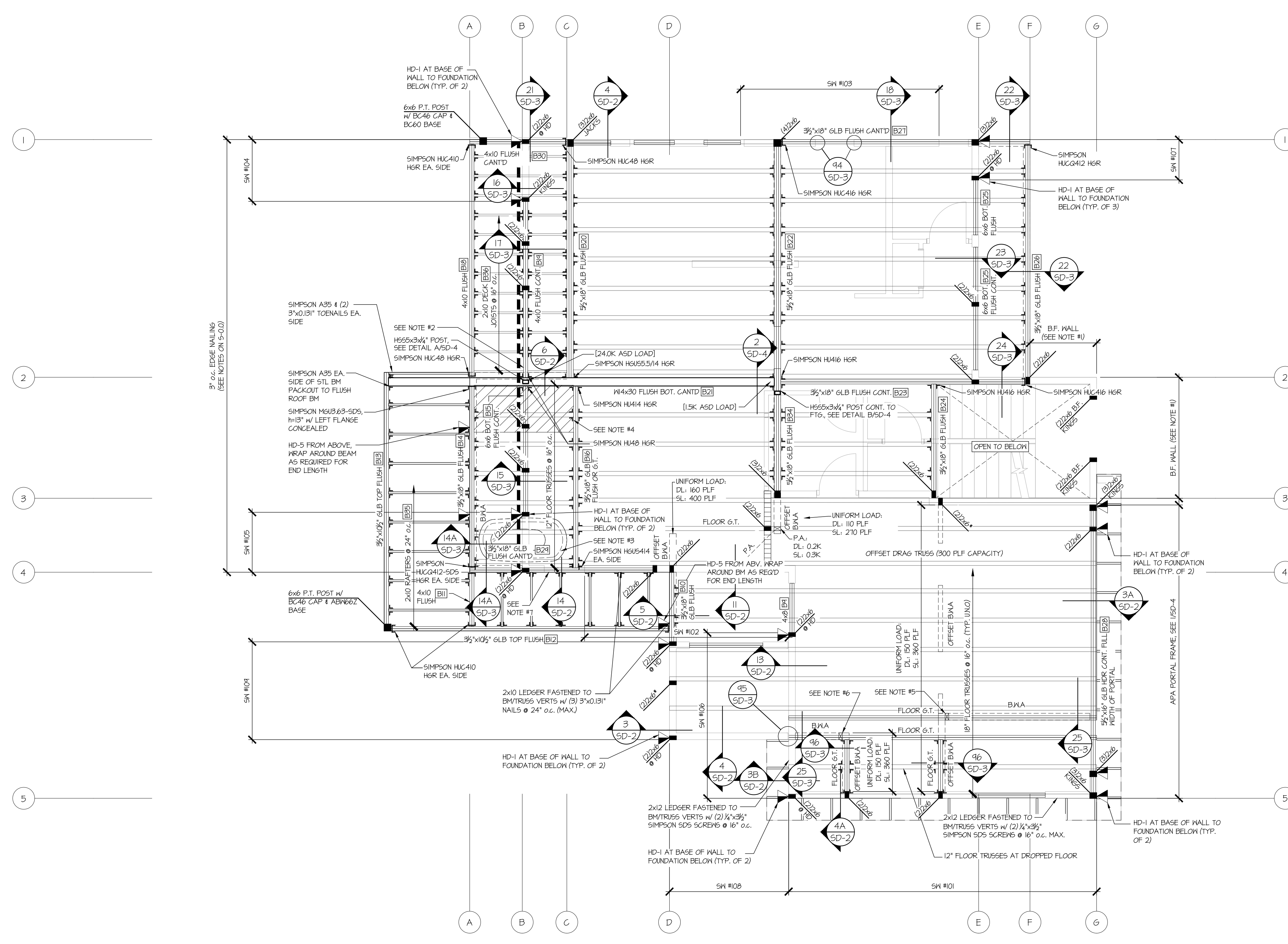
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MAIN FLOOR FRAMING
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REFER TO S-0.0 FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

HOLD-DOWN SCHEDULE	
SYMBOL	SPECIFICATION
▶	HD-1 SIMPSON 5THD14RJ HOLD-DOWN
▶	HD-5 SIMPSON C516 STRAP TIE (14" END LENGTH)

LEGEND	
◻	INTERIOR BEARING WALL
◻	BEARING WALL ABOVE (B/W/A), OR SHEARWALL ABOVE (S/W/A)
---	BEAM / HEADER
---	INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/ 3" o.c. EDGE NAILING
◻	AREA OF OVERFRAMING
JL	METAL HANGER
*	INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
▶	INDICATES HOLD-DOWN.

- 4x8 HCR @ ALL EXT. OPENINGS (TYP. UNO) [B2]
- TRUSSES TO TOP CHORD BEAR AT BOTTOM FLUSH BMS AT EXTERIOR WALLS. TYP.
- NOTE #1: ALL WALLS OVER 12'-0" TO BE 2x6 HFR2 @ 16" o.c. BALLOON FRAMED WALLS (TYP. UNO.)
- NOTE #2: AT MID-HEIGHT HEADER HEIGHT, PROVIDE 1.5x3.5x1' x 0'-2" LONG ANGLE SHOP WELDED TO STEEL POST FOR HDR TO BEAR ON
- NOTE #3: TRUSS MANF. TO DESIGN FOR ADDL 50 PSF LOAD AT TUB ABOVE
- NOTE #4: HATCH INDICATES OVERFRAMING AT SHORTER TRUSSES
- NOTE #5: POINT LOAD AT END OF SHEAR WALL ABOVE: DL: 0.2K / E: 3.0K
- NOTE #6: POINT LOAD AT END OF SHEAR WALL ABOVE: DL: 0.2K / E: 2.4K
- NOTE #7: CANT'D BM TO HAVE MIN. 9'-0" BACKSPAN

UPPER FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

seal:

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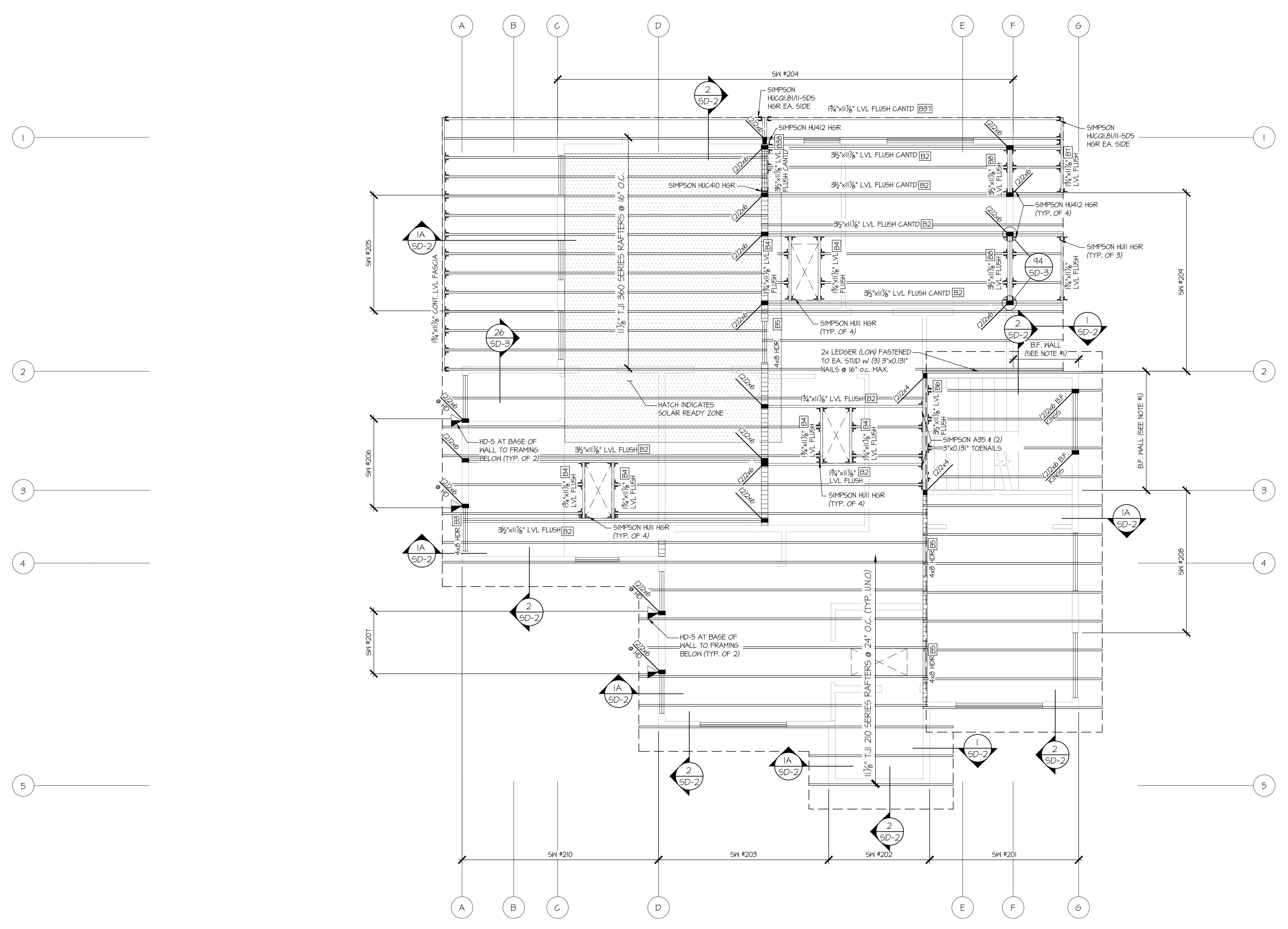
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UPPER FLOOR FRAMING
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REFER TO S-0.0 FOR
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NOTES & SCHEDULES

HOLD-DOWN SCHEDULE	
SYMBOL	SPECIFICATION
▶ HD-1	SIMPSON STD14RJ HOLD-DOWN
▶ HD-5	SIMPSON C516 STRAP TIE (14" END LENGTH)

LEGEND	
◻	INTERIOR BEARING WALL
◻	BEARING WALL ABOVE (B/W/A), OR SHEARWALL ABOVE (S/W/A)
—	BEAM / HEADER
—	INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/ 3" o.c. EDGE NAILING
◻	AREA OF OVERFRAMING
JL	METAL HANGER
*	INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
▶	INDICATES HOLD-DOWN.

4x8 HDR @ ALL EXT. OPENINGS (TYP. UNO.) [B]
NOTE #1: ALL WALLS OVER 12'-0" TO BE 2x6 HF#2 @ 16" o.c. BALLOON FRAMED WALLS (TYP. UNO.)

1 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

seal:

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ROOF FRAMING PLAN
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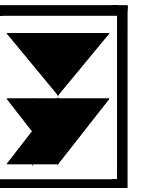
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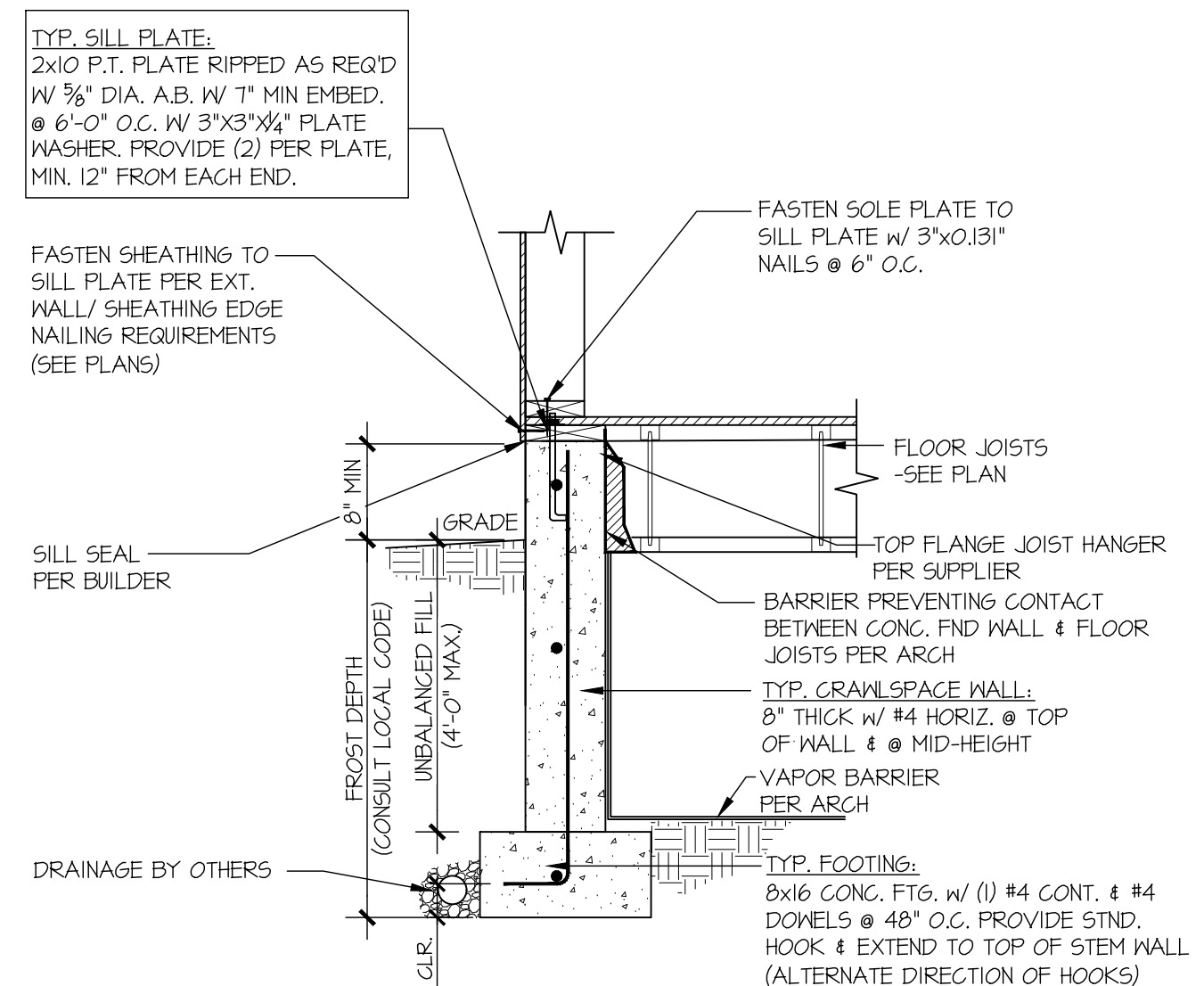
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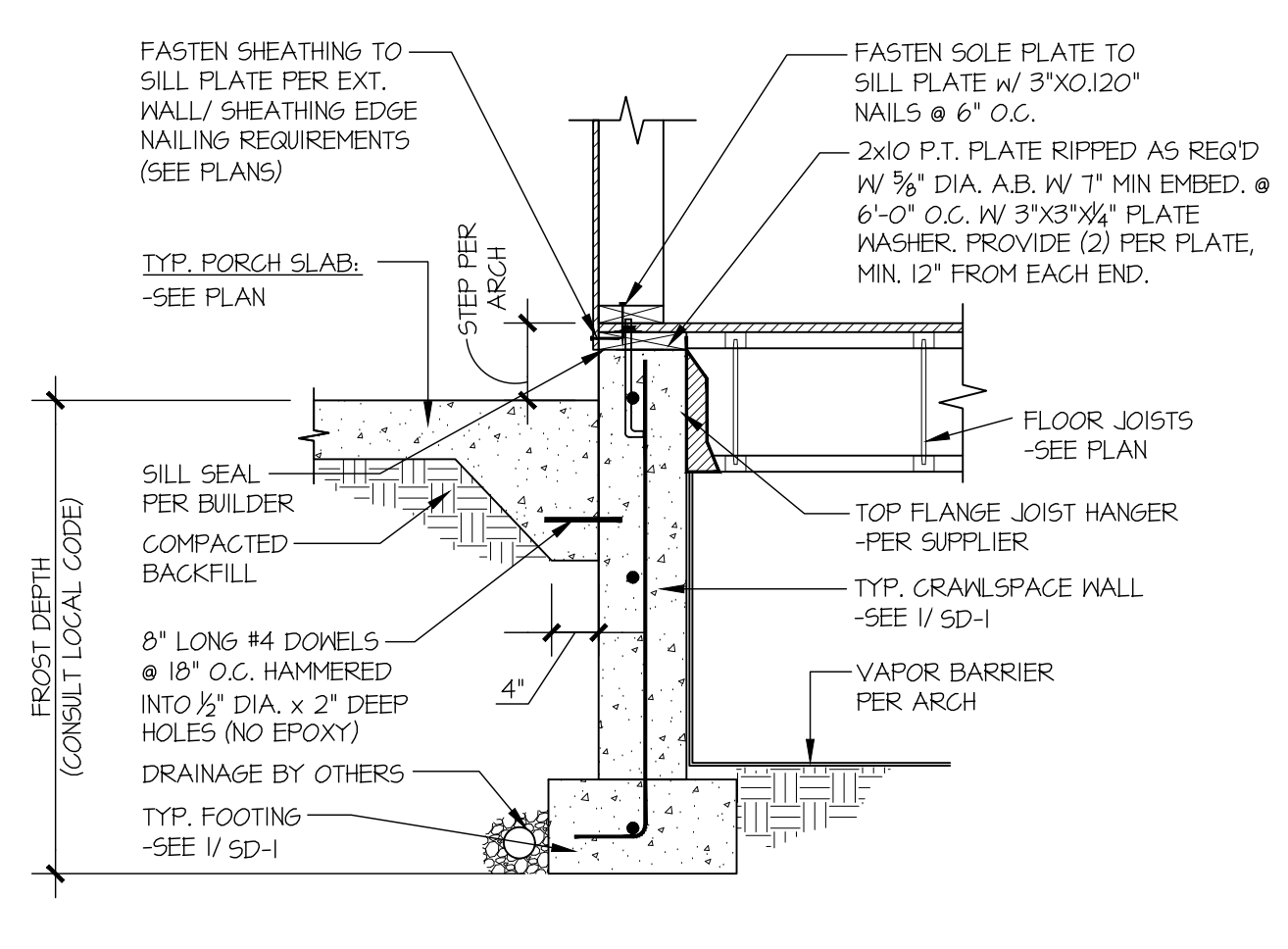
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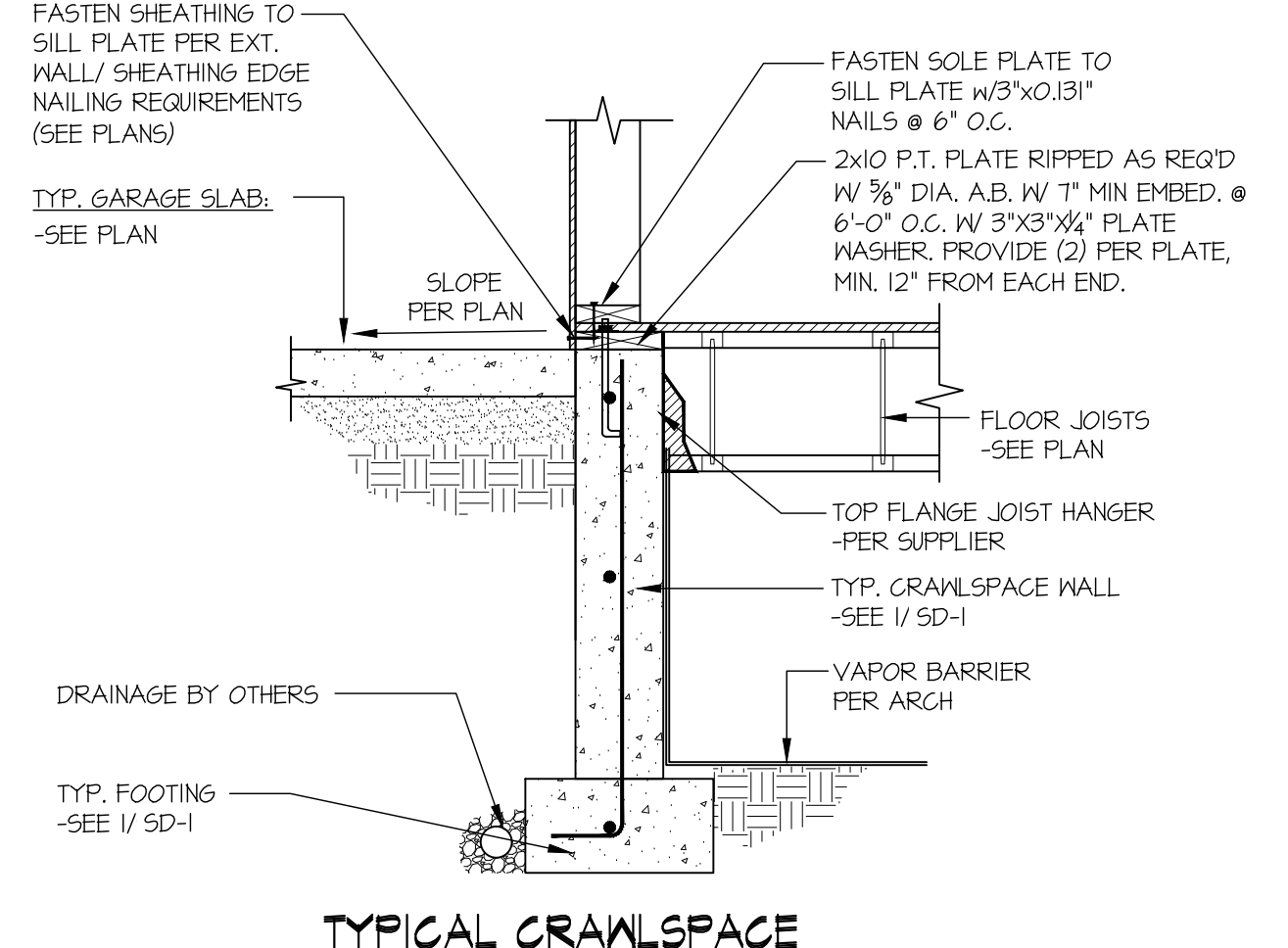
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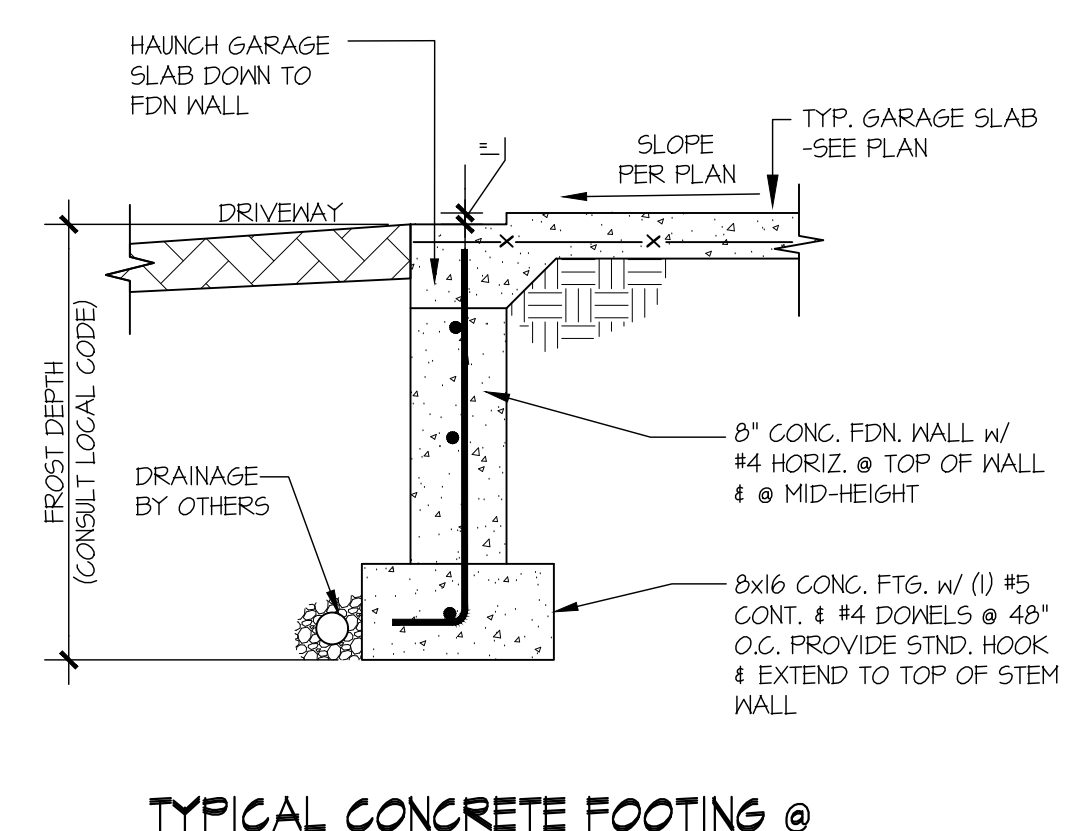
1 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/4"=1'-0"



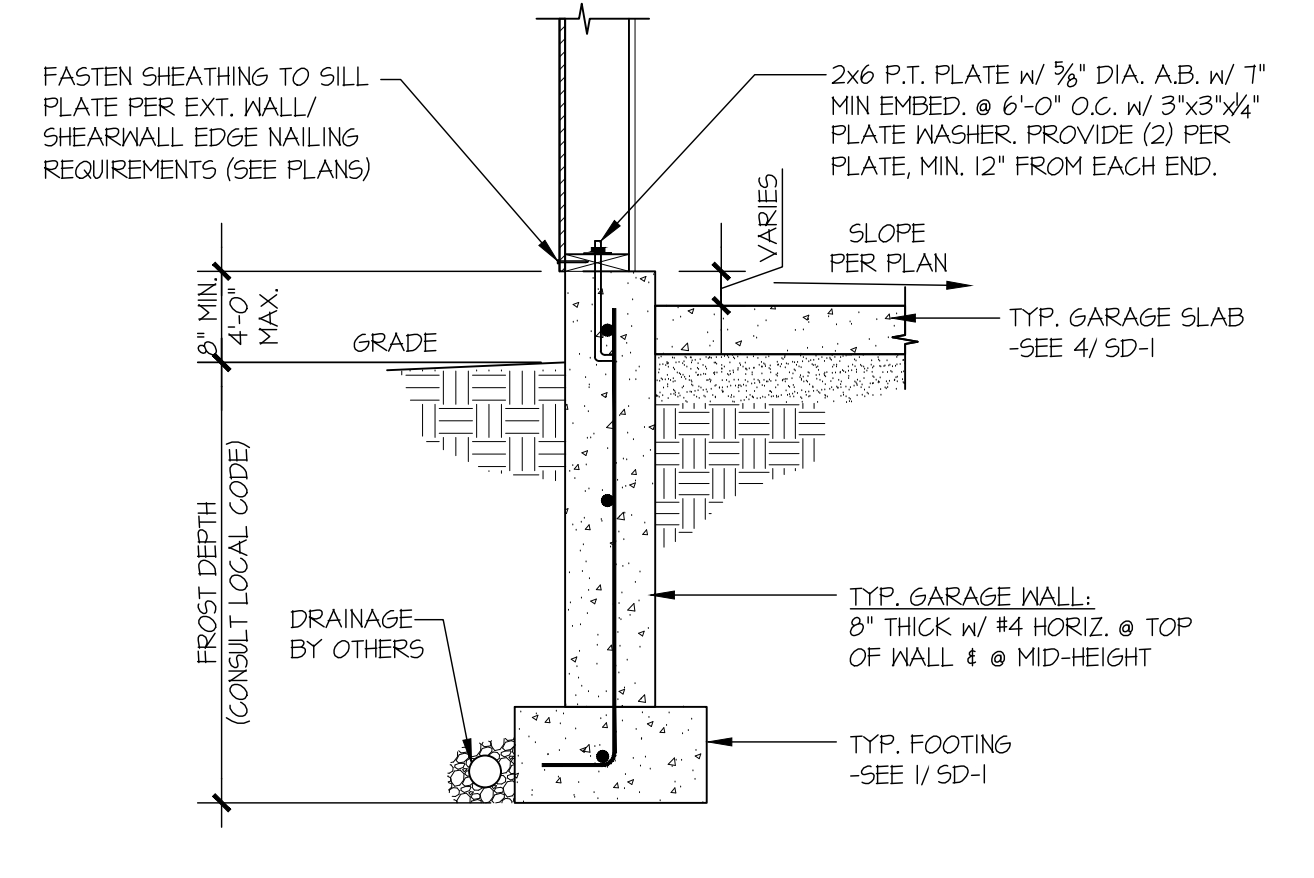
2 TYPICAL CRAWLSPACE FOUNDATION @ PORCH SLAB
SCALE: 3/4"=1'-0"



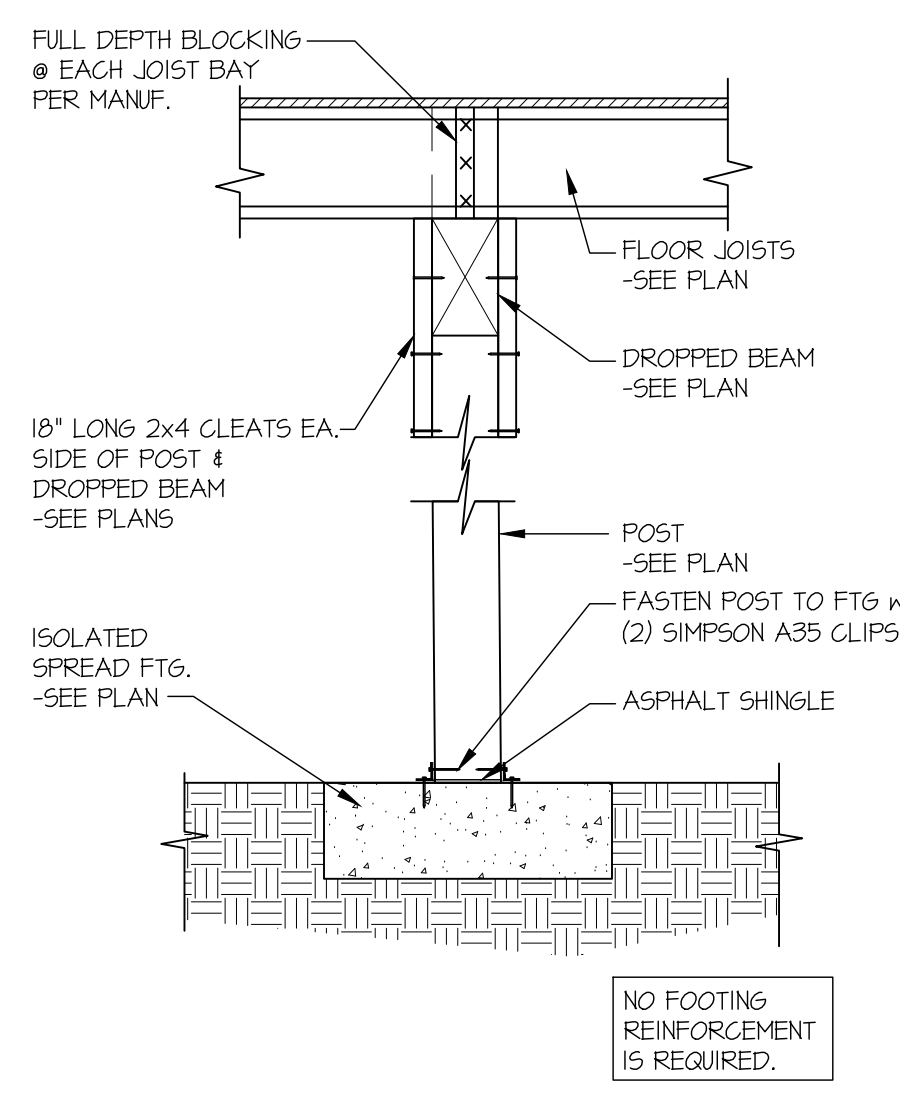
4 TYPICAL CRAWLSPACE FOUNDATION @ GARAGE
SCALE: 3/4"=1'-0"



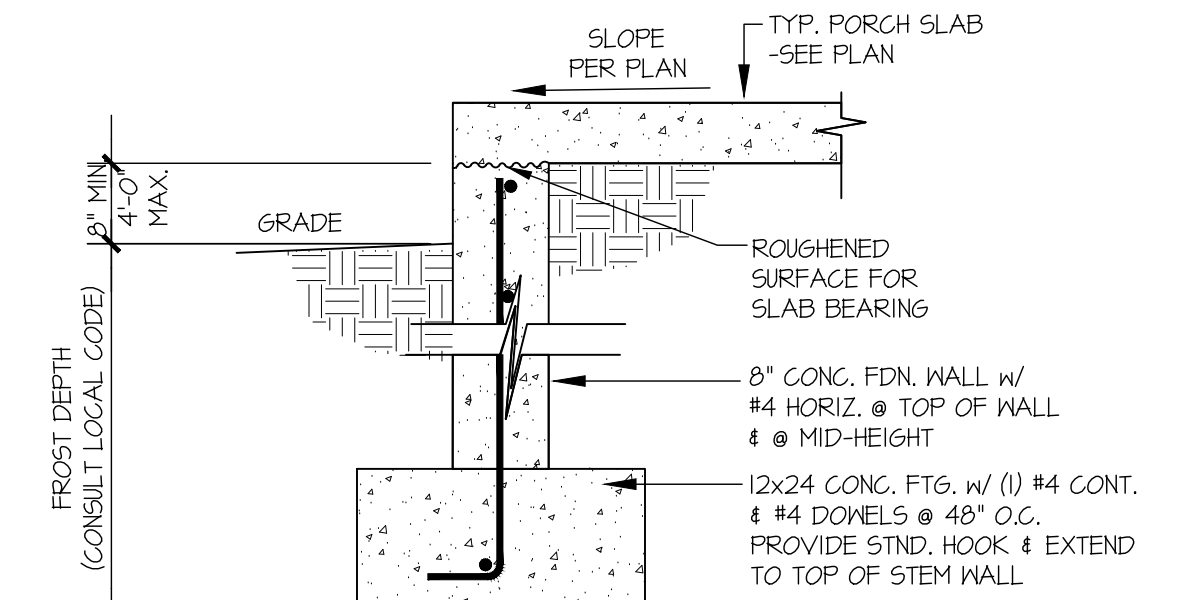
5 TYPICAL CONCRETE FOOTING @ GARAGE DOOR OPENING
SCALE: 3/4"=1'-0"



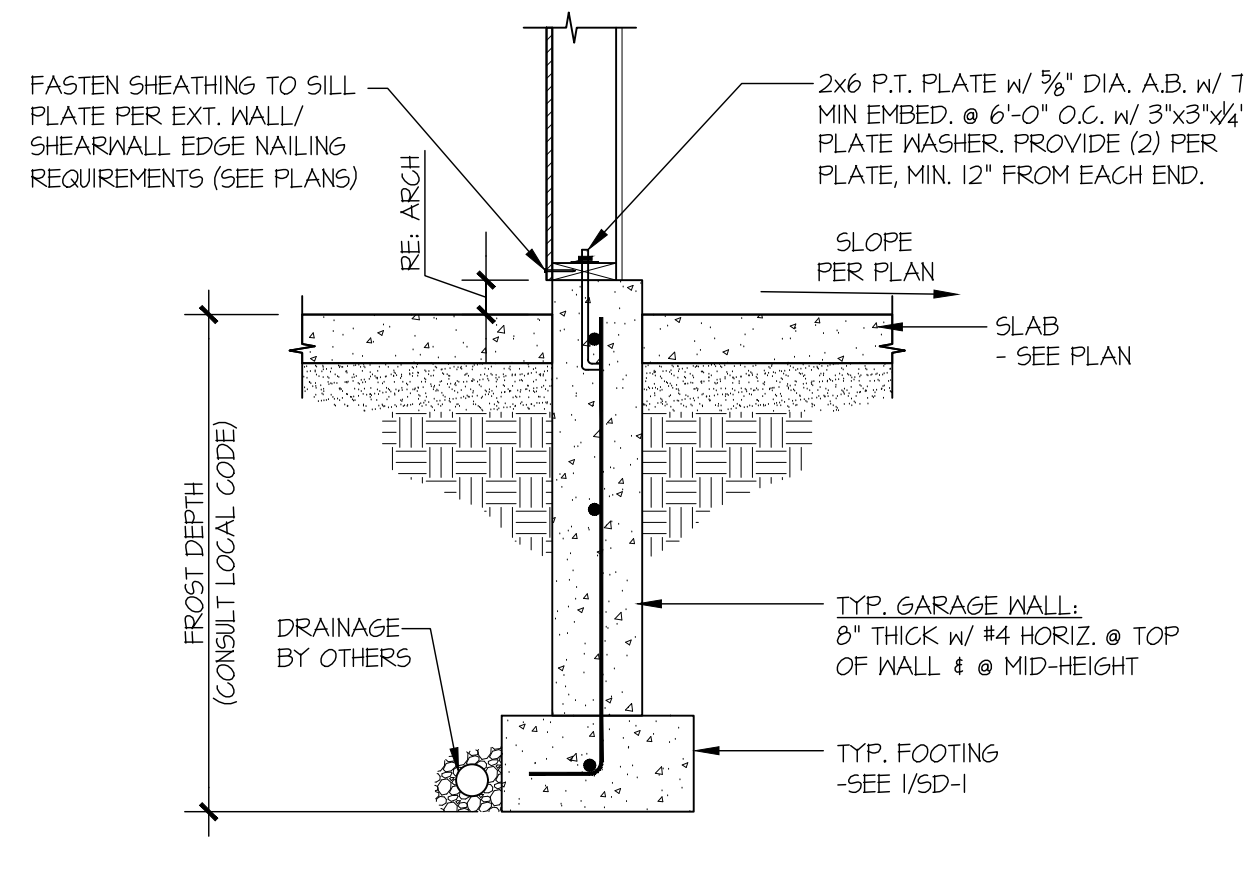
6 TYPICAL EXT. GARAGE FOUNDATION
SCALE: 3/4"=1'-0"



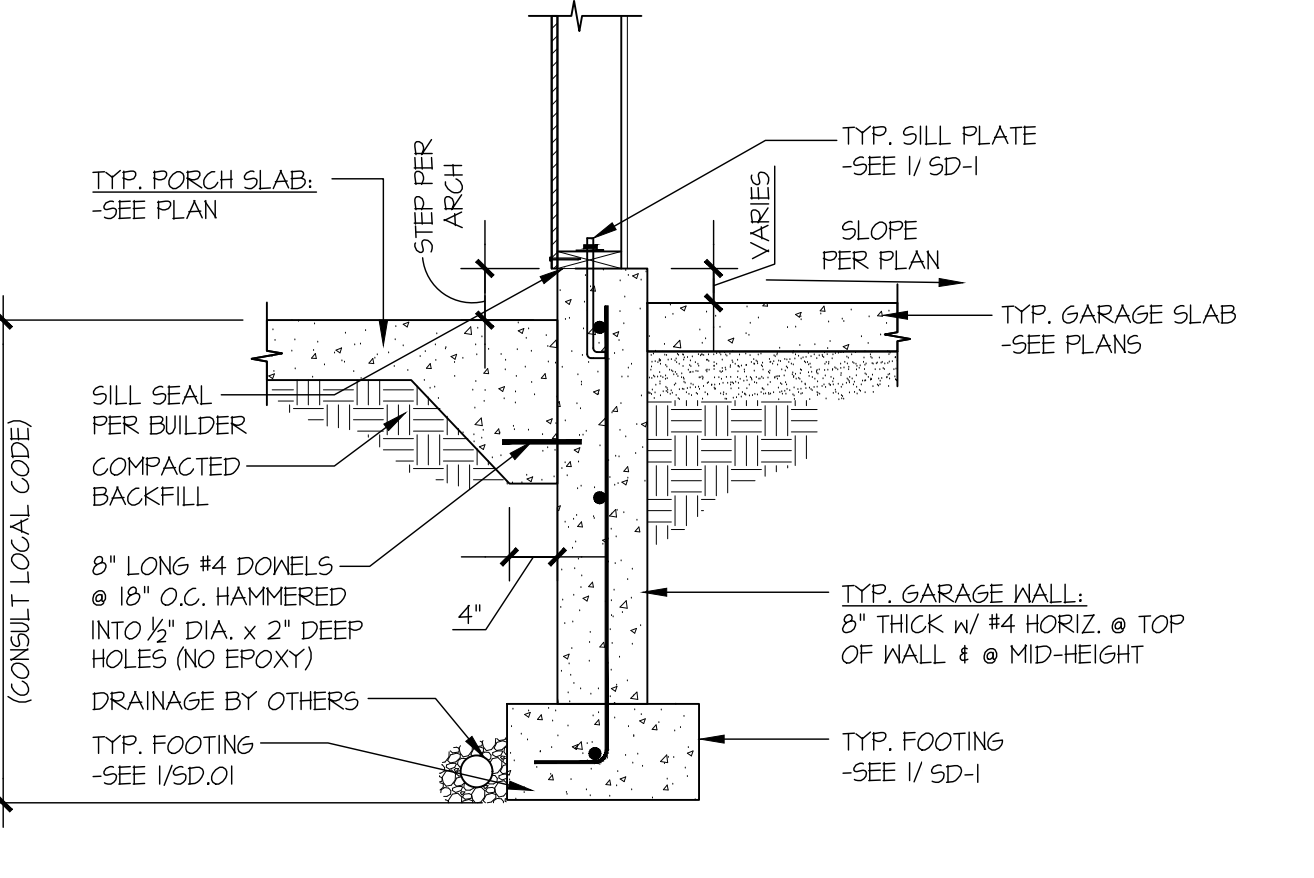
7 TYPICAL CRAWLSPACE FOOTING DETAIL
SCALE: 3/4"=1'-0"



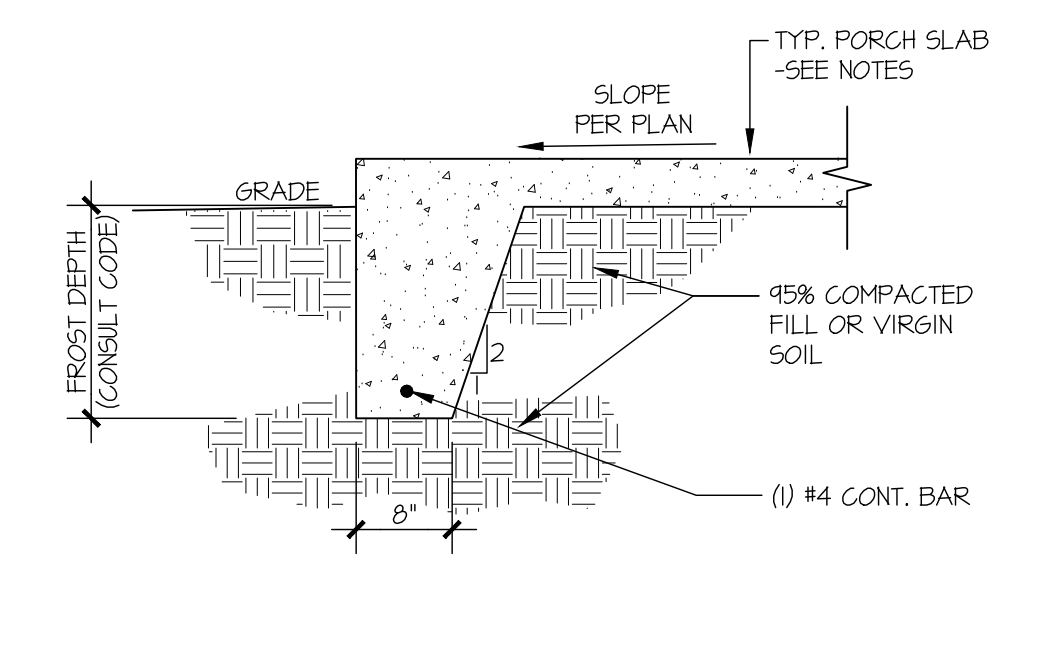
8 TYPICAL FOOTING @ PORCH SLAB
SCALE: 3/4"=1'-0"



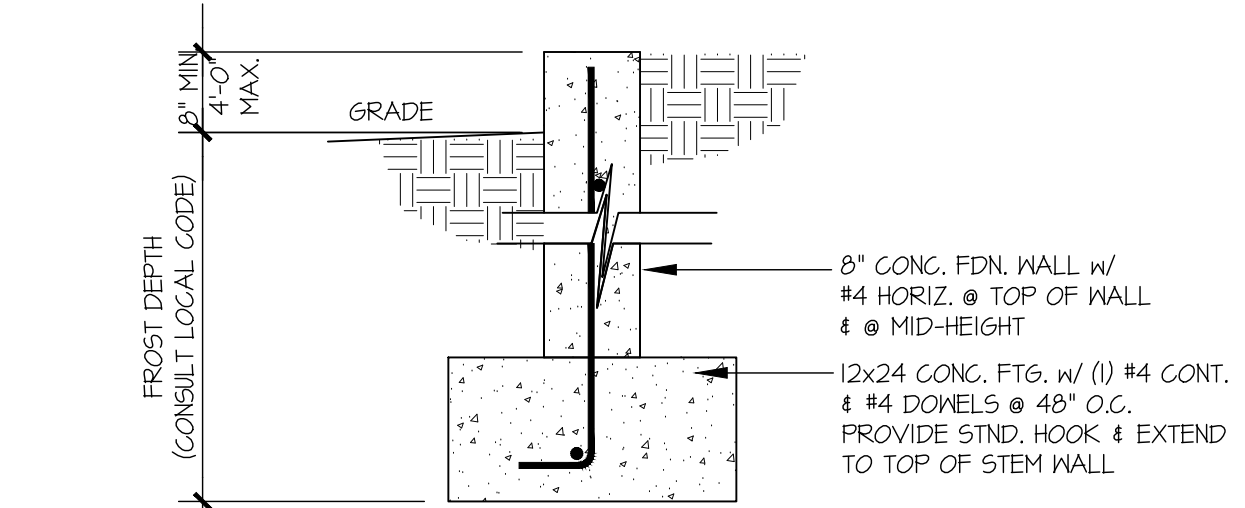
9 TYPICAL EXT. GARAGE FOUNDATION
SCALE: 3/4"=1'-0"



10 TYPICAL EXT. GARAGE FOUNDATION
SCALE: 3/4"=1'-0"



11 TYPICAL FOOTING @ PORCH SLAB
SCALE: 3/4"=1'-0"

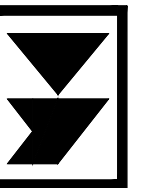


12 TYPICAL FOOTING @ PORCH SLAB
SCALE: 3/4"=1'-0"



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M&K project number:
300-24003

project mgr: NJM
drawn by: MPM
issue date: 09/06/24

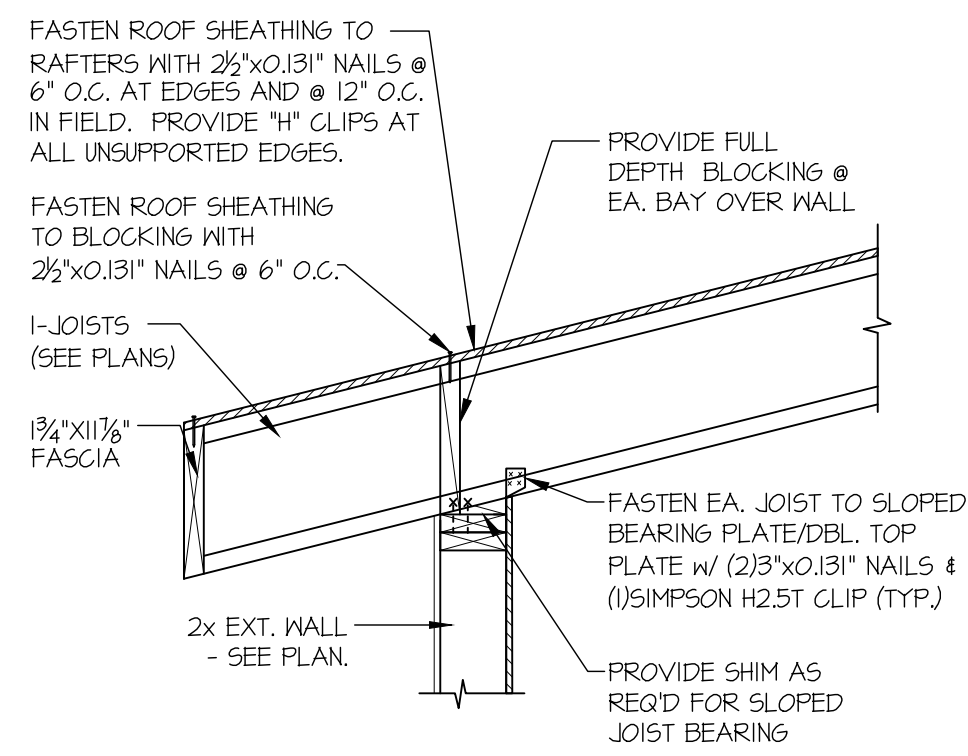
REVISIONS:
date: initial:

LNL BUILDS

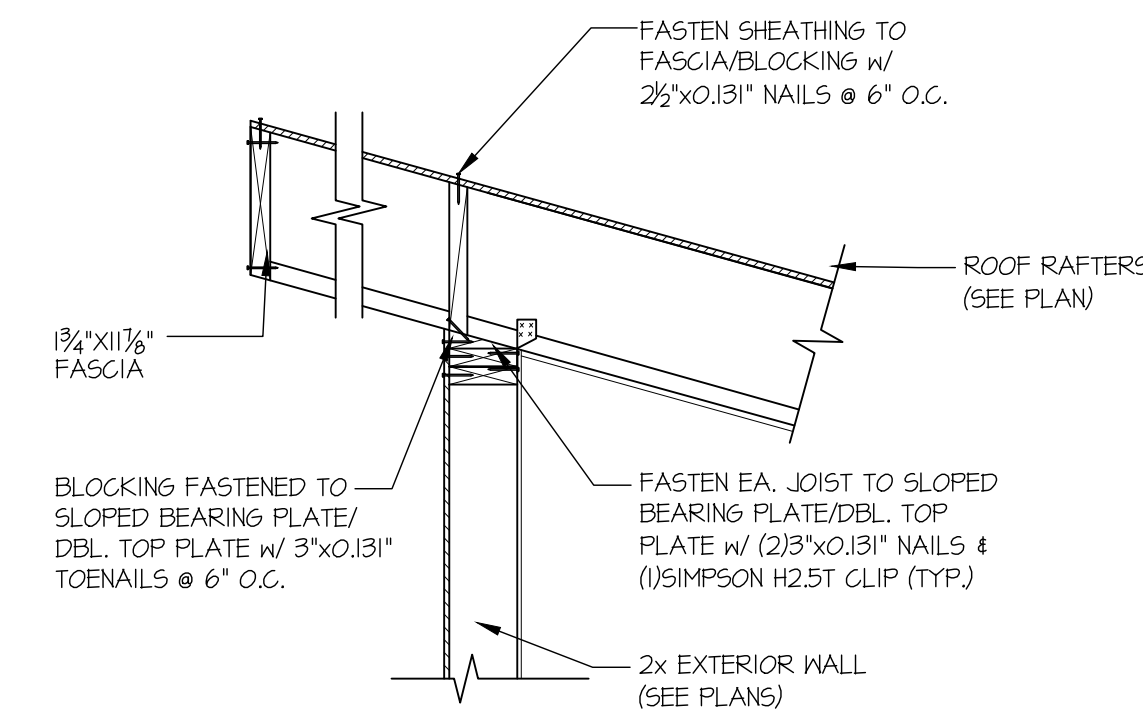
STRUCTURAL DETAILS
27XX 62ND AVE
MERCER ISLAND, WA 98040

sheet:

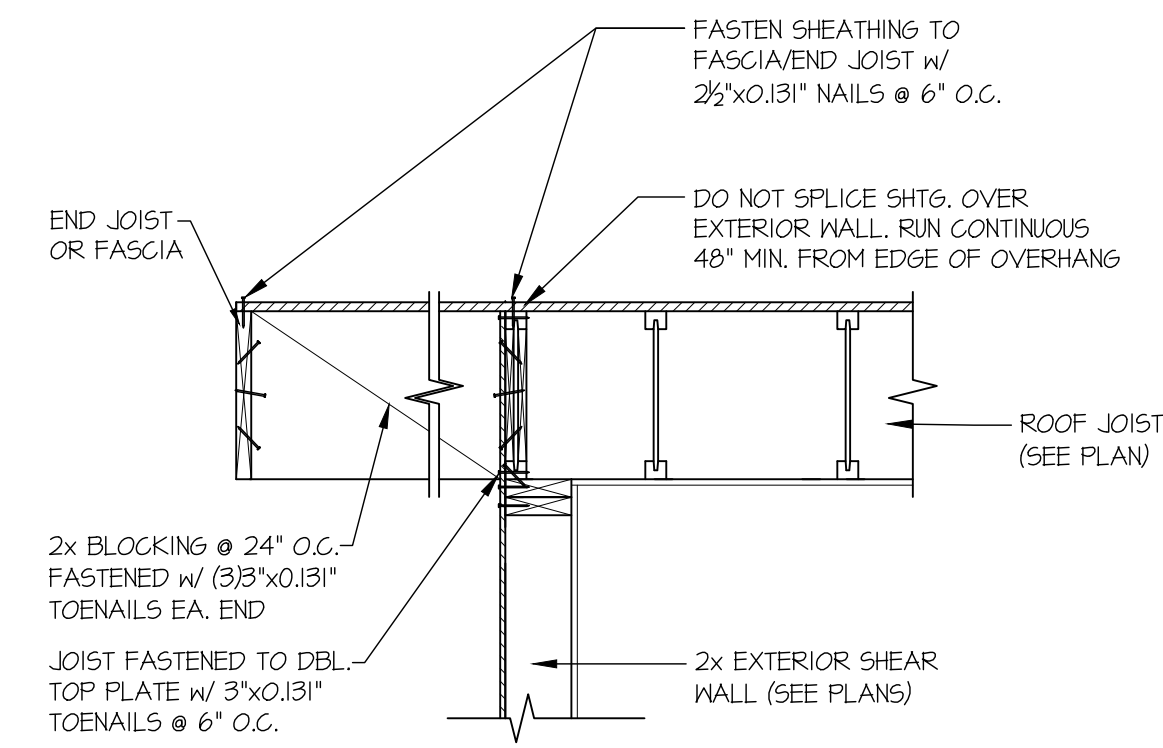
SD-2



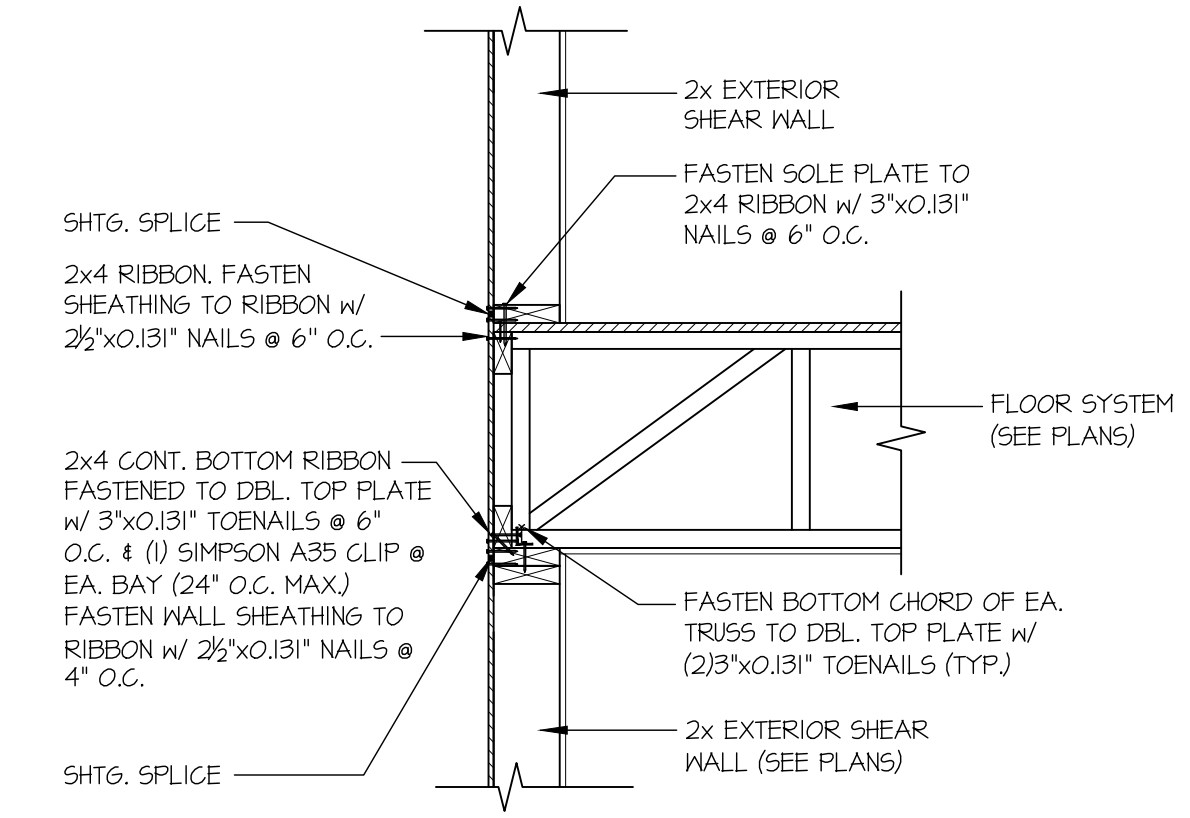
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SCALE: 3/4"=1'-0"



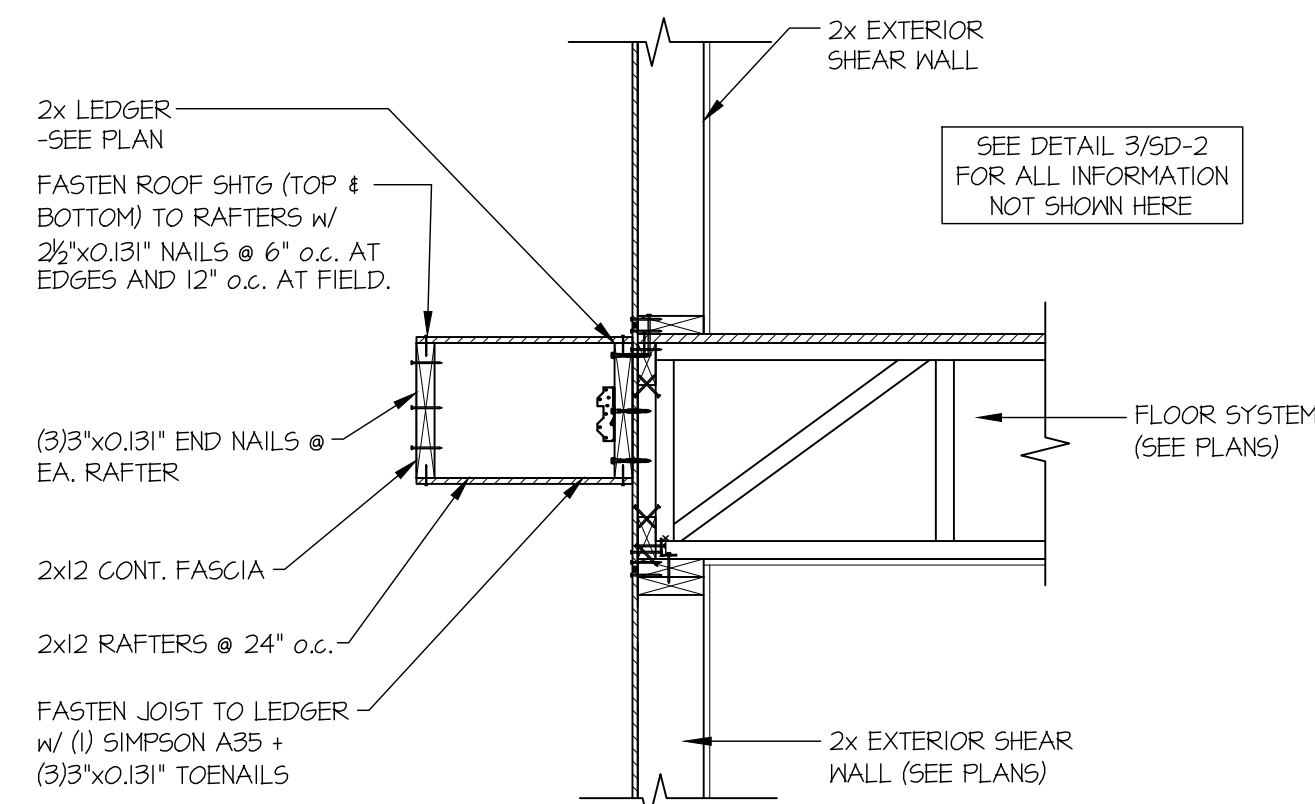
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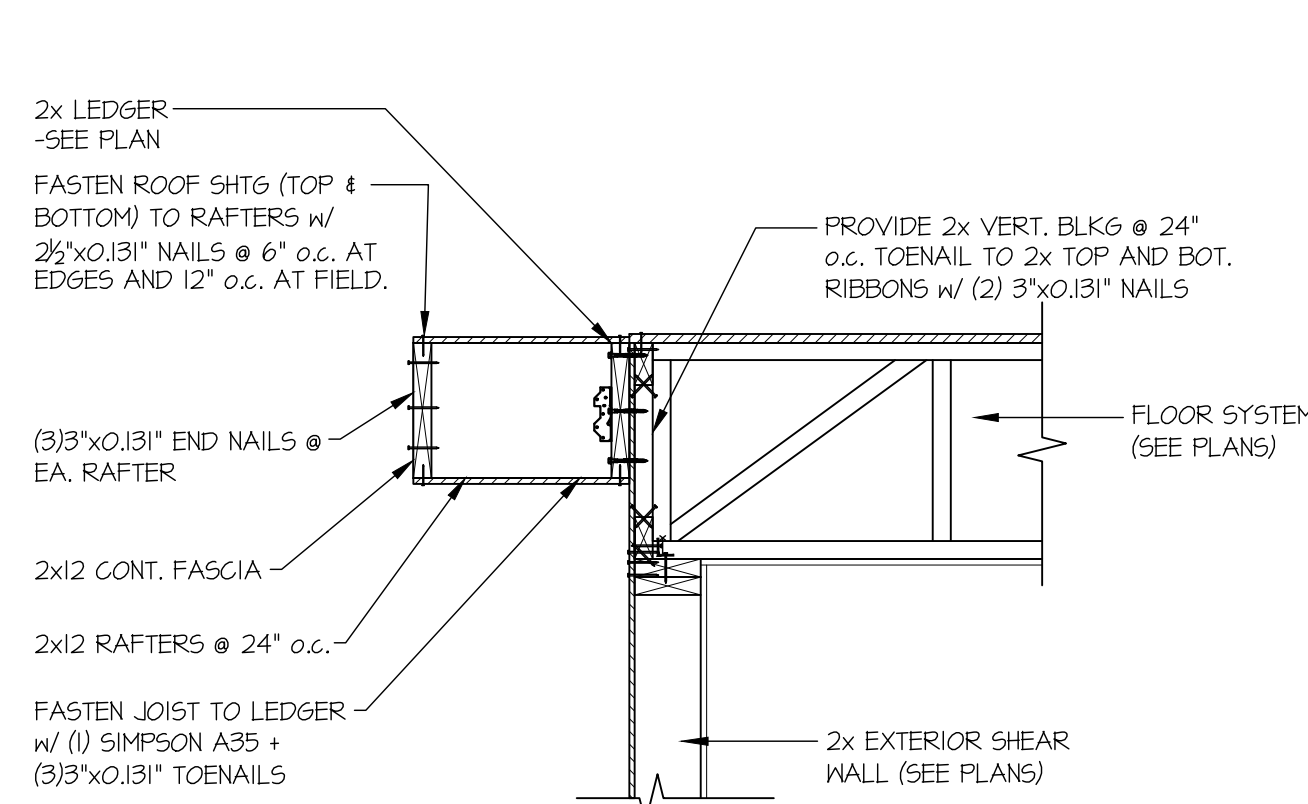
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SCALE: 3/4"=1'-0"



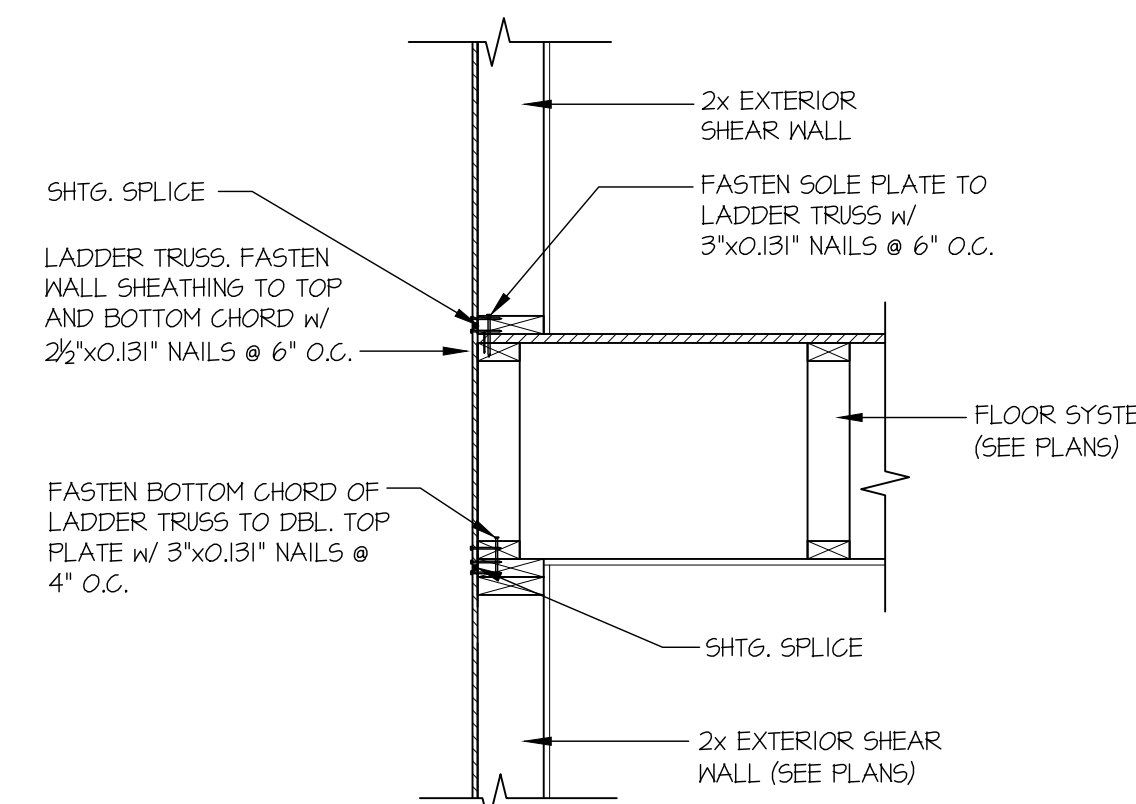
3 SECTION
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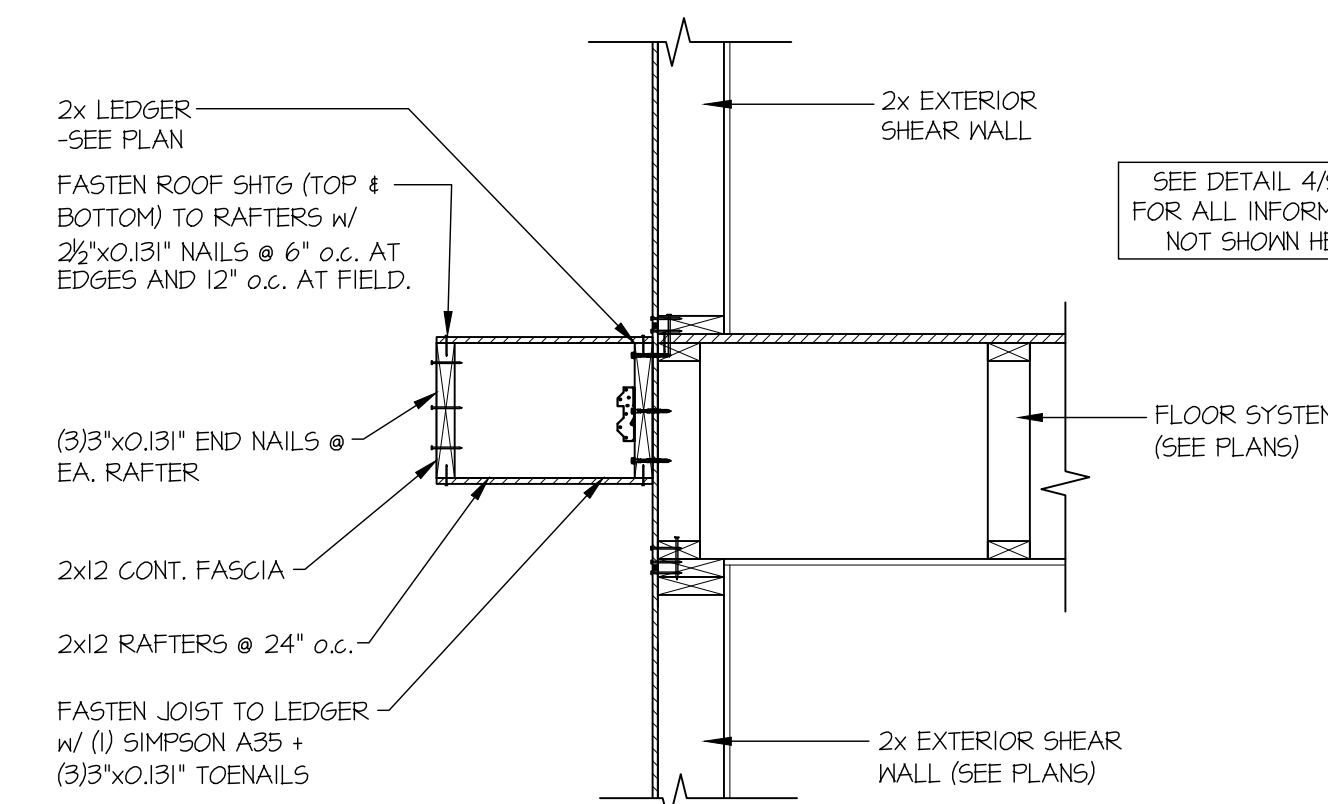
3A SECTION
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



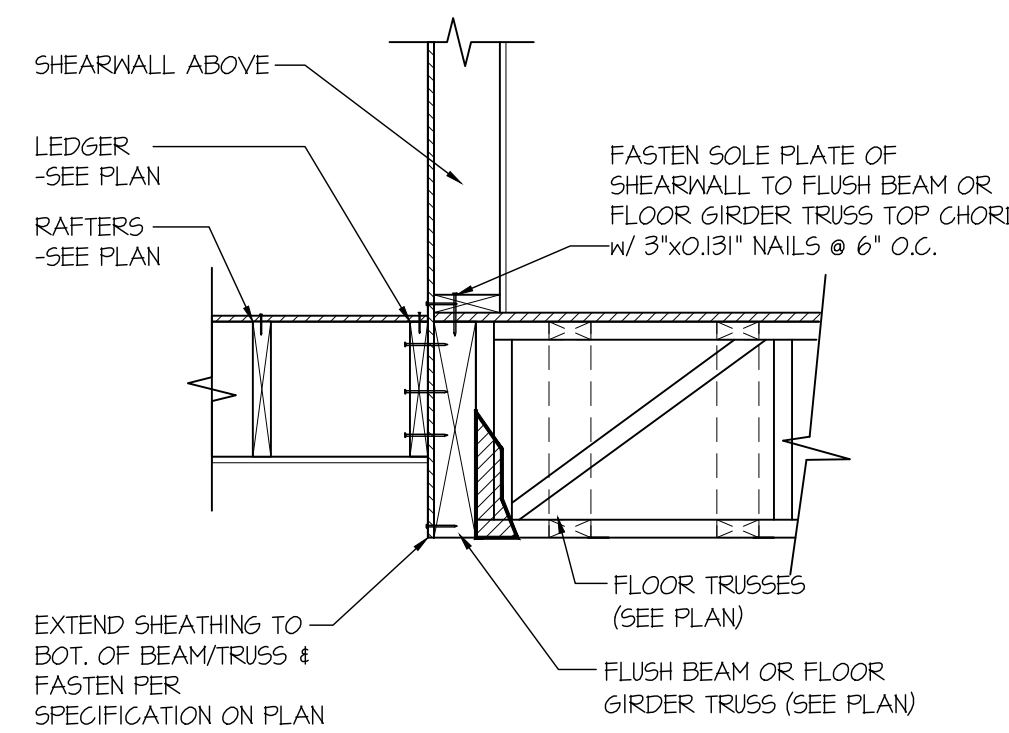
3B SECTION
SCALE: 3/4"=1'-0"



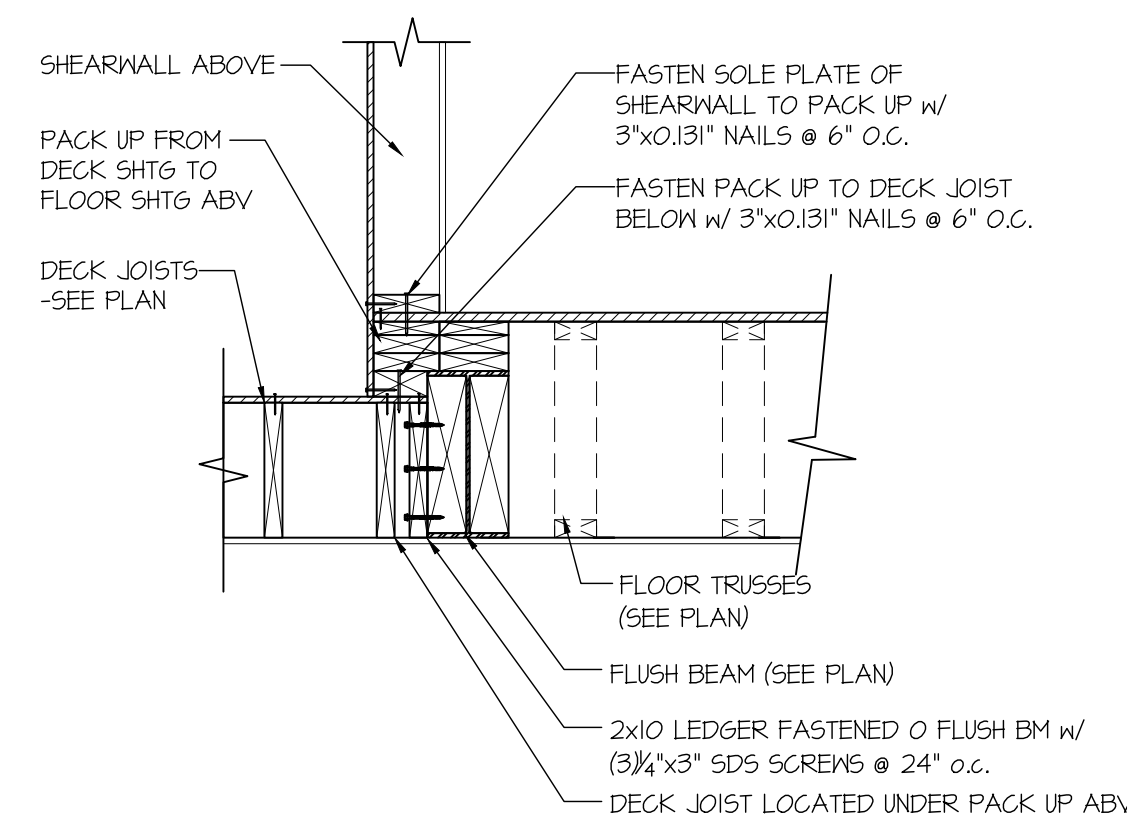
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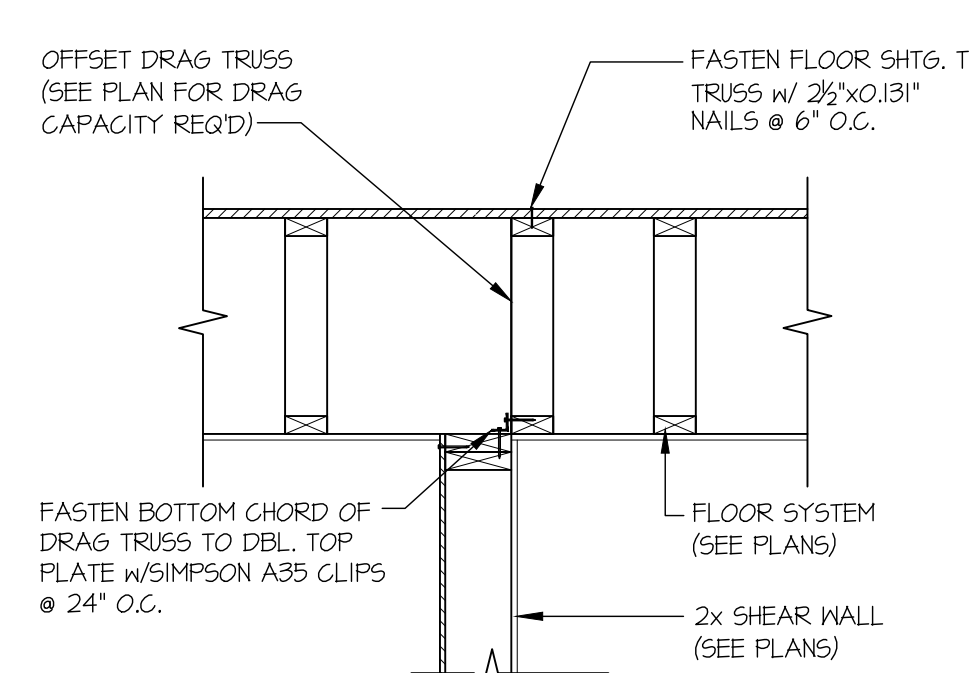
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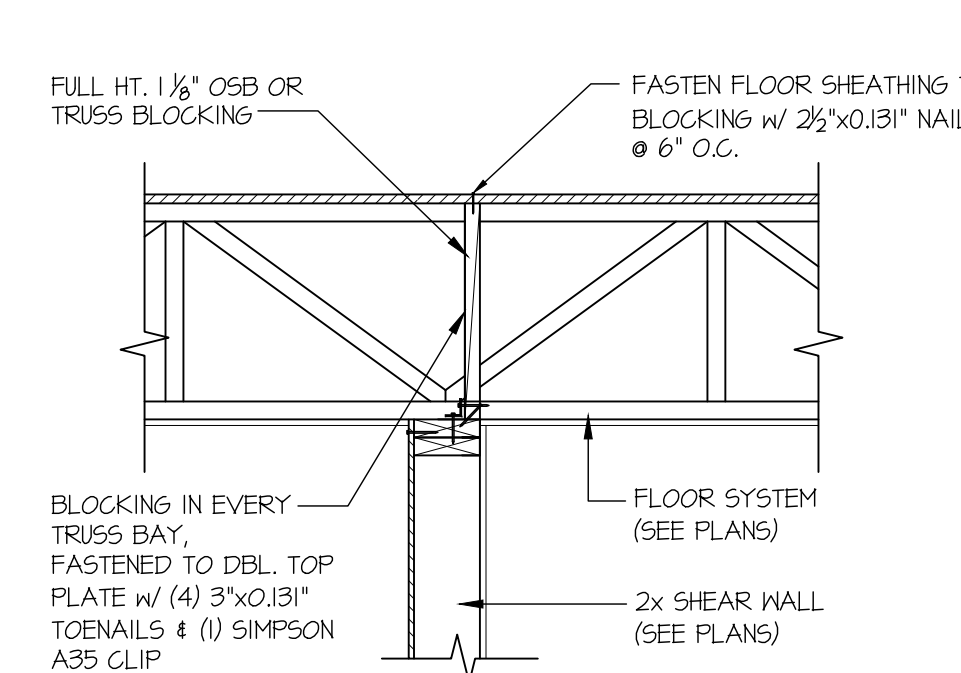
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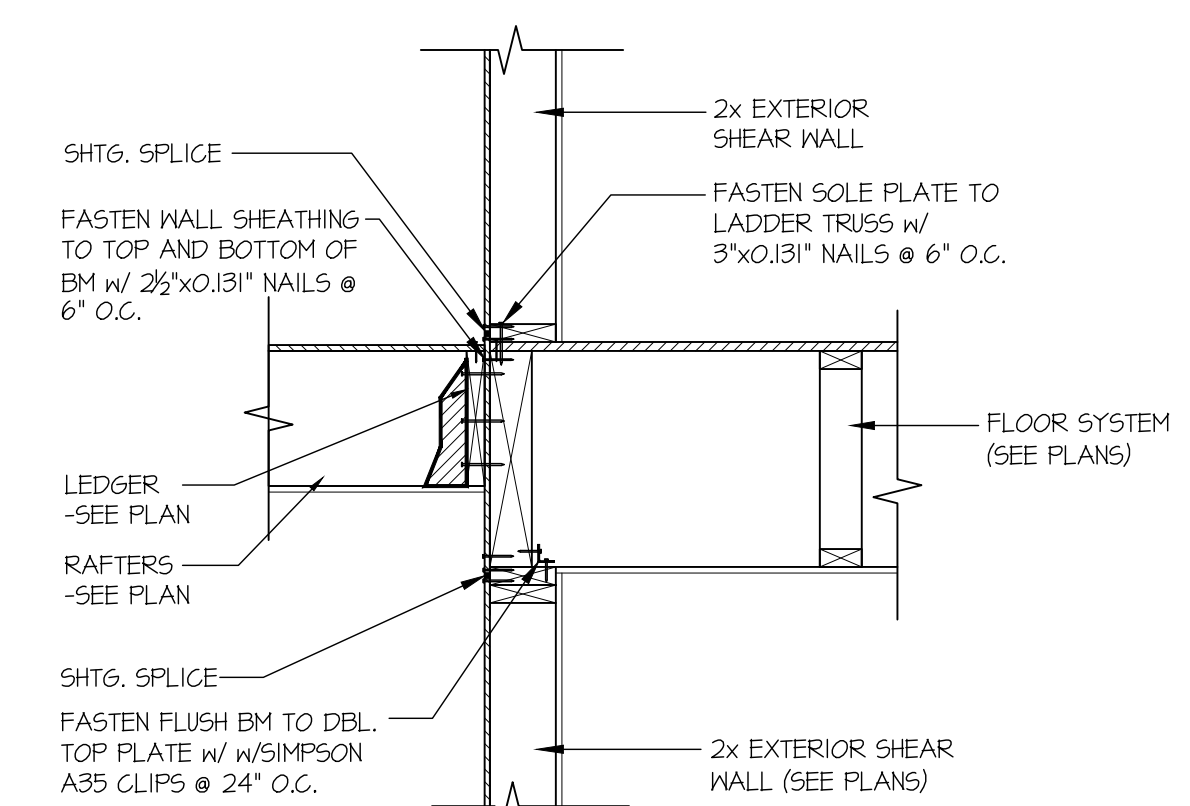
6 SECTION
SCALE: 3/4"=1'-0"



11 SECTION
SCALE: 3/4"=1'-0"



13 SECTION
SCALE: 3/4"=1'-0"



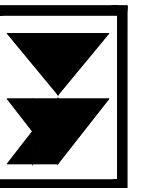
14 SECTION
SCALE: 3/4"=1'-0"

seal:



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REVISIONS:
date: initial:

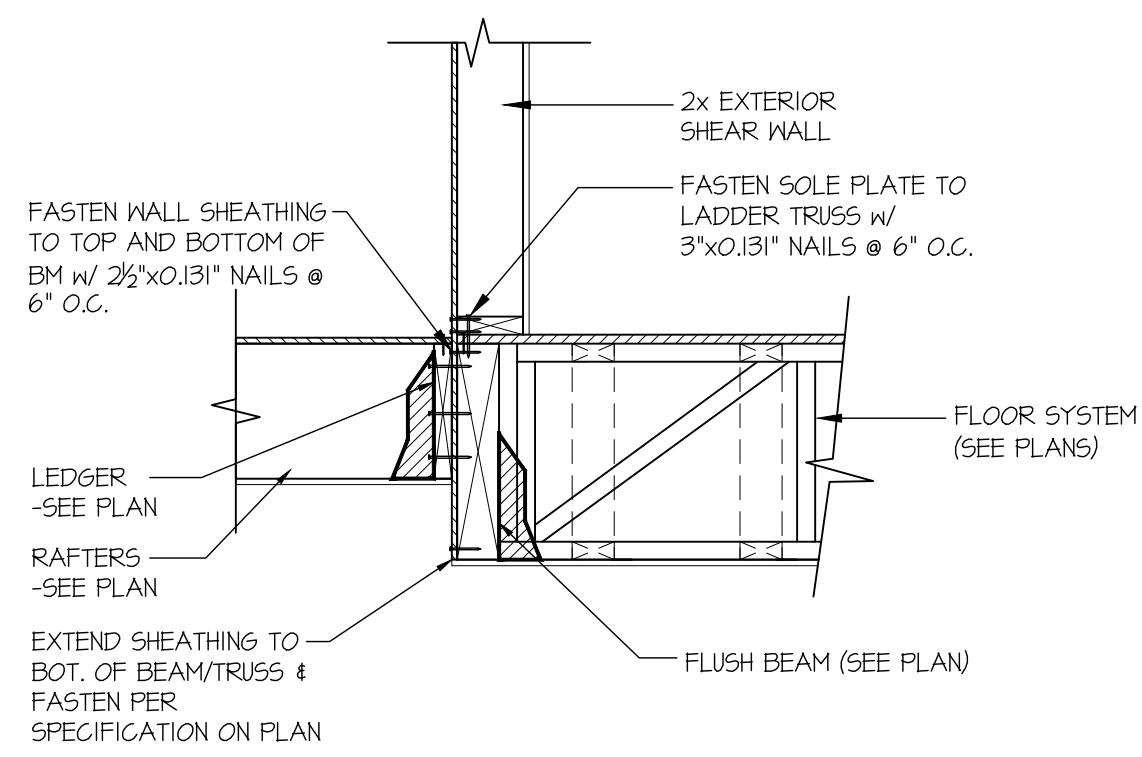
LNL BUILDS

STRUCTURAL DETAILS

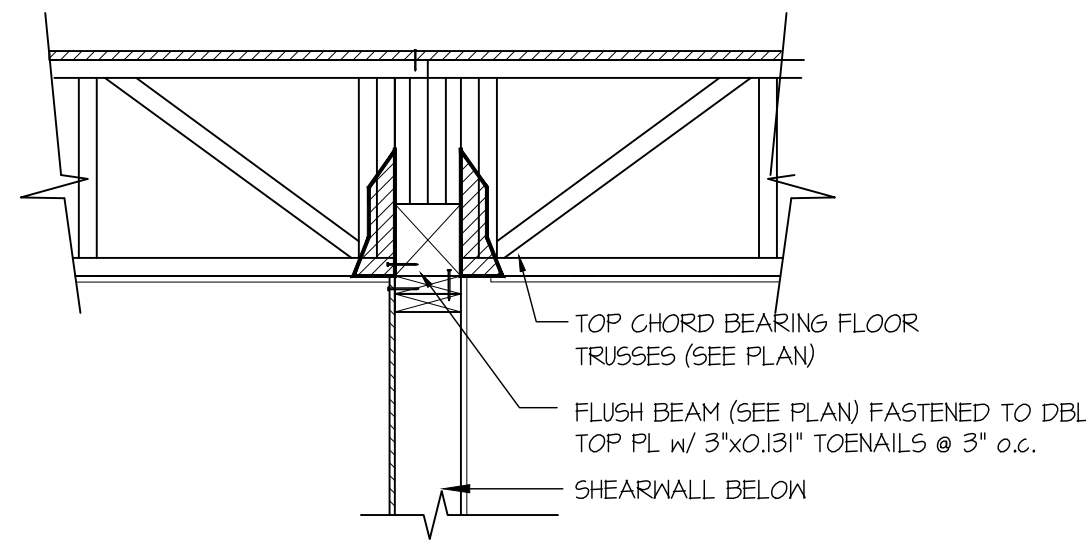
27XX 62ND AVE
MERCER ISLAND, WA 98040

sheet:

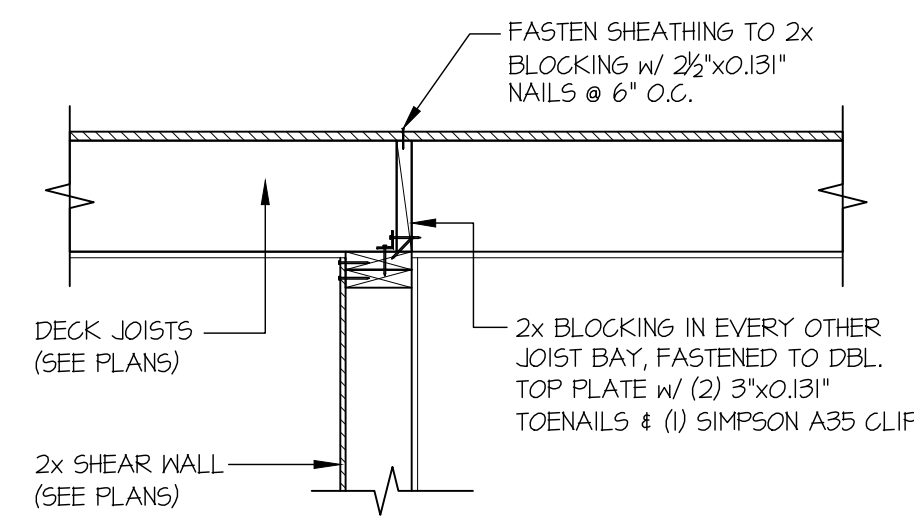
SD-3



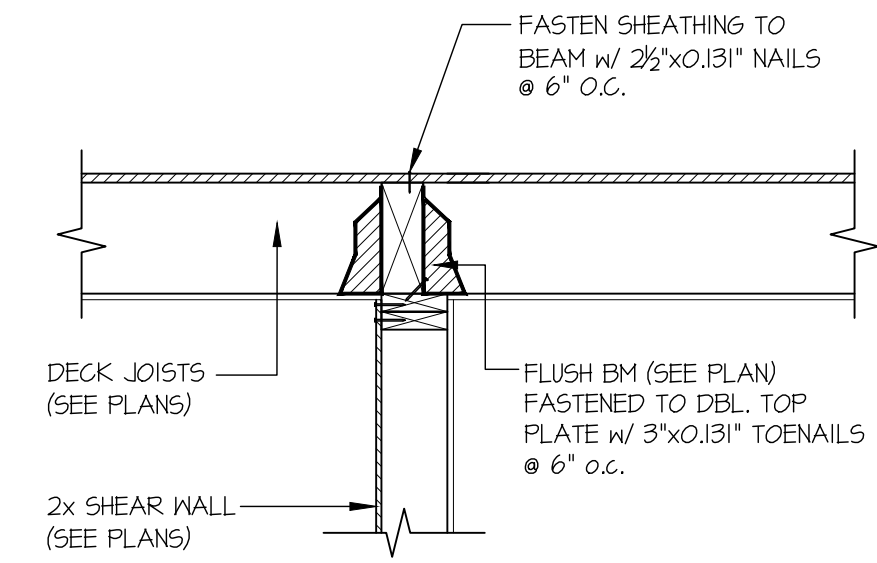
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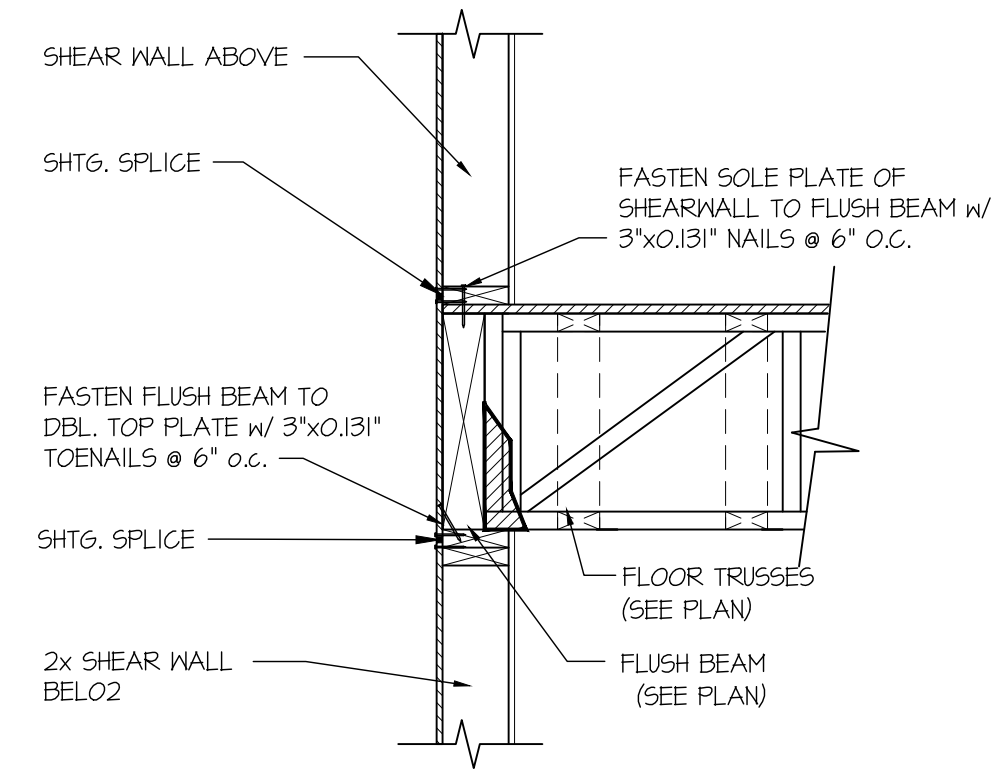
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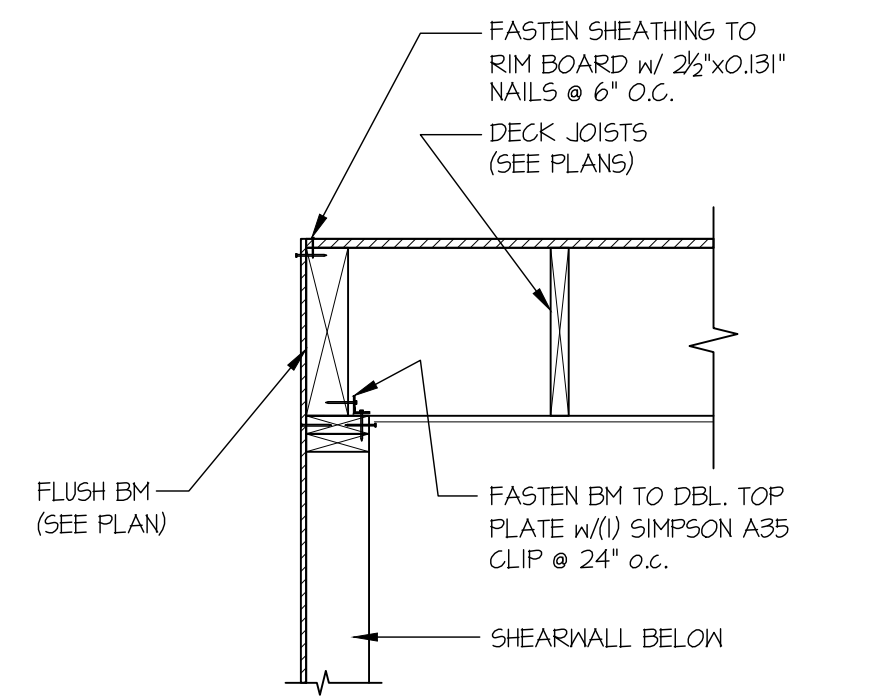
16 SECTION
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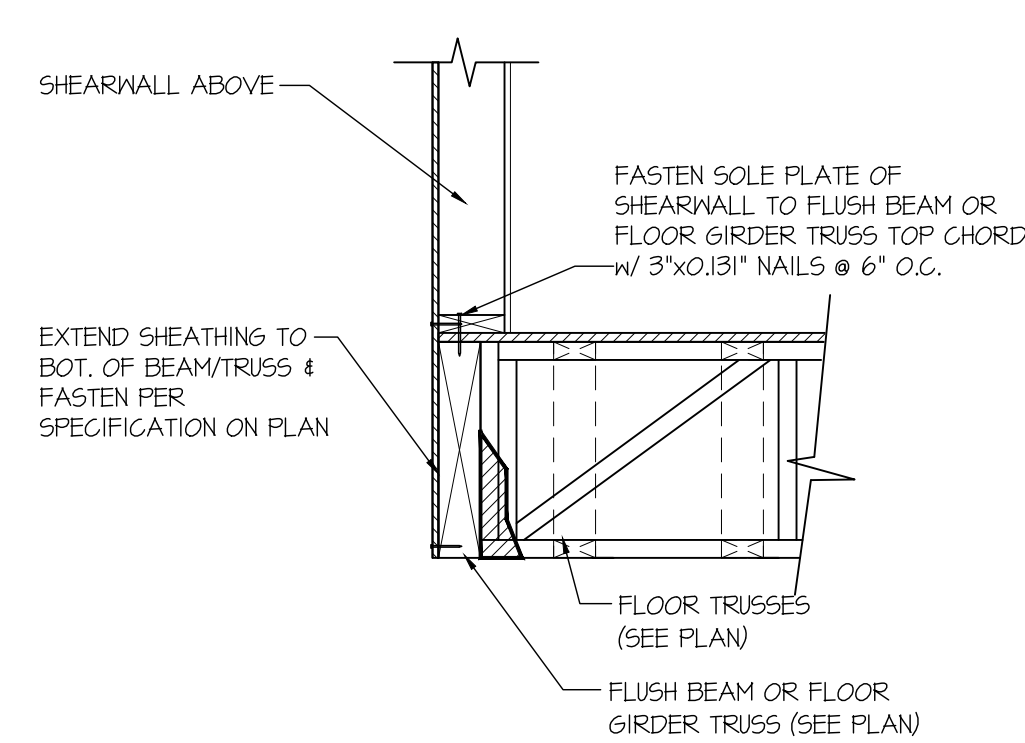
17 SECTION
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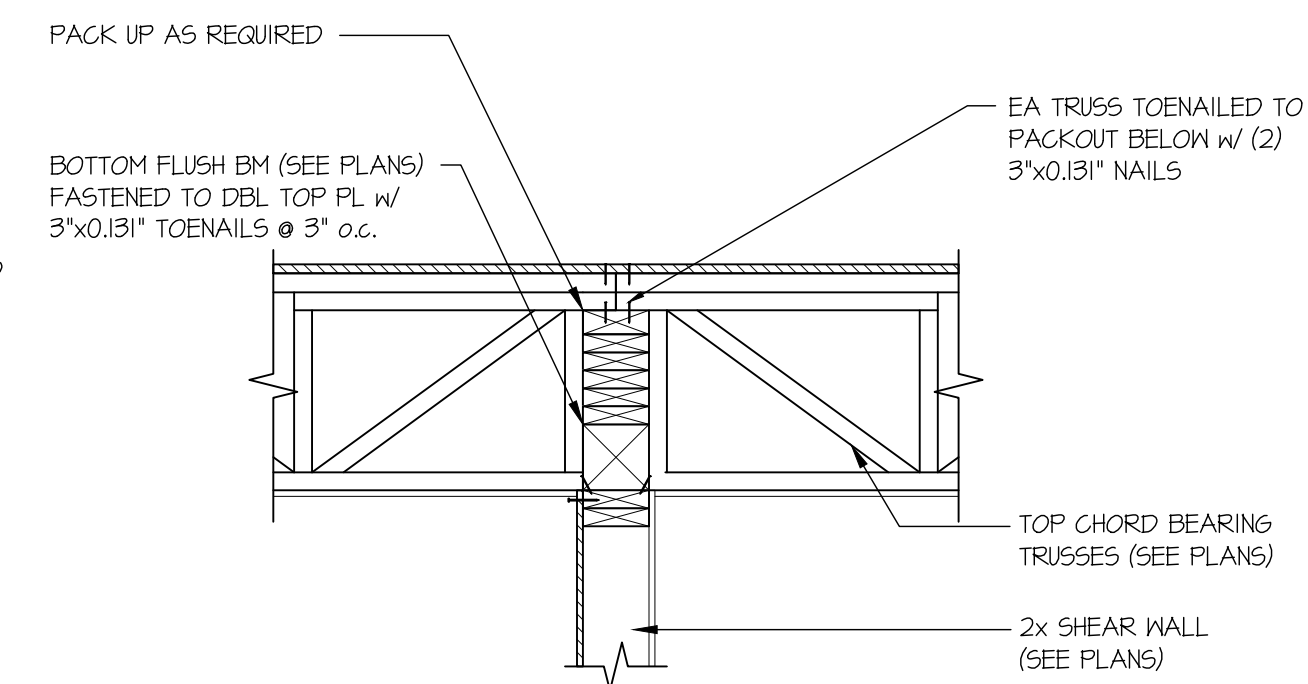
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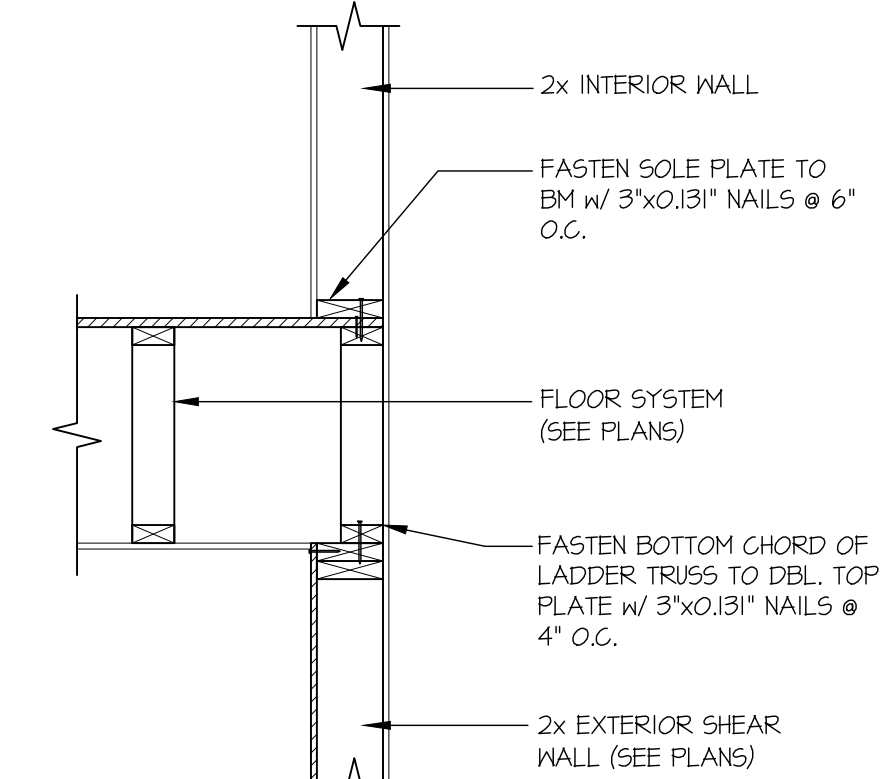
21 SECTION
SCALE: 3/4"=1'-0" EDGE OF FRAMING



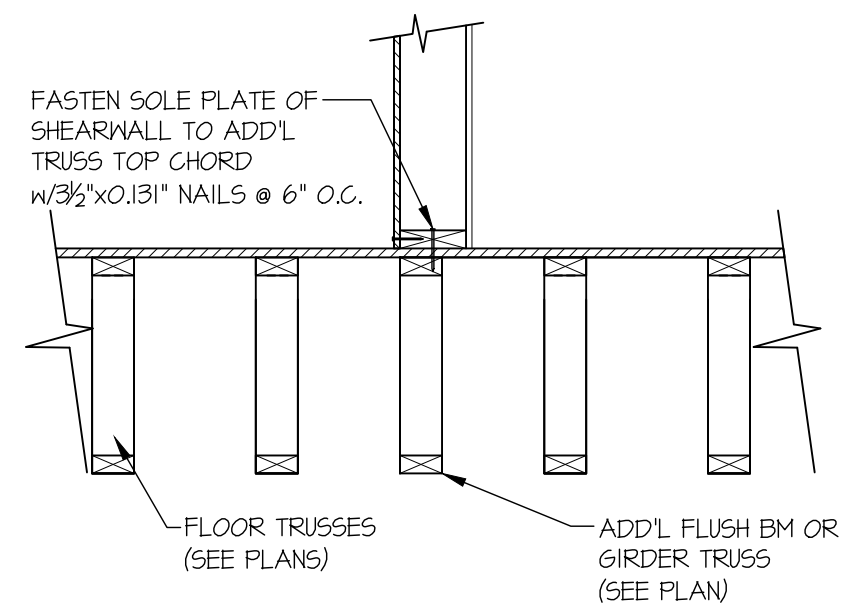
22 SECTION
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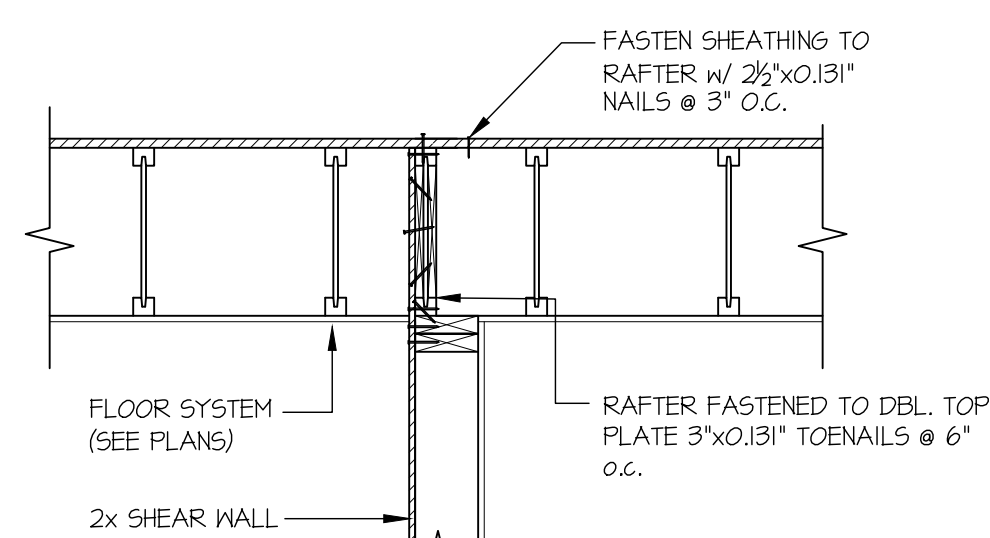
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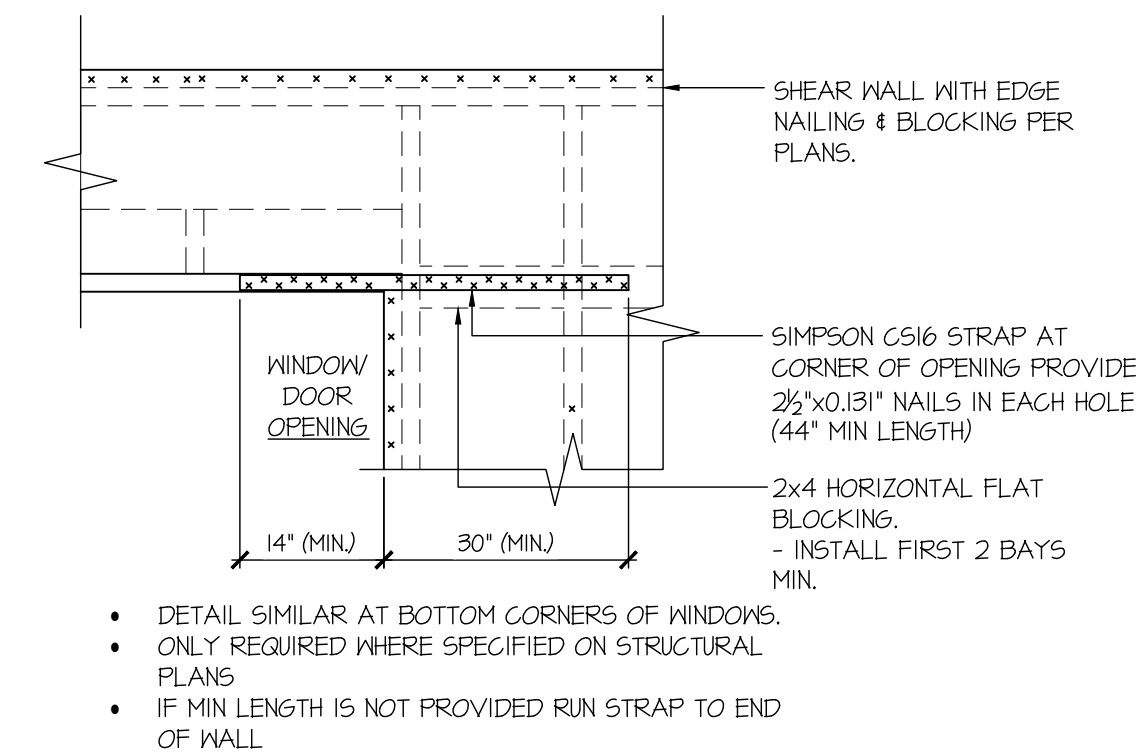
24 SECTION
SCALE: 3/4"=1'-0" PARALLEL FRAMING



25 SECTION
SCALE: 3/4"=1'-0" PARALLEL FRAMING

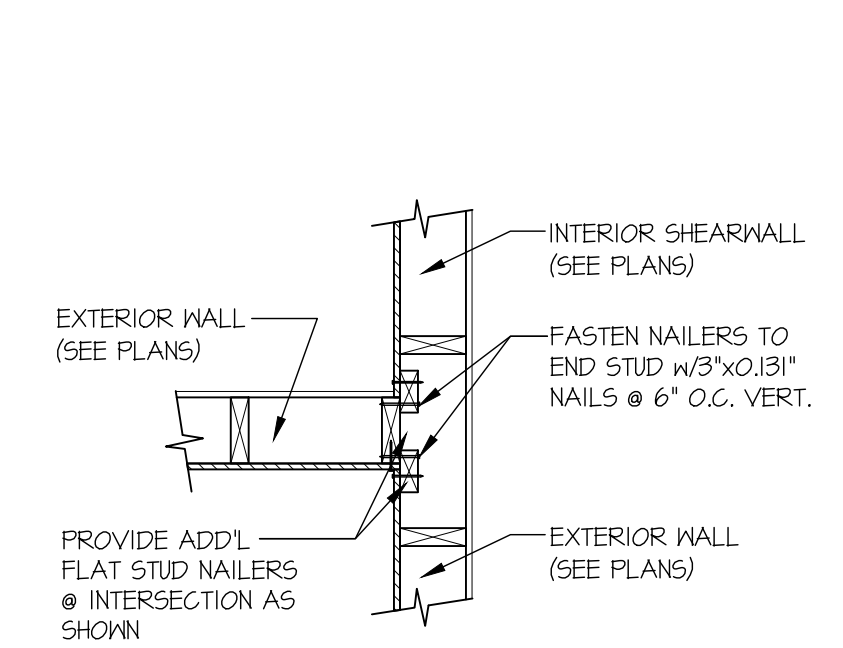


26 SECTION
SCALE: 3/4"=1'-0"

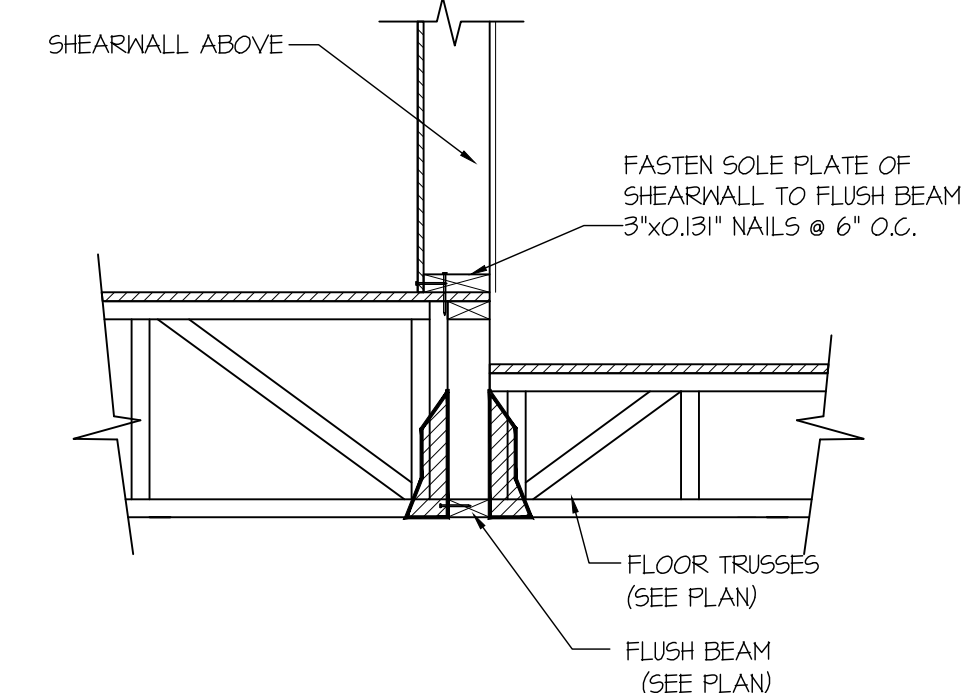


94 EXT. WALL & INT. SHEARWALL OPENING ELEVATION
SCALE: NTS

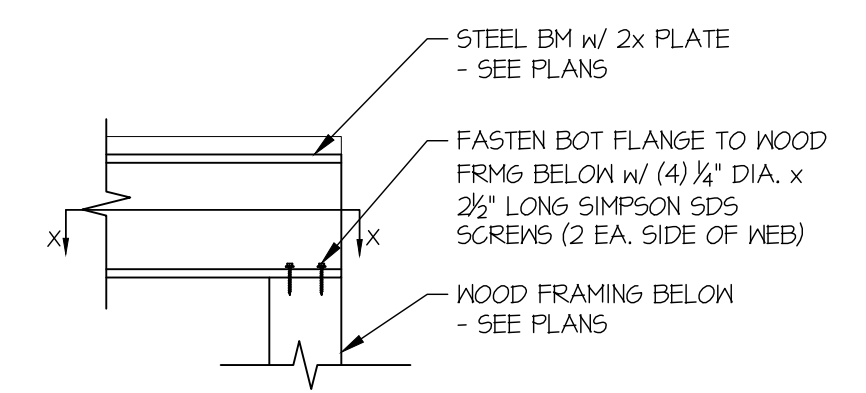
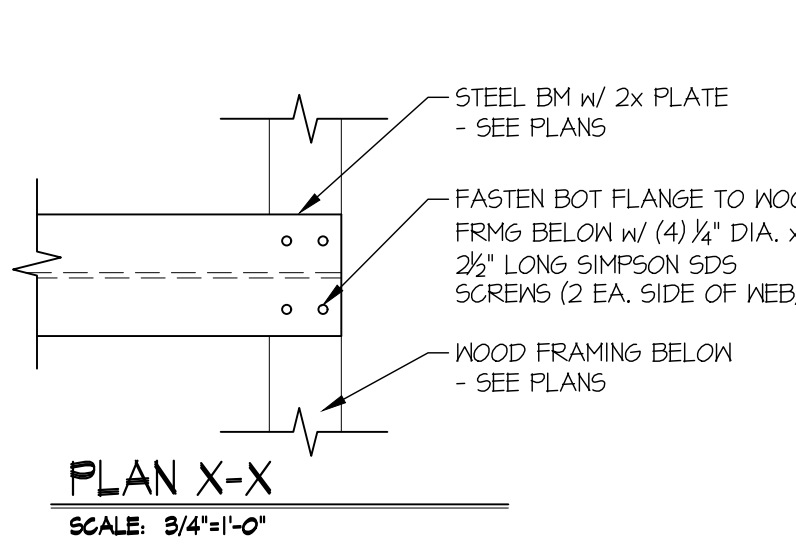
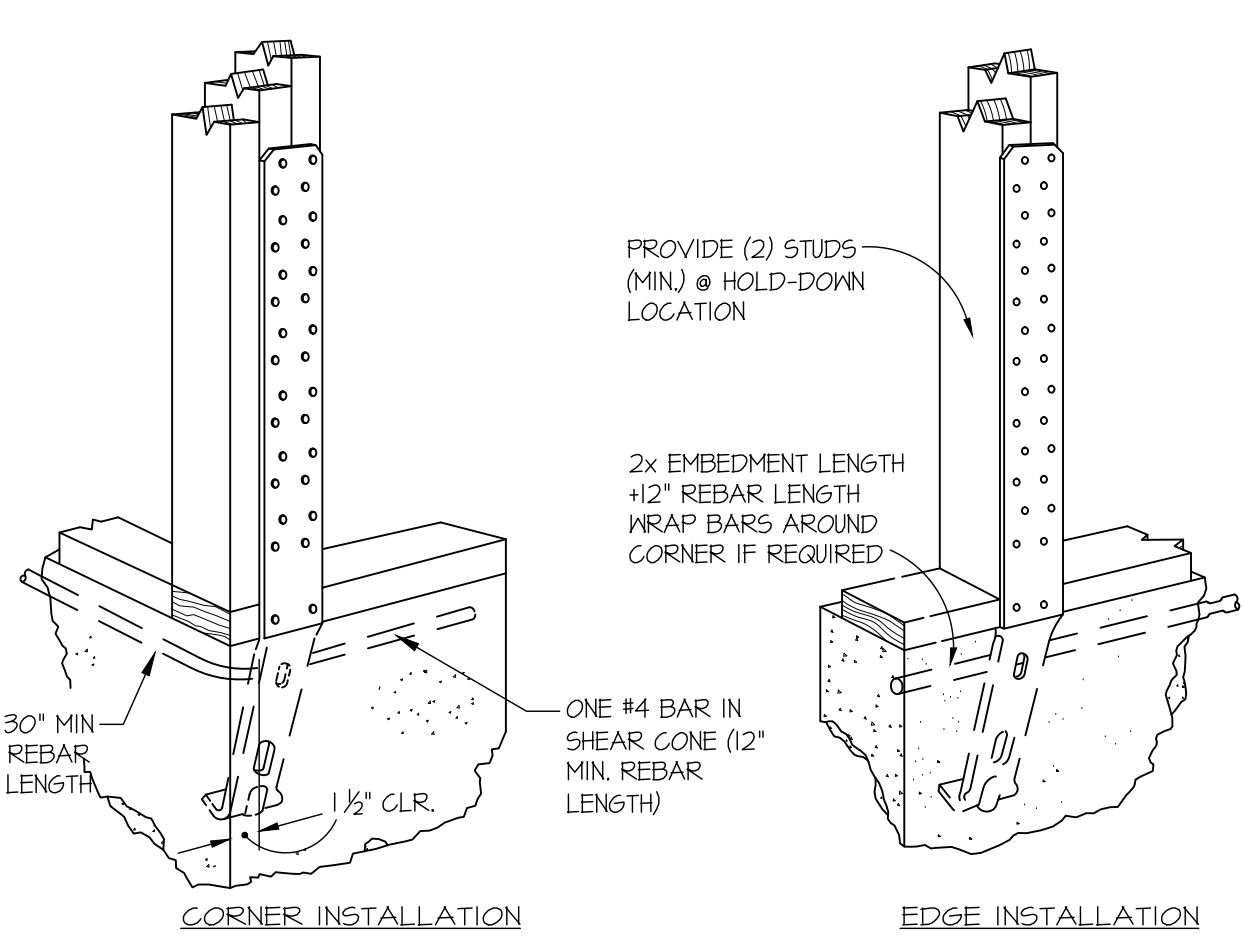
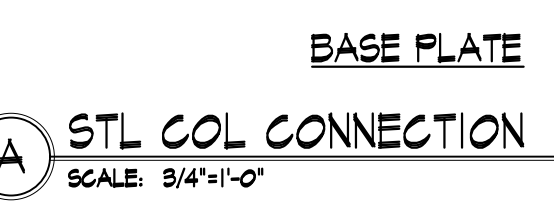
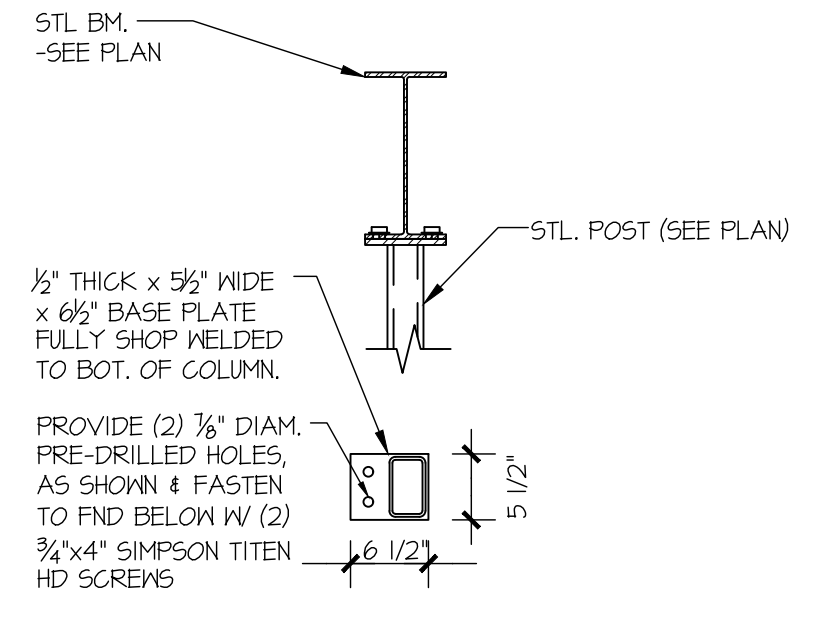
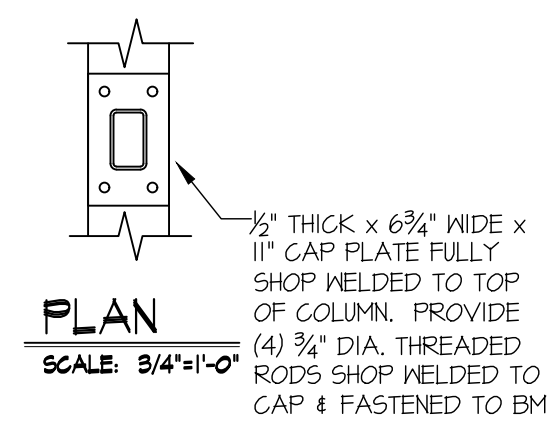
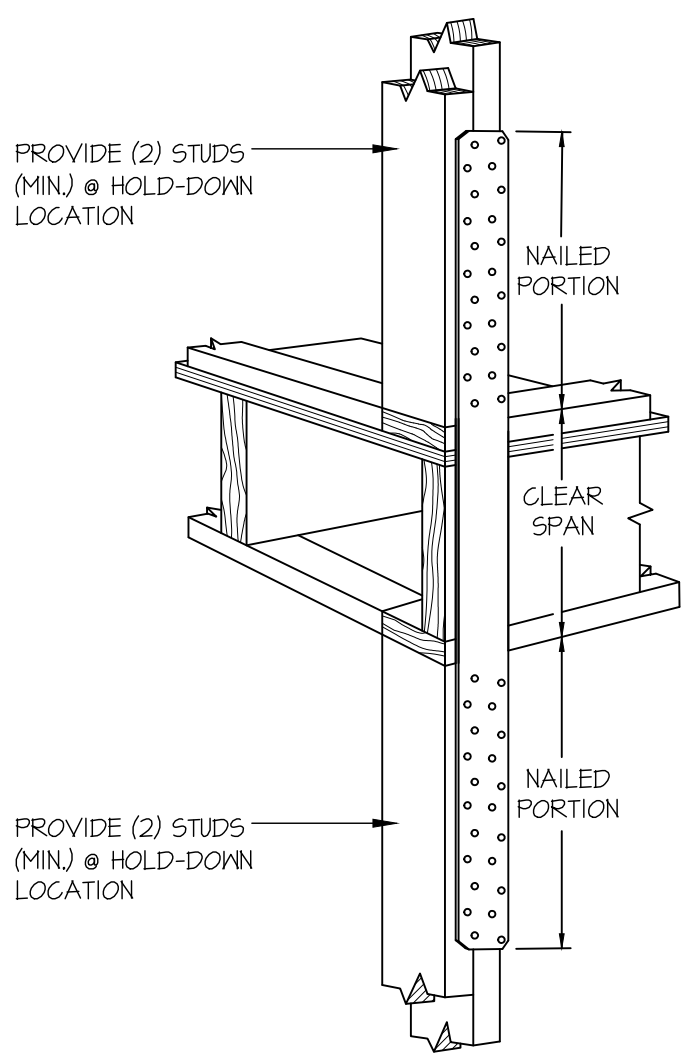
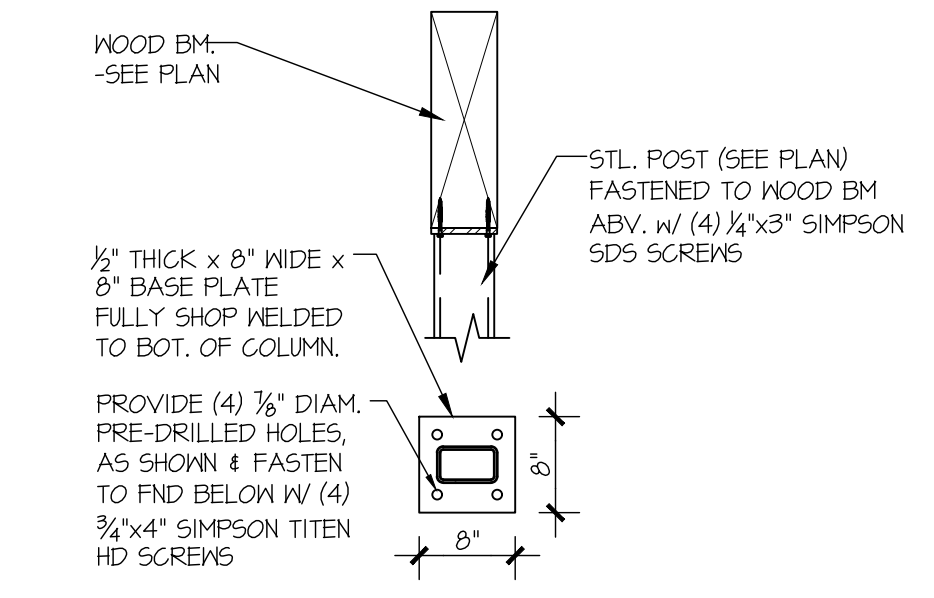
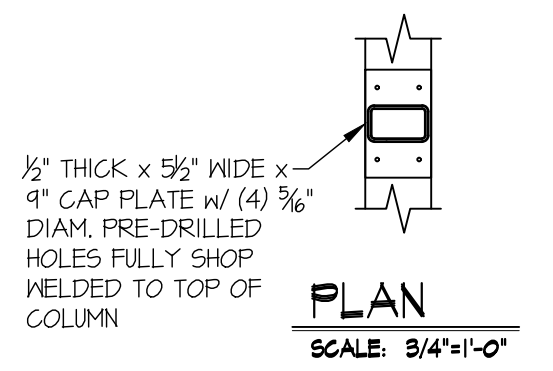
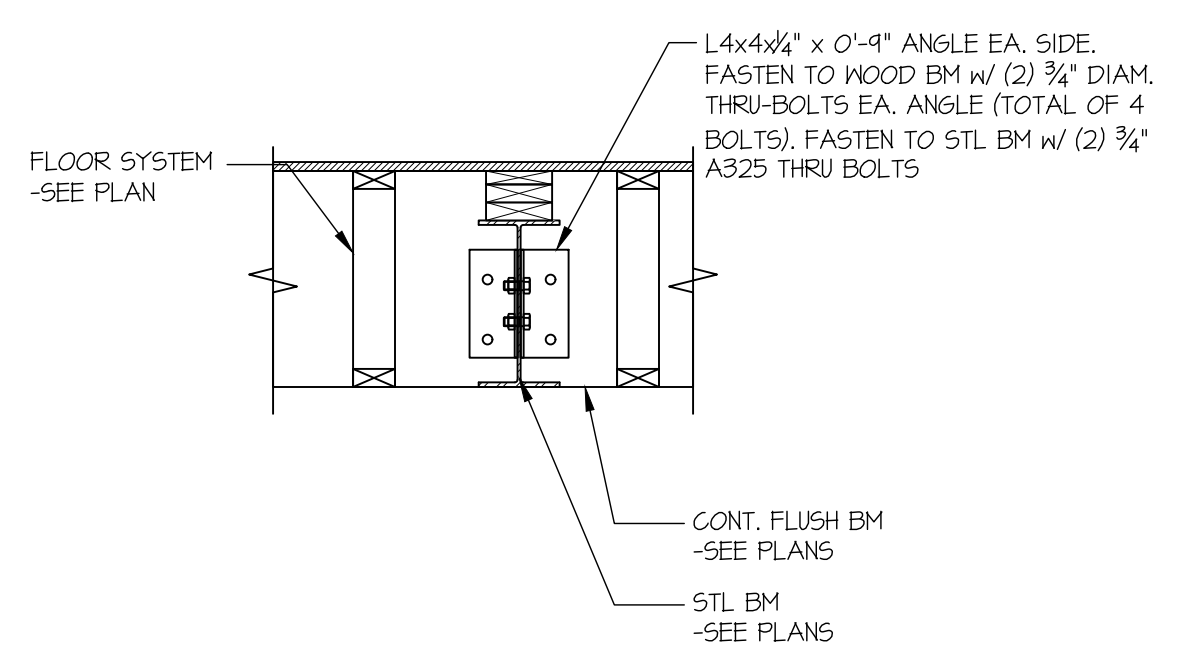
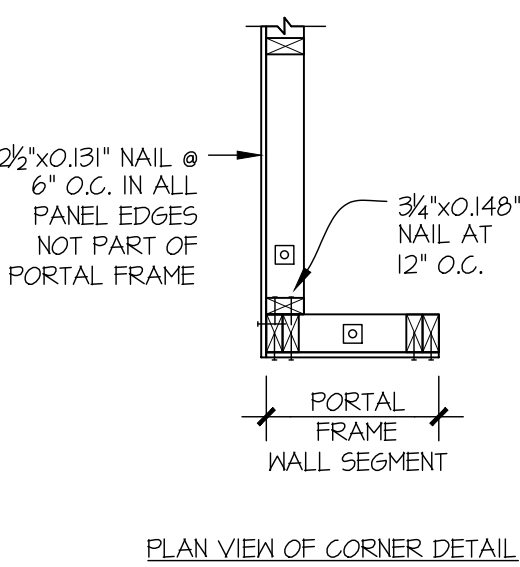
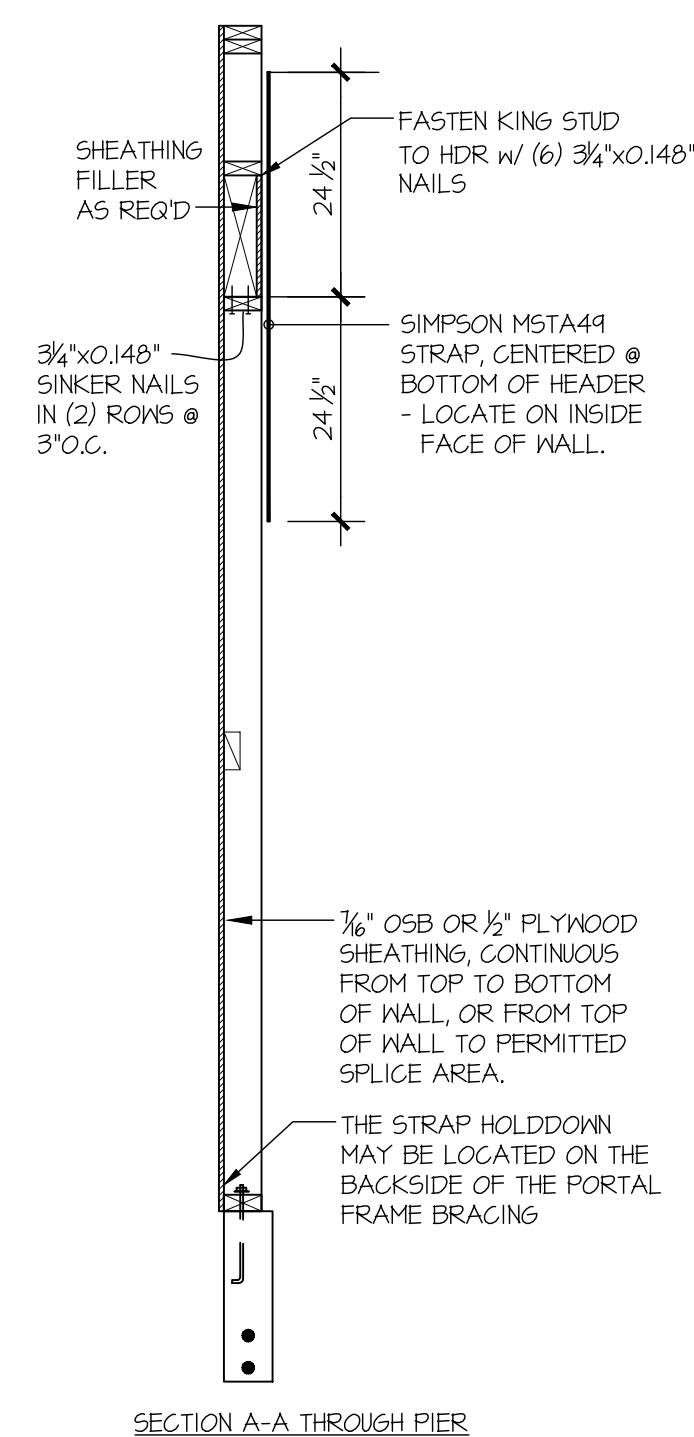
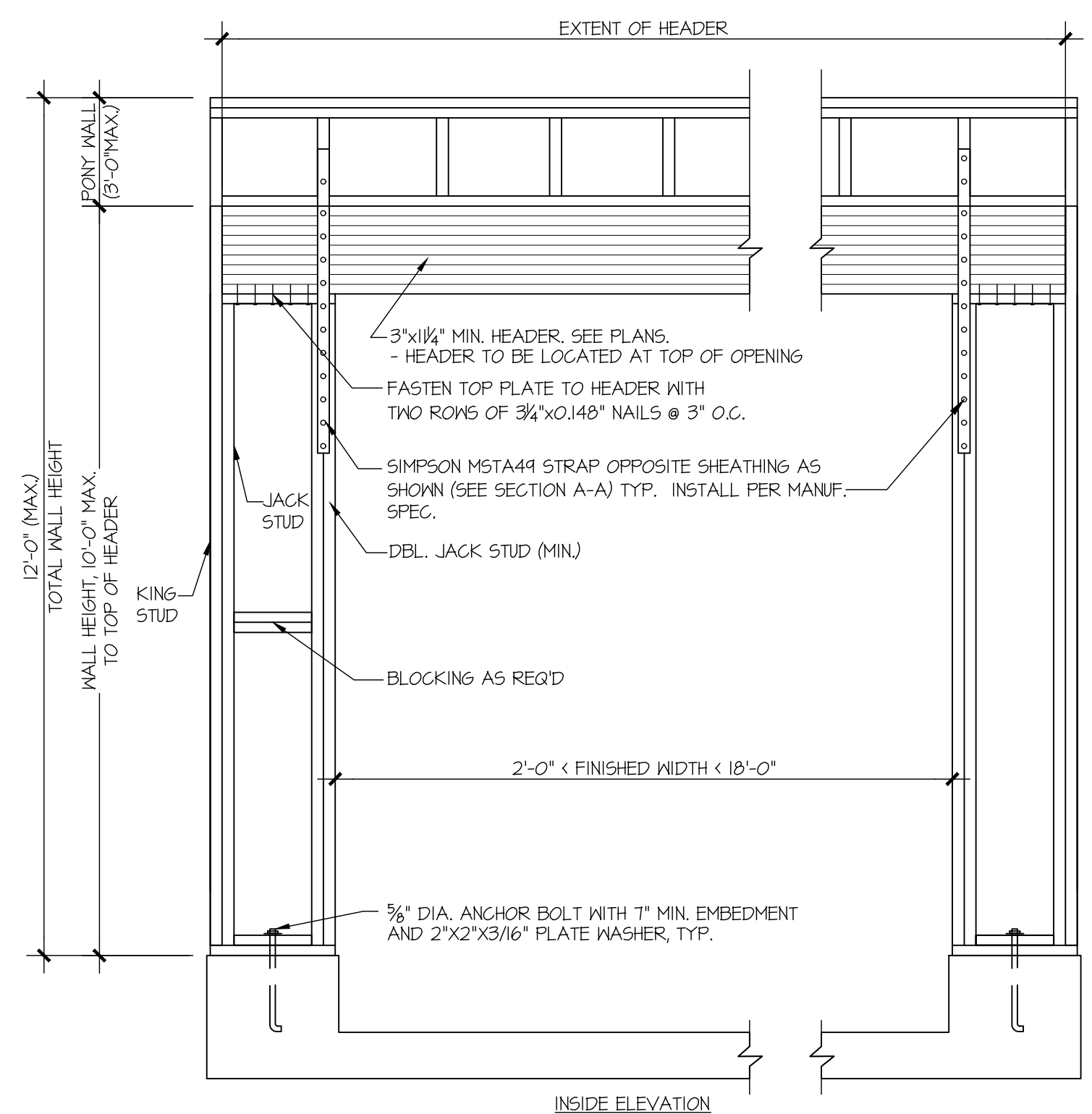
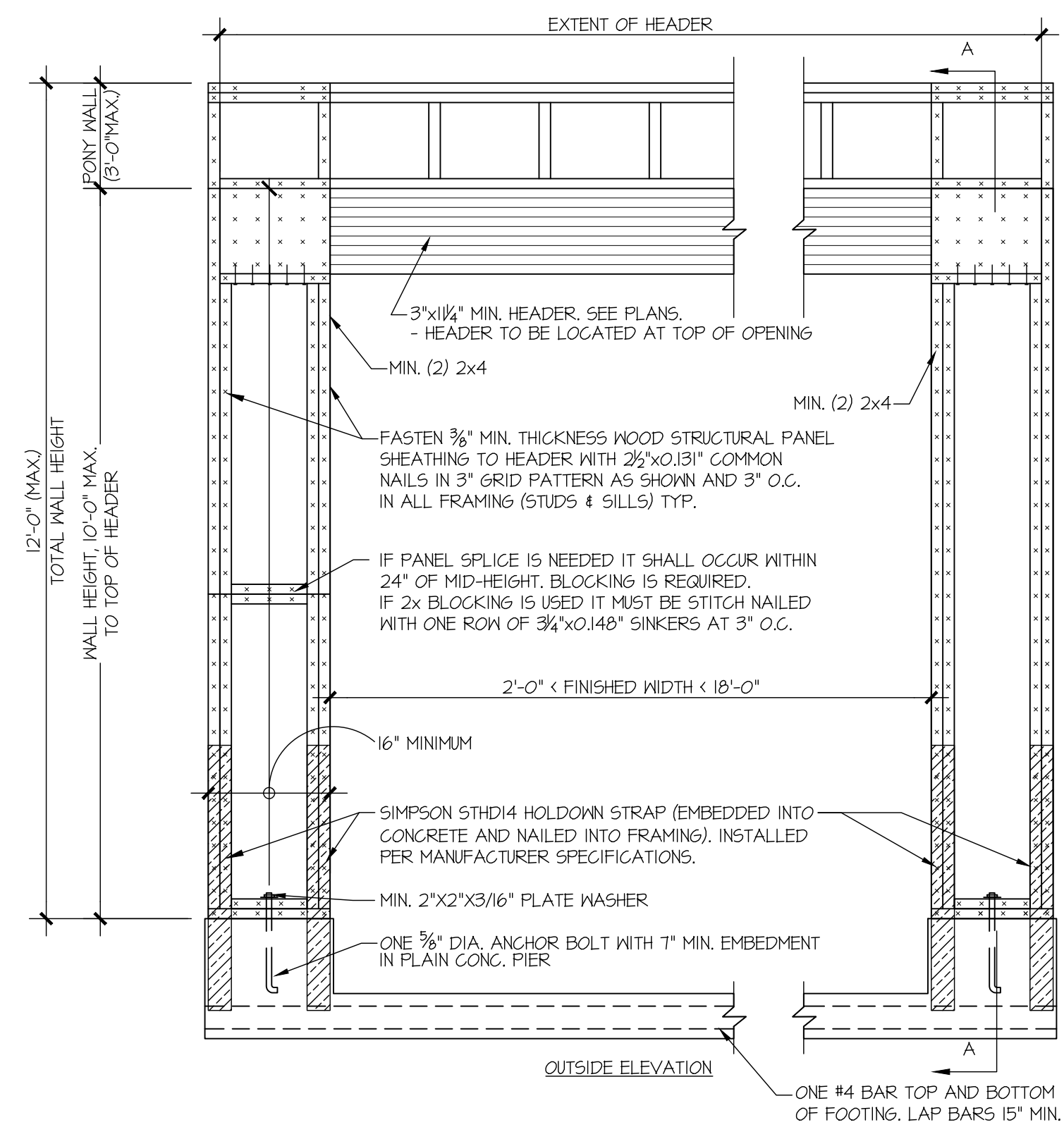
- DETAIL SIMILAR AT BOTTOM CORNERS OF WINDOWS.
- ONLY REQUIRED WHERE SPECIFIED ON STRUCTURAL PLANS
- IF MIN LENGTH IS NOT PROVIDED RUN STRAP TO END OF WALL



95 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTG. ON SAME PAGE



96 SECTION
SCALE: 3/4"=1'-0"



1 APA PORTAL FRAME DETAIL WITH HOLDDOWNS
SCALE: N.T.S.

seal:

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REVISIONS:
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LNL BUILDS

STRUCTURAL DETAILS
 27XX 62ND AVE
 MERCER ISLAND, WA 98040

sheet:
SD-4