

ABBREVIATIONS			
ADJ	ADJUSTABLE	FLG	FLASHING
AFF	ABOVE FINISH FLOOR	FLR	FLOOR
ALUM	ALUMINUM	FND	FOUNDATION
ALT	ALTERNATE	FOF	FACE OF FRAMING
ANC	ANCHOR, ANCHORAGE	FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
ARCH	ARCHITECT(URAL)	FP	FIREPLACE
ASPH	ASPHALT	FRMG	FRAMING
B/I	BUILT IN	FRZ	FREEZER
BD	BOARD	FT	FOOT
BIT	BITUMINOUS	FTG	FOOTING
BLDG	BUILDING	GA	GAGE, GAUGE
BLKG	BLOCKING	GALV	GALVANIZED
BOT	BOTTOM	GC	GENERAL CONTRACT(OR)
BO	BOTTOM OF	GLB	GLUE LAMINATED BEAM
BM	BEAM	GR	GRADE
BSMT	BASEMENT	GRT	GROUT
BTVN	BETWEEN	GWB	GYPSUM WALL BOARD
CAB	CABINET	HB	HOSE BIBB
CB	CATCH BASIN	HD	HEAD
CH	CEILING HEIGHT	HDWD	HARDWOOD
CIP	CAST IN PLACE	HOR	HORIZONTAL
CJ	CONTROL JOINT	HT	HEIGHT
C/L	CENTER LINE	HVAC	HEATING, VENTILATING & AIR CONDITIONING
CLOS	CLOSET	ID	INSIDE DIAMETER
CLG	CEILING	IN	INCH
CLR	CLEAR(ANCE)	INCL	INCLUDE
CMU	CONCRETE MASONRY UNIT	INS	INSULATION
CO	CLEAN OUT	INT	INTERIOR
COL	COLUMN	JST	JOIST
CONC	CONCRETE	JT	JOINT
CONST	CONSTRUCTION	LAMG	LAMINATED GLASS
CONT	CONTINUOUS OR CONTINUE	LAV	LAVATORY
CP	CENTERPOINT	LIN	LINOLEUM
CPT	CARPET	MAX	MAXIMUM
CSMT	CASEMENT	MBR	MASTER BEDROOM
CT	CERAMIC TILE	MECH	MECHANICAL
CU	CUBIC	MFR	MANUFACTURER
DBL	DOUBLE	MIN	MINIMUM
DEM	DEMOLISH, DEMOLITION	MO	MASONRY OPENING
DIAG	DIAGONAL	MTL	METAL
DIAM	DIAMETER	MW	MICROWAVE
DIM	DIMENSION	NIC	NOT IN CONTRACT
DN	DOWN	NTS	NOT TO SCALE
DR	DOOR	OC	ON CENTER
DRN	DRAIN	OD	OUTSIDE DIAMETER
DRY	DRY CLOTHES DRYER	OPNG	OPENING
DS	DOWNSPOUT	OPP	OPPOSITE
DTL	DETAIL	OV	OVEN
DWG	DRAWING	PERP	PERPENDICULAR
(E)	EXISTING	PL	PLATE
EA	EACH	PLAM	PLASTIC LAMINATE
EF	EXHAUST FAN	PLAS	PLASTER
EL	ELEVATION	PNL	PANEL
ELEC	ELECTRIC(AL)	PTD	PAINTED
ELEV	ELEVATOR	PR	PAIR
EQ	EQUAL	PT	PRESSURE TREATED
EQUIP	EQUIPMENT	PLYWD	PLYWOOD
EXT	EXTERIOR	R	RISER
FD	FLOOR DRAIN	R/A	RETURN AIR
FE	FIRE EXTINGUISHER	R&S	ROD AND SHELF
FF	FINISH FLOOR		
FIN	FINISH		

PROJECT INFORMATION

NEW PERMIT PROJECT DESCRIPTION
NEW DETACHED ACCESSORY STRUCTURE, RETAINING WALLS, HARDSCAPE PAVING, AND DRIVEWAY PAVING REPLACEMENT. REMOVAL OF EXISTING HARDSCAPE PAVING.

PROJECT DESCRIPTION - PERMIT 2101-202-REV01 (WORK COMPLETED)
MAIN FLOOR INTERIOR REMODEL AT KITCHEN, FAMILY ROOM, LIVING ROOM & ENTRY. REPLACE WOOD DECK WITH NEW STONE PAVER DECK WITH GUARDRAILS & NEW STAIR TO NEW STONE PAVED LOWER TERRACE. REPLACE LOWER LEVEL WINDOWS @ BEDROOMS AND REC ROOM PER DRAWINGS.

ASSESSOR'S PARCEL NUMBER
252404-9049

LEGAL DESCRIPTION
POR GL 3 BEG S 89-52-00 W 3805 FT OF E 1/4 COR OF SEC TH N 25-46-12 E 64.29 FT TH N 80-59-39 W TO SH OF LK WASH TH SWLY ALG SD SH LN TO S LN GL 3 TH ELY TO BEG & SH LDS ADJ LESS BEG SE COR THOF TH N 25-46-12 E 13.34 FT TH S 89-52-00 W 48.92 FT TH S 00-08-00 E 2 FT TO TPOB TH CONT S 00-08-00 E 10 FT TO S LN THOF TH WLY ALG SD S LN 67.20 FT TO WLY EDGE OF EXISTING CONCRETE CURB TH N 05-35-00 E 10.05 FT TH N 89-52-00 E 66.20 FT TO TPOB

LAND USE CODE REVIEW

CODE STANDARD

CITY OF MERCER ISLAND TITLE 19 UNIFIED LAND DEVELOPMENT CODE

SEE A0.2 FOR LOT COVERAGE, GROSS FLOOR AREA DIAGRAMS & STRUCTURAL WALL ALTERATION CALCULATION

ZONING: R15
MAXIMUM GROSS FLOOR AREA: 10,710 SF

LOT AREA = 26,775 SF

VEHICLE EASEMENT AREA = (552) SF

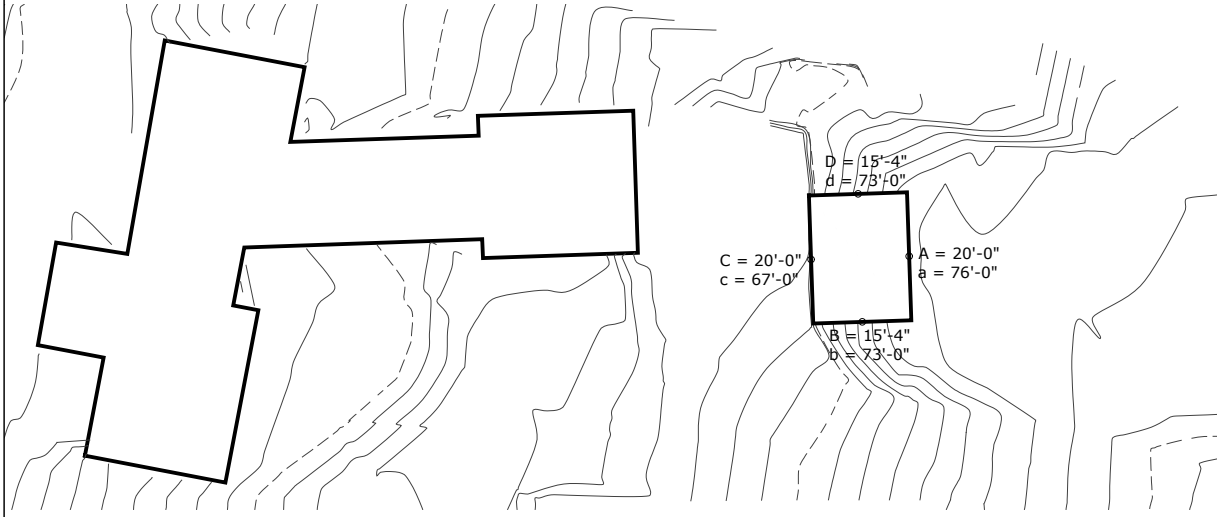
NET LOT AREA = 26,223 SF

LOT COVERAGE CALCULATION: SEE A0.2

HOUSE - YARDS	REQUIRED	EXISTING	PROPOSED
FRONT	20'-0"	108'-0"	NO CHANGE
SIDE NORTH	5'-0"	6'-1"	NO CHANGE
SIDE SOUTH	10'-0"	13'-9 1/2"	NO CHANGE
SHORELINE	25'-0"	99'-6"	NO CHANGE

MAXIMUM STRUCTURE HEIGHT

AVERAGE BUILDING GRADE: 5,093.8 / 70.60 = 72.15'
MAX ALLOWABLE HEIGHT: 89.15' (17 FT ABOVE AVERAGE BUILDING GRADE)
DETACHED ACCESSORY STRUCTURE HEIGHT :79.00'



SYMBOL KEY

	DRAWING # SHEET #	SECTION		FINISH WOOD
	DRAWING # SHEET #	SECTION DETAIL		ROUGH WOOD
	DRAWING # SHEET #	DETAIL REFERENCE		CONCRETE
001-W1		DOOR / WINDOW NUMBER		SOIL
		INTERIOR ELEVATION		BATT INSULATION
		SPOT ELEVATION (EXISTING ELEVATION)		RIGID INSULATION
		VERTICAL ELEVATION		SPRAY FOAM INSULATION
		ROOM REFERENCE		PLYWOOD
		CENTER LINE		COMPACTED GRAVEL
		EXHAUST FAN		DOOR TYPE
		CARBON MONOXIDE DETECTOR		WINDOW TYPE
		SMOKE DETECTOR		REVISION (ONLY MOST RECENT REVISION SHOWN CLOUDED)

BUILDING CODE REVIEW

CODE STANDARD

INTERNATIONAL RESIDENTIAL CODE WITH WASHINGTON STATE CODE COUNCIL AMENDMENTS, 2015 EDITION

PROPOSED STRUCTURE
OCCUPANCY: R-3

BUILDING TYPE: V-B

NUMBER OF STORIES: 1 + BASEMENT

GROSS FLOOR AREAS: SEE 2/A0.2

ENERGY CODE NOTES - NO PROPOSED CONDITIONED SPACE

DRAWING INDEX

A0.1	GENERAL INFO
A0.2	LAND USE & AREA CALCS SURVEY
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ARCHITECTURAL DRAWINGS	
A1.1	SITE PLAN
A2.1	LOWER FLOOR PLAN
A2.4	ACCESSORY STRUCTURE PLANS
A3.3	BUILDING SECTIONS
A4.3	EXTERIOR ELEVATIONS
A7.4	EXTERIOR DETAILS
STRUCTURAL DRAWINGS	
S2.4	SHORING PLAN, ELEVATIONS & DETAILS
S2.5	FOUNDATION & ROOF PLAN & DETAILS ACCESSORY STRUCTURE
S3.4	STRUCTURAL DETAILS, SITE WALLS & ACCESSORY STRUCTURE

PROJECT DIRECTORY

PROJECT ADDRESS
7179 HOLLY HILL DR
MERCER ISLAND, WA 98040

PROJECT OWNERS
BRUCE & ANN VANDERWALL
7179 HOLLY HILL DR
MERCER ISLAND, WA 98040

ARCHITECT
CONARD ROMANO ARCHITECTS
CONTACT: JIM ROMANO
514 - 28TH AVENUE EAST
SEATTLE, WASHINGTON 98112
(206) 329-4227

GENERAL CONTRACTOR
PRESTIGE RESIDENTIAL CONTRACTORS
CONTACT: DEREK ROBINSON
1200 S ANGELO ST., SUITE A
SEATTLE, WA 98108
(206) 722-1540

STRUCTURAL ENGINEER
HARRIOT VALENTINE ENGINEERS INC.
CONTACT: JIM HARRIOT
1932 FIRST AVE., SUITE 720
SEATTLE, WA 98101
(206) 624-4760

GEOTECH ENGINEER
GEOTECH CONSULTANTS INC.
CONTACT: ROBERT WARD
2401 10TH AVE. E
SEATTLE, WA 98102
(425) 747-5618

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Drawn: EV
Checked: JR

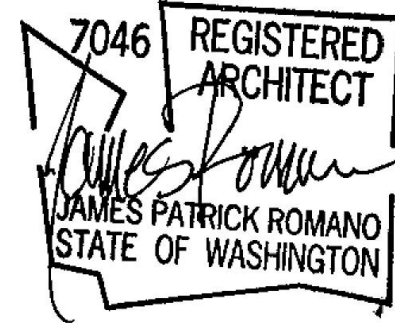
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CONARD ROMANO ARCHITECTS

VANDERWALL RESIDENCE
7179 HOLLY HILL DRIVE
MERCER ISLAND, WA 98040

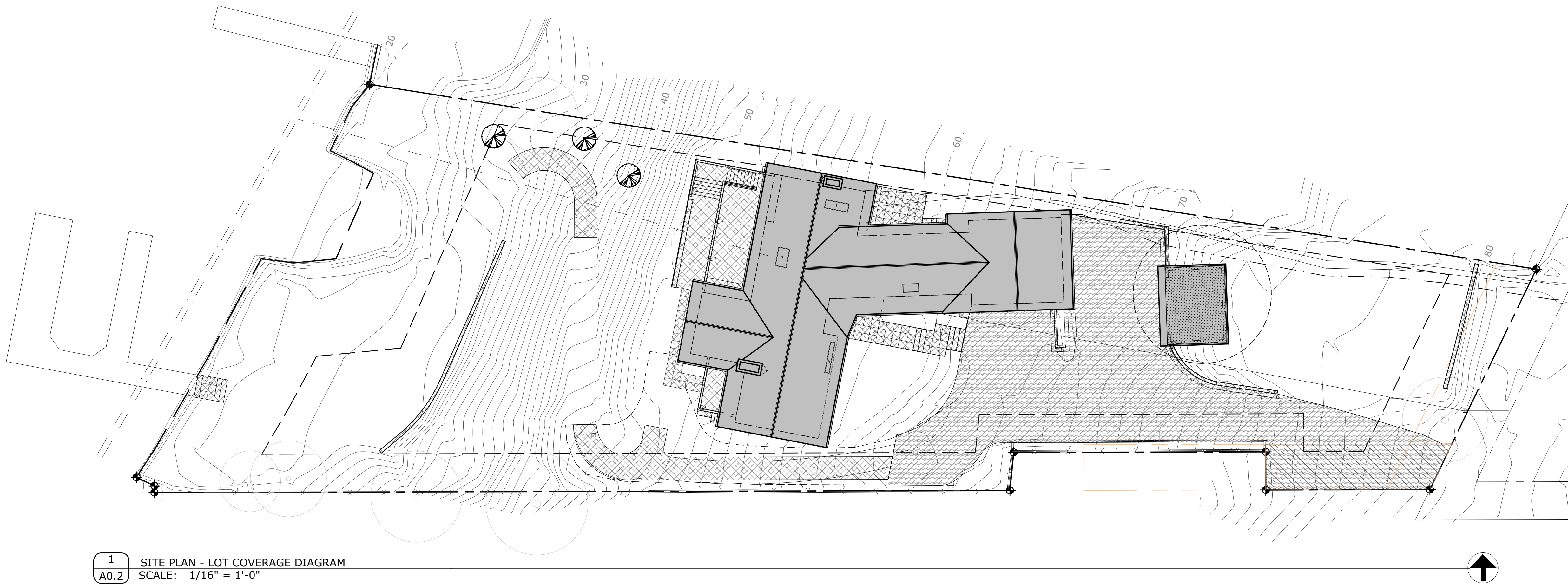


GENERAL PROJECT INFO

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A0.1

sheet number



1 SITE PLAN - LOT COVERAGE DIAGRAM
 A0.2 SCALE: 1/16" = 1'-0"

LOT COVERAGE CALCULATIONS:

LOT AREA =	26,775 SF
VEHICLE EASEMENT AREA =	(552) SF
NET LOT AREA =	26,223 SF
LOT COVERAGE CALCULATION:	
LOT SLOPE: (85'-19' / 286'-25') * 100 =	23.0%
MAX ALLOWED LOT COVERAGE (35%) =	9,178 SF
REQUIRED LANDSCAPING (65%) =	17,045 SF
EXISTING LOT COVERAGE (32.3%) =	8,468 SF
- 3,809 SF HOUSE	
- 4,659 SF DRIVING SURFACE	
PROPOSED LOT COVERAGE (28.5%) =	7,496 SF
- 3,809 SF HOUSE	
- 374 SF NEW ACCESSORY STRUCTURE	
- 3,313 SF DRIVING SURFACE	
MAX ALLOWED HARDSCAPE AREA (9.0%) =	2,360 SF
EXISTING HARDSCAPE AREA (7.6%) =	2,006 SF
- 1,319 SF PAVING	
- 503 SF DECKS & STAIRS	
- 88 SF ENTRY WALKWAY	
- 96 SF RETAINING WALL	
PERMIT 2101-202 HARDSCAPE AREA =	956 SF
- 194 SF LOWER TERRACE	
- 115 SF STAIR	
- 337 SF UPPER DECK	
- 187 SF ENTRY WALKWAY	
- 123 SF BBQ PATIO	
NEW PERMIT PROPOSED HARDSCAPE =	1,077 SF
- 99 SF LOWER PATIO WALKWAY	
- 787 SF CONCRETE PATHWAY	
- 47 SF DOCK STEPS & LANDING	
- 51 SF (E) RETAINING WALL REPLACED W/ NEW	
- 93 SF NEW RETAINING WALL	
TOTAL COMBINED NEW HARDSCAPE AREA =	2,033 SF (7.7%)

GROSS FLOOR AREA CALCULATIONS: (SEE 2/A0.2)

ZONING: R-15	
MAXIMUM GROSS FLOOR AREA:	10,710 SF (40%)
EXISTING GROSS FLOOR AREA:	3,710 SF (14.1%)
- 885 SF BASEMENT	
- 2,825 SF MAIN FLOOR	
PROPOSED GROSS FLOOR AREA:	4,105 SF (15.3%)
- 936 SF BASEMENT	
- 2,862 SF MAIN FLOOR	
- 307 SF ACCESSORY STRUCTURE	
TOTAL NET NEW DEVELOPMENT (PERMIT 2101-202 + NEW PERMIT) (GFA, LOT COVERAGE & HARDSCAPE):	489 SF*
- 374 SF NEW LOT COVERAGE	
- 88 SF NEW GFA	
- 2,033 SF NEW HARDSCAPE	
- (2,006) SF (E) HARDSCAPE REMOVED	
* NET NEW DEVELOPMENT AREA < 500 SF DOES NOT REQUIRE SHORELINE NATIVE VEGETATION PLANTING PER MICC 19.13.050(K)(4)	
TOTAL STRUCTURAL WALL ALTERATION CALCULATION: (SEE 3/A0.2)	
LF OF EXISTING EXTERIOR WALL =	547.41 LF
LF OF EXTERIOR WALL BEING ALTERED =	35.83 LF
TOTAL % OF EXTERIOR WALL ALTERATION =	6.54%

CONRAD ROMANO ARCHITECTS
 514 - 28th Avenue East
 Seattle, Washington 98112
 206 329 4227
 www.conradromano.com
VANDERWALL RESIDENCE
 7179 HOLLY HILL DRIVE
 MERCER ISLAND, WA 98040

7046 REGISTERED ARCHITECT
 JAMES PATRICK ROMANO
 STATE OF WASHINGTON

stamp

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 Project ID: VAND
 Drawn: EV
 Checked: JR

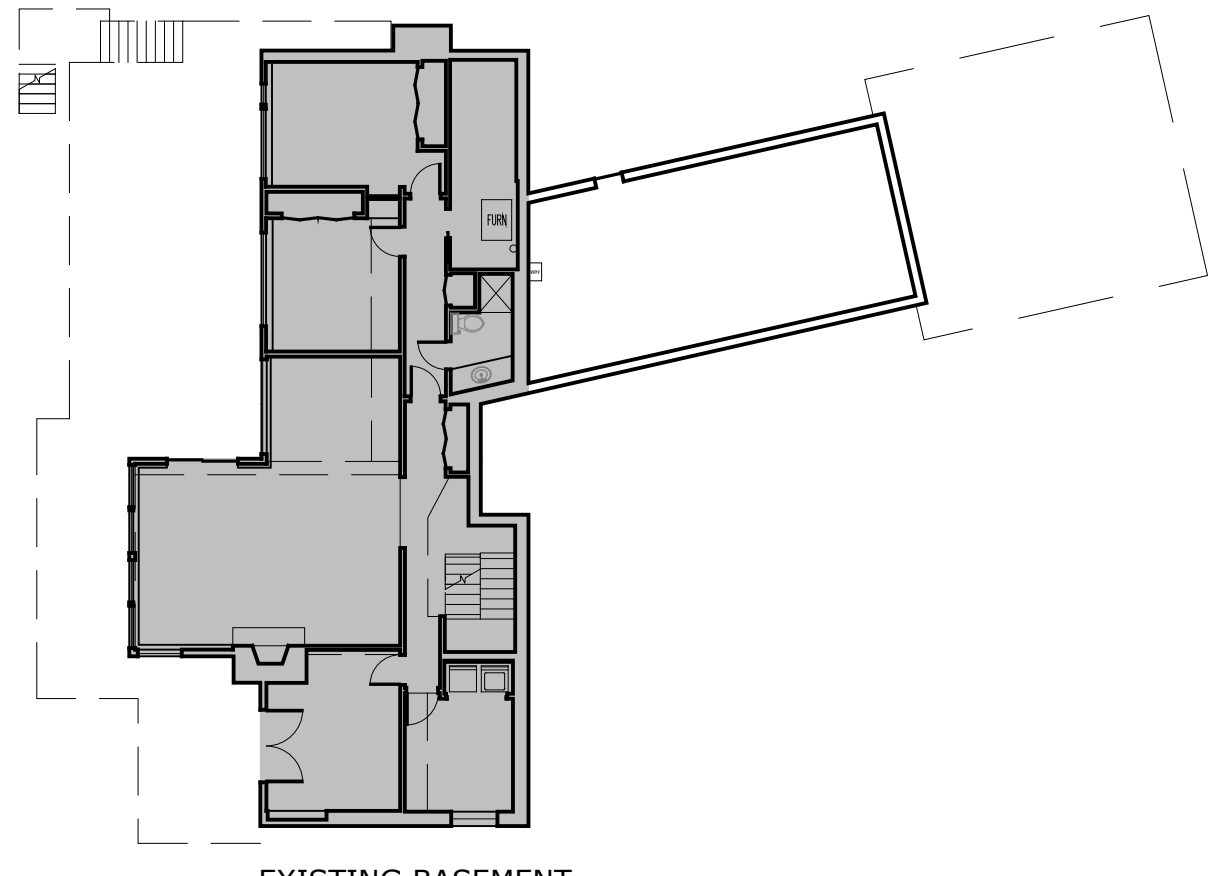
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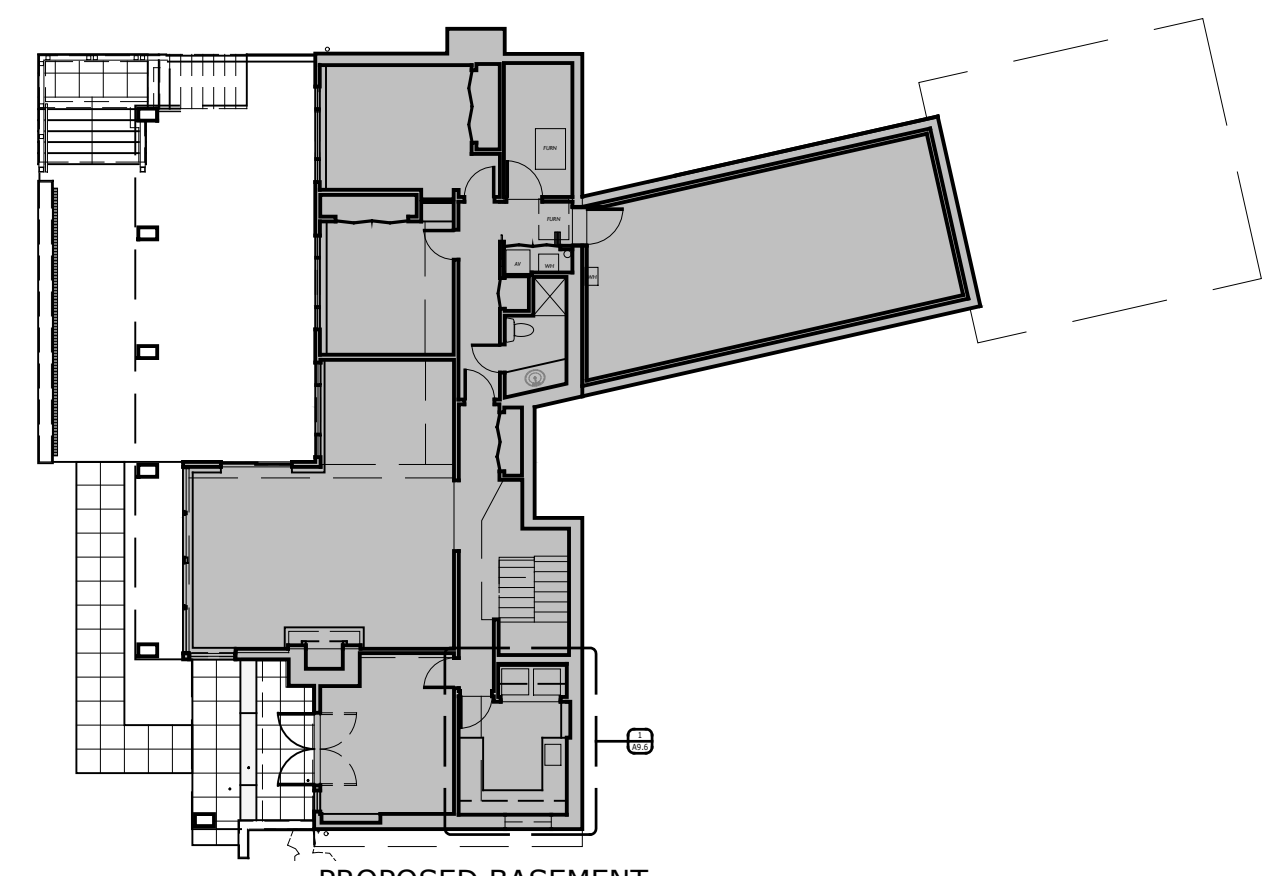
LAND USE CALCS

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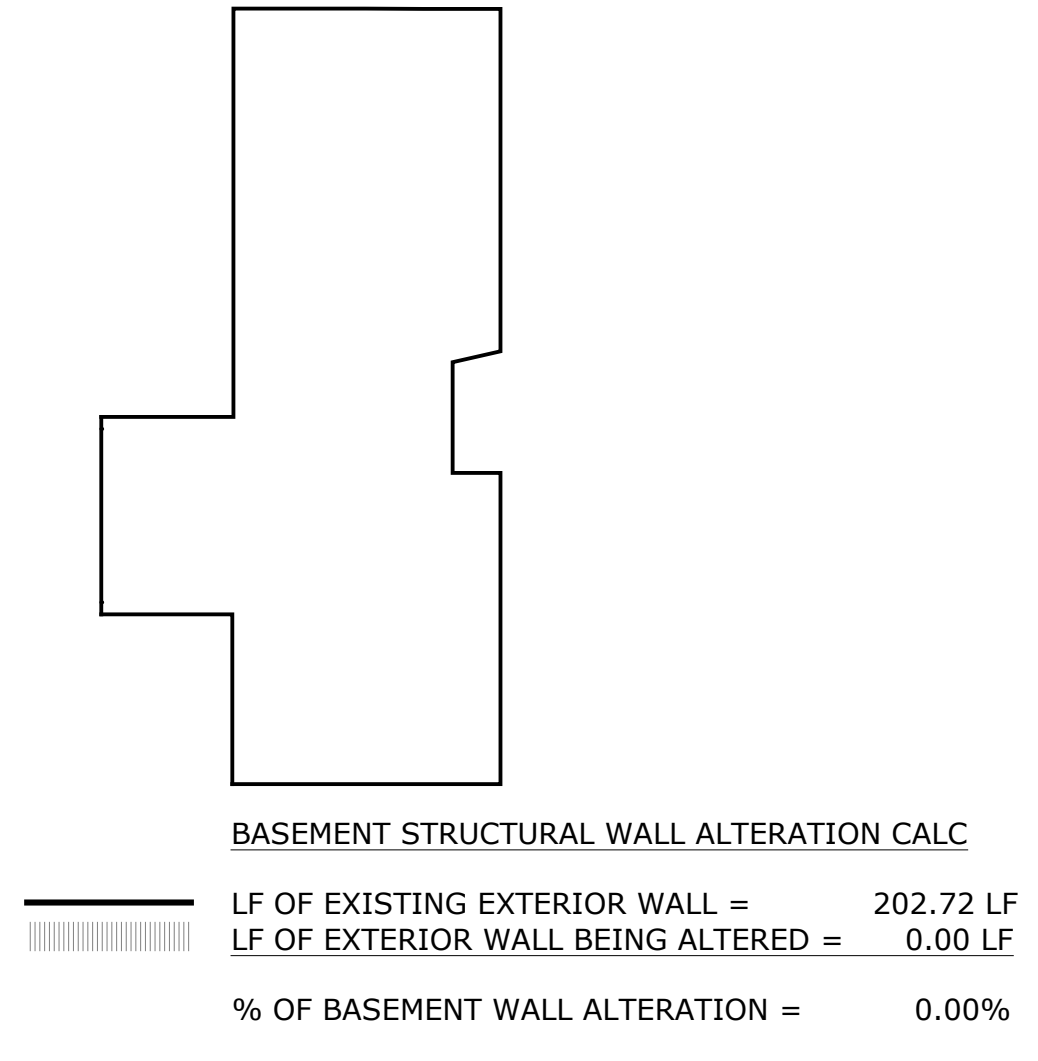
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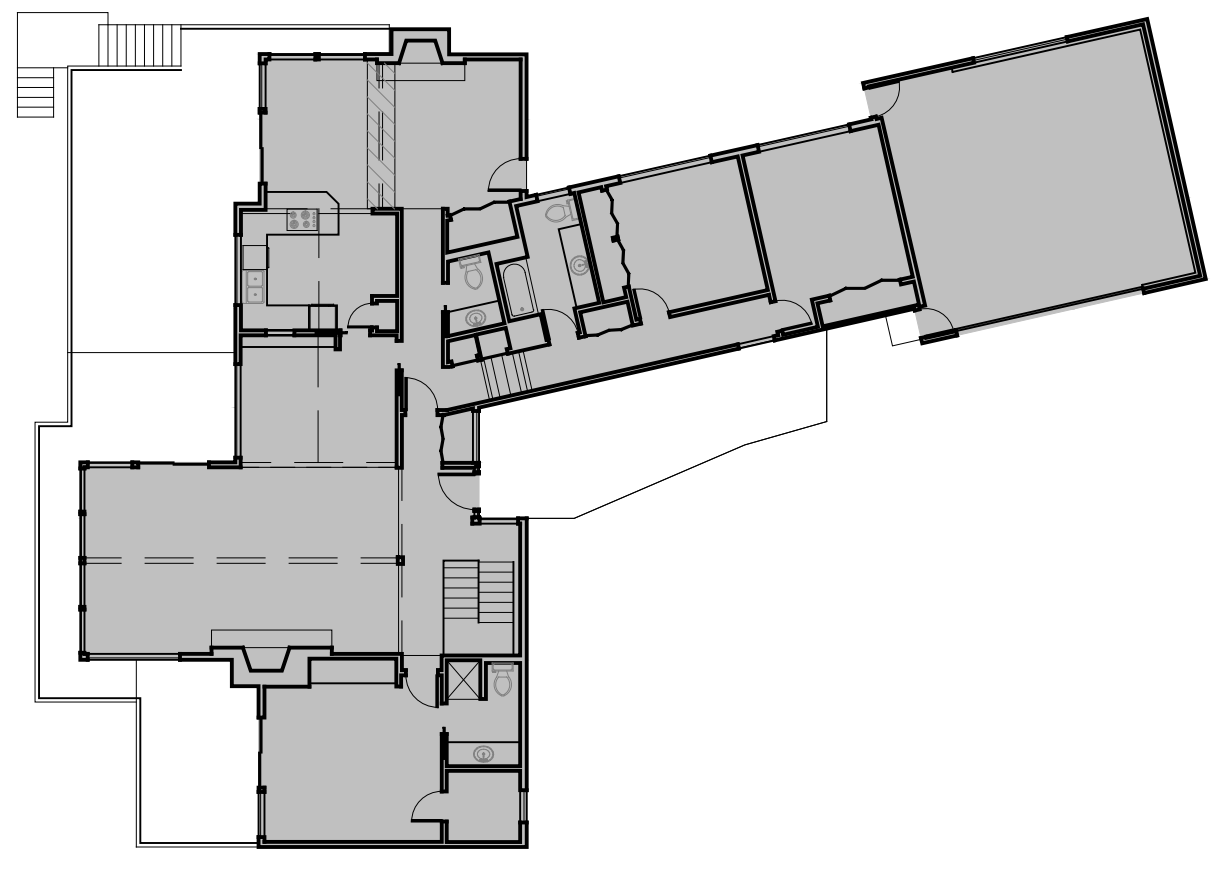
EXISTING BASEMENT
 (E) AREA BOUND BY EXTERIOR FACE = 1,596 SF
 AREA EXCLUDED PER APPENDIX B = (711) SF
 (E) BASEMENT GROSS FLOOR AREA = 885 SF



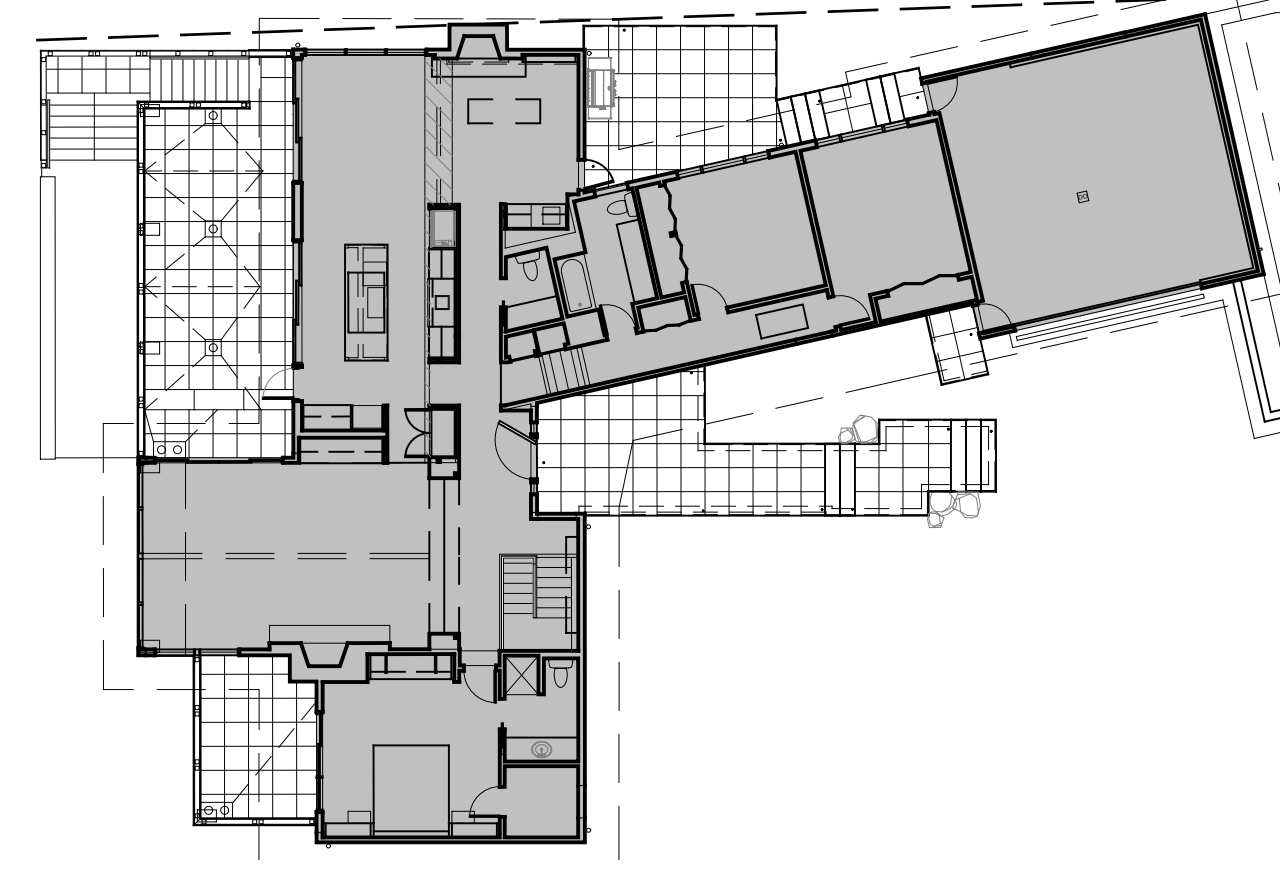
PROPOSED BASEMENT
 PROPOSED AREA BOUND BY EXTERIOR FACE = 2,118 SF
 AREA EXCLUDED PER APPENDIX B = (1,182) SF
 PROPOSED BASEMENT GROSS FLOOR AREA = 936 SF



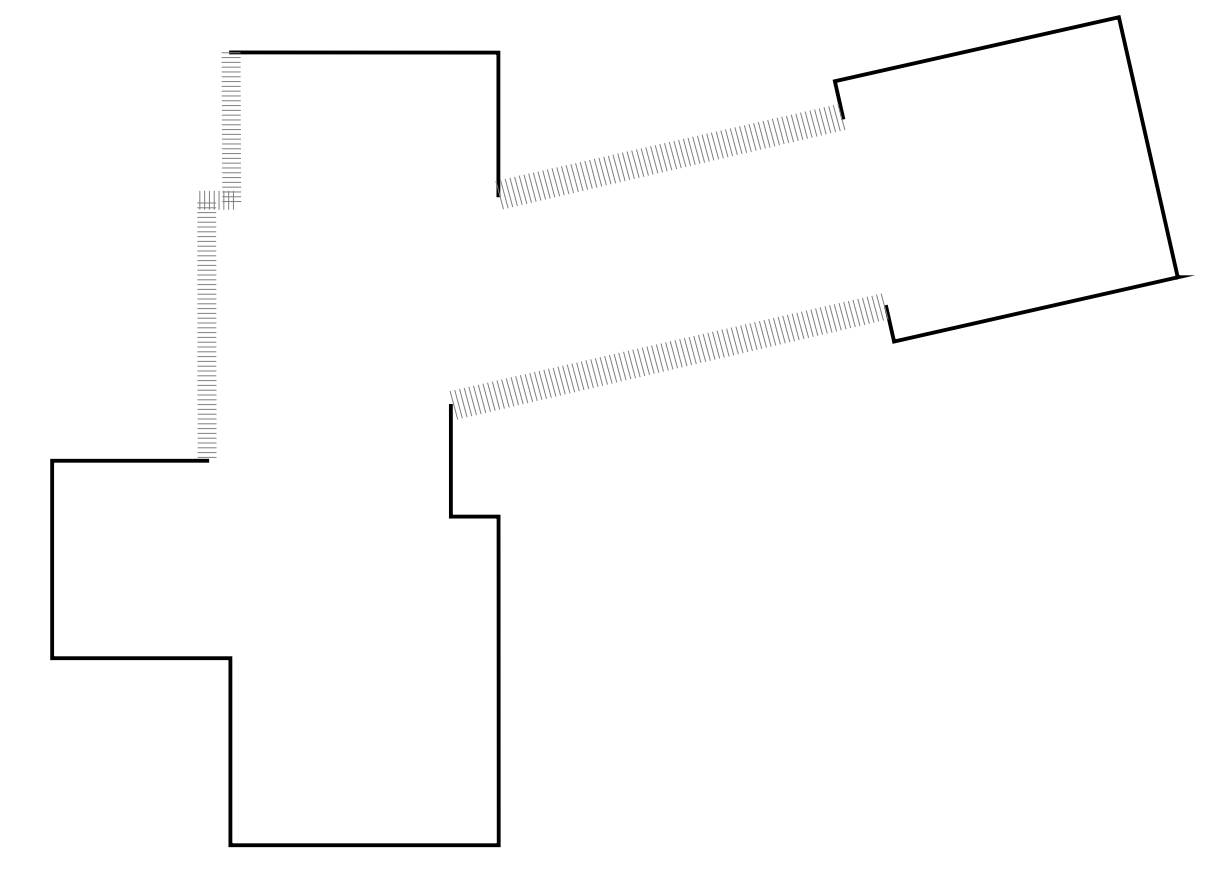
BASEMENT STRUCTURAL WALL ALTERATION CALC
 LF OF EXISTING EXTERIOR WALL = 202.72 LF
 LF OF EXTERIOR WALL BEING ALTERED = 0.00 LF
 % OF BASEMENT WALL ALTERATION = 0.00%



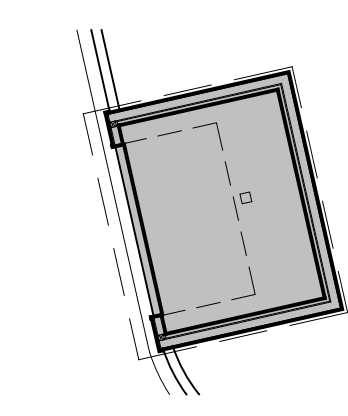
EXISTING MAIN FLOOR
 (E) AREA BOUND BY EXTERIOR FACE = 2,783 SF
 150% AREA FOR 12'-16'CLNG = 42 SF
 (E) MAIN FLOOR GROSS FLOOR AREA = 2,825 SF



PROPOSED MAIN FLOOR
 PROPOSED AREA BOUND BY EXTERIOR FACE = 2,808 SF
 150% AREA FOR 12'-16'CLNG = 54 SF
 PROPOSED MAIN FLOOR GROSS FLOOR AREA = 2,862 SF



MAIN FLOOR STRUCTURAL WALL ALTERATION CALC
 LF OF EXISTING EXTERIOR WALL = 336.41 LF
 LF OF EXTERIOR WALL BEING ALTERED = 102.33 LF
 % OF MAIN FLOOR WALL ALTERATION = 30.4%



PROPOSED DETACHED ACCESSORY STRUCTURE
 PROPOSED AREA BOUND BY EXTERIOR FACE = 307 SF
 PROPOSED ACCESSORY STRUCTURE GFA = 307 SF

2 GROSS FLOOR AREA CALCULATIONS
 A0.2 SCALE: 1/16" = 1'-0"

3 STRUCTURAL WALL ALTERATION CALCULATION
 A0.2 SCALE: 1/16" = 1'-0"

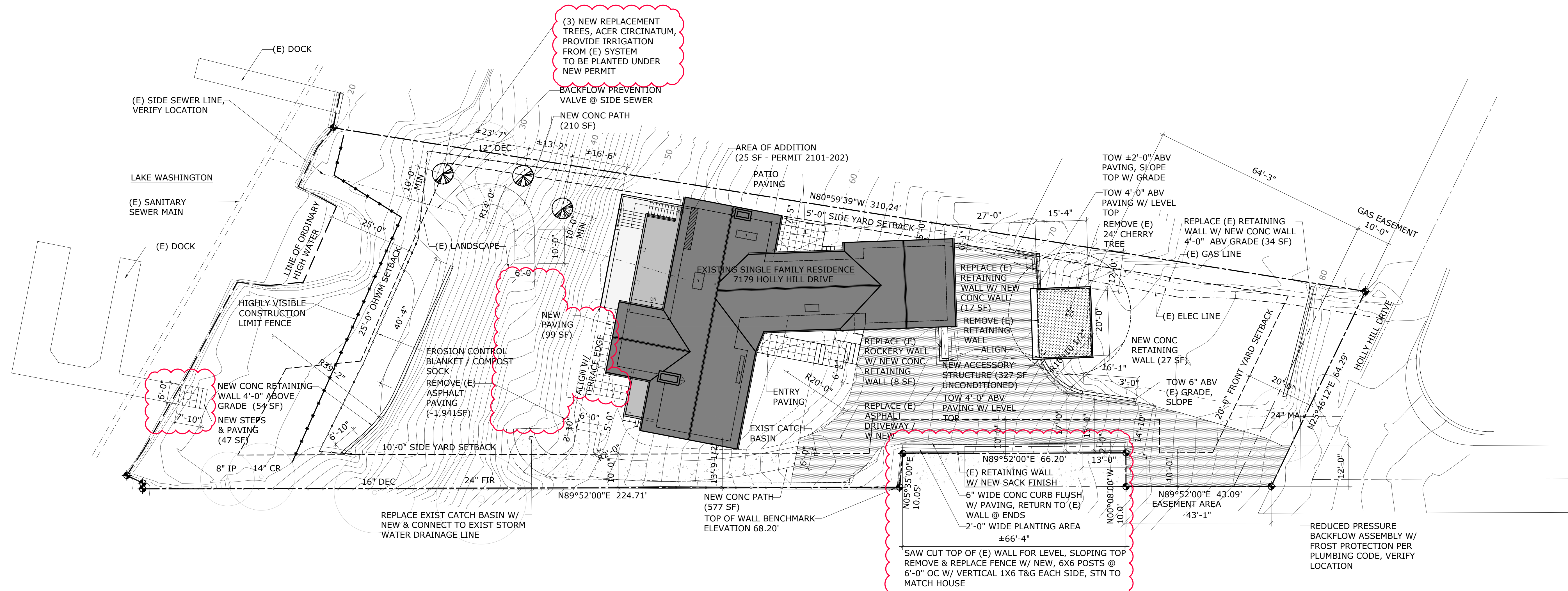
4 ACCESSORY STRUCTURE GFA CALCULATION
 A0.2 SCALE: 1/16" = 1'-0"

SITE INFORMATION

ASSESSOR'S PARCEL NUMBER: 252404-9049

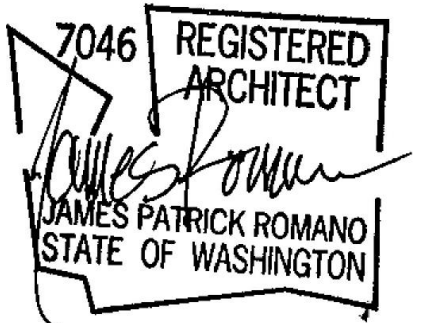
LEGAL DESCRIPTION:

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1 SITE PLAN
A1.1 SCALE: 1/16" = 1'-0"

REPLACEMENT TREE LEGEND	
REPLACEMENT TREE SPECIES	QUANTITY
- ACER CIRCINATUM (VINE MAPLE)	3

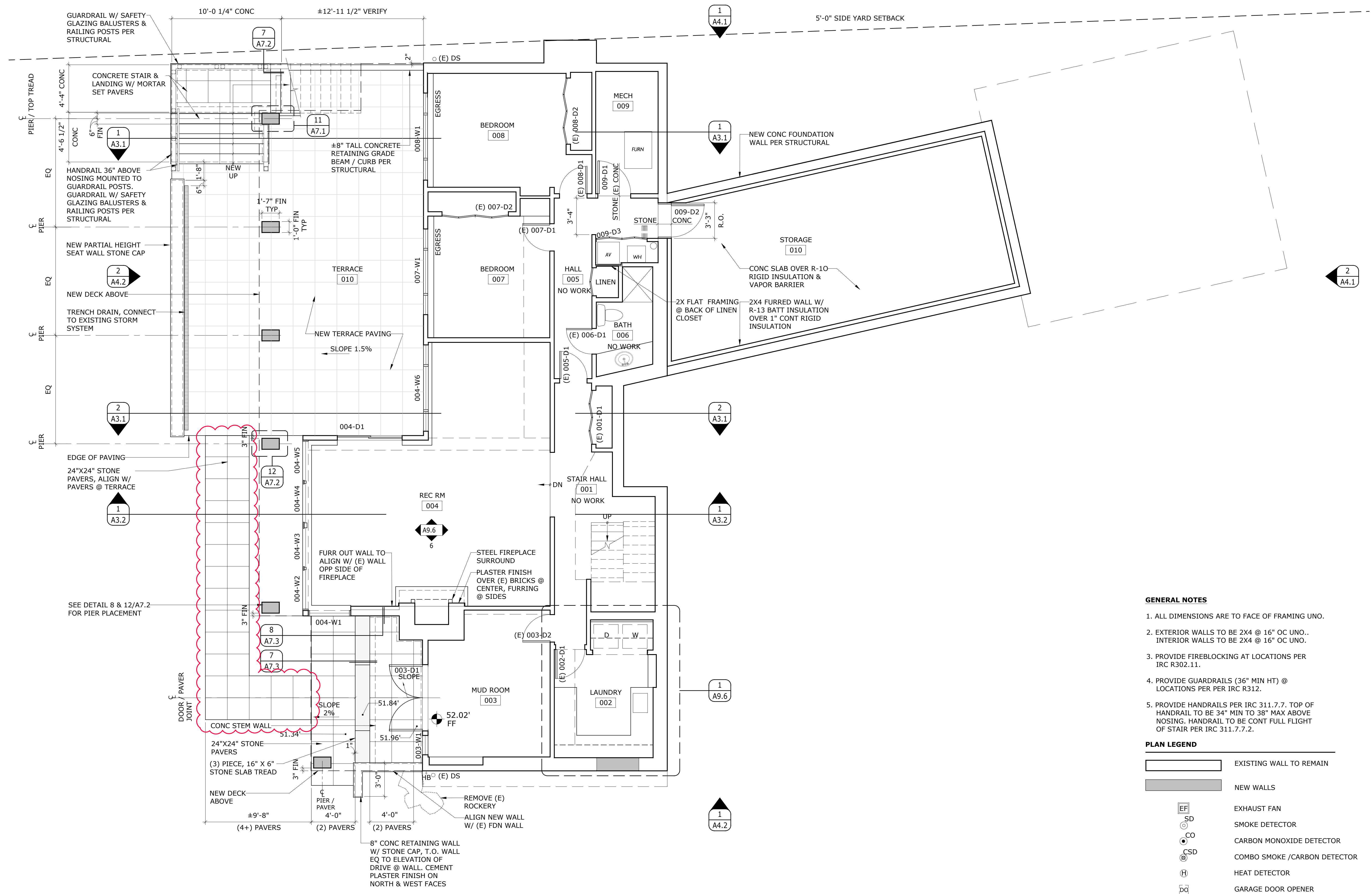


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Project ID: VAND		
Drawn: EV		
Checked: JR		
mark	date	issue description
	9/5/24	BUILDING PERMIT
Issue For: PERMIT		
sheet info		

ARCH SITE PLAN

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A1.1

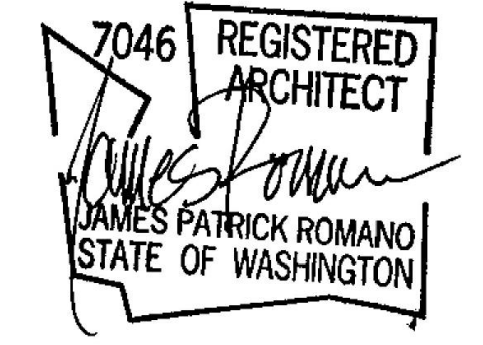


GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF FRAMING UNO.
2. EXTERIOR WALLS TO BE 2X4 @ 16" OC UNO.. INTERIOR WALLS TO BE 2X4 @ 16" OC UNO.
3. PROVIDE FIREBLOCKING AT LOCATIONS PER IRC R302.11.
4. PROVIDE GUARDRAILS (36" MIN HT) @ LOCATIONS PER PER IRC R312.
5. PROVIDE HANDRAILS PER IRC 311.7.7. TOP OF HANDRAIL TO BE 34" MIN TO 38" MAX ABOVE NOSING. HANDRAIL TO BE CONT FULL FLIGHT OF STAIR PER IRC 311.7.7.2.

PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WALLS
- EXHAUST FAN
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- COMBO SMOKE /CARBON DETECTOR
- HEAT DETECTOR
- GARAGE DOOR OPENER



stamp

File Name: VAND A2.0 Floor Plans
Plot Date: 9/5/24
Project ID: VAND
Drawn: EV
Checked: JR

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	9/5/24	BUILDING PERMIT

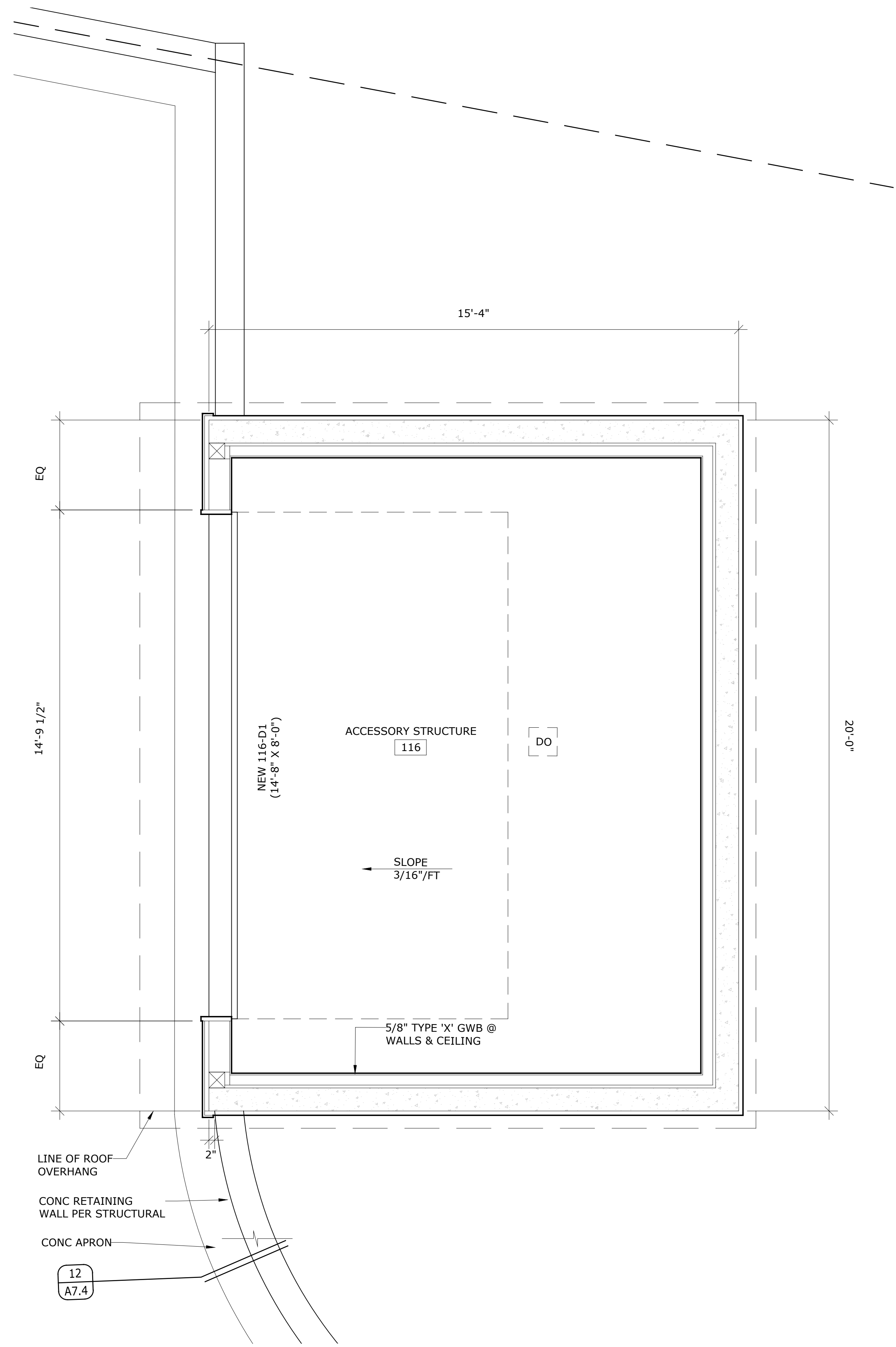
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LOWER FLOOR PLAN

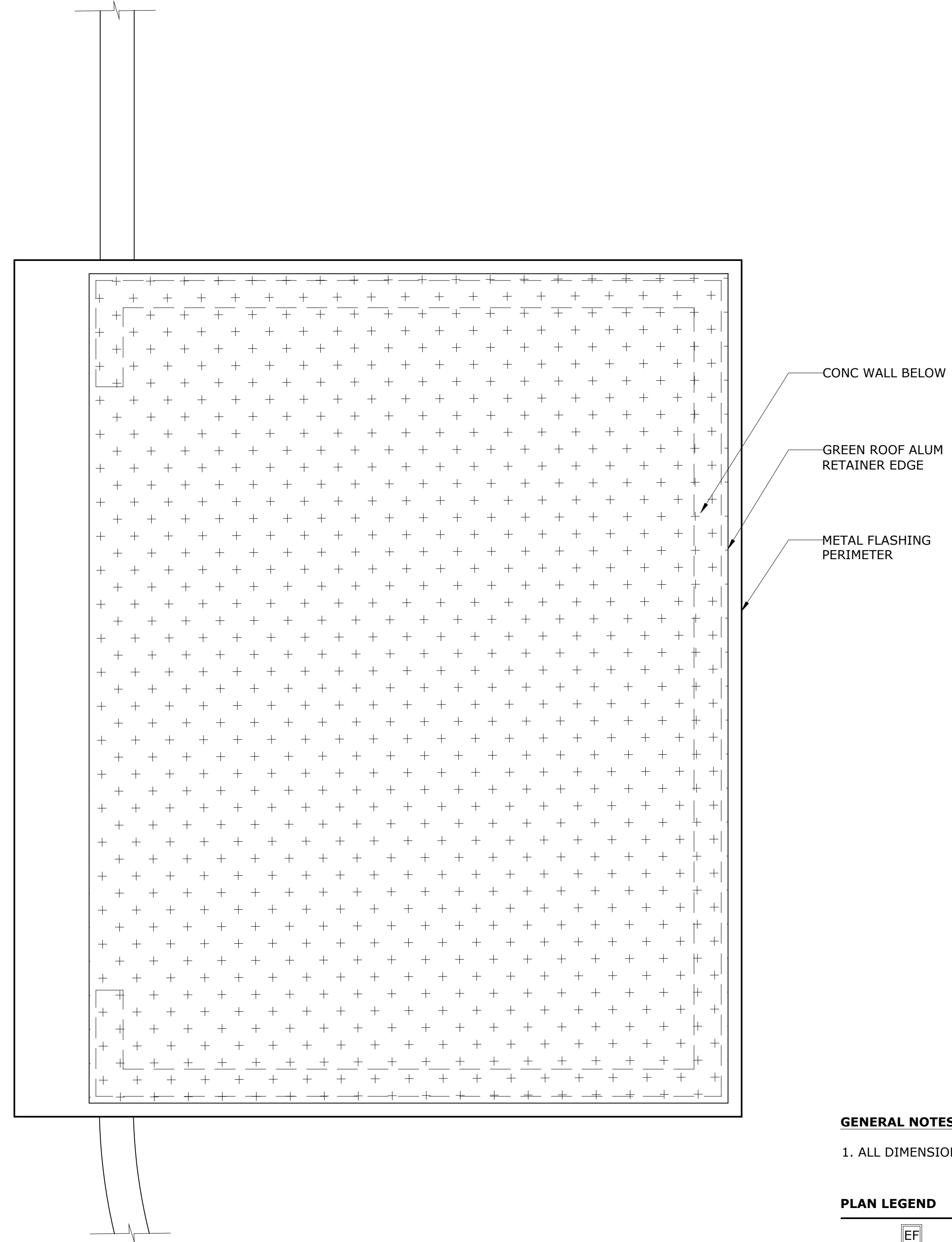
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A2.1

1 LOWER FLOOR PLAN
A2.1 SCALE: 1/4" = 1'-0"



1 ACCESSORY STRUCTURE FLOOR PLAN
A2.4 SCALE: 1/2" = 1'-0"



2 ACCESSORY STRUCTURE ROOF PLAN
A2.4 SCALE: 1/2" = 1'-0"

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF CONCRETE

PLAN LEGEND

- EF EXHAUST FAN
- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- CSD COMBO SMOKE /CARBON DETECTOR
- H HEAT DETECTOR
- DO GARAGE DOOR OPENER

ACCESSORY STRUCTURE PLANS

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A2.4

sheet number

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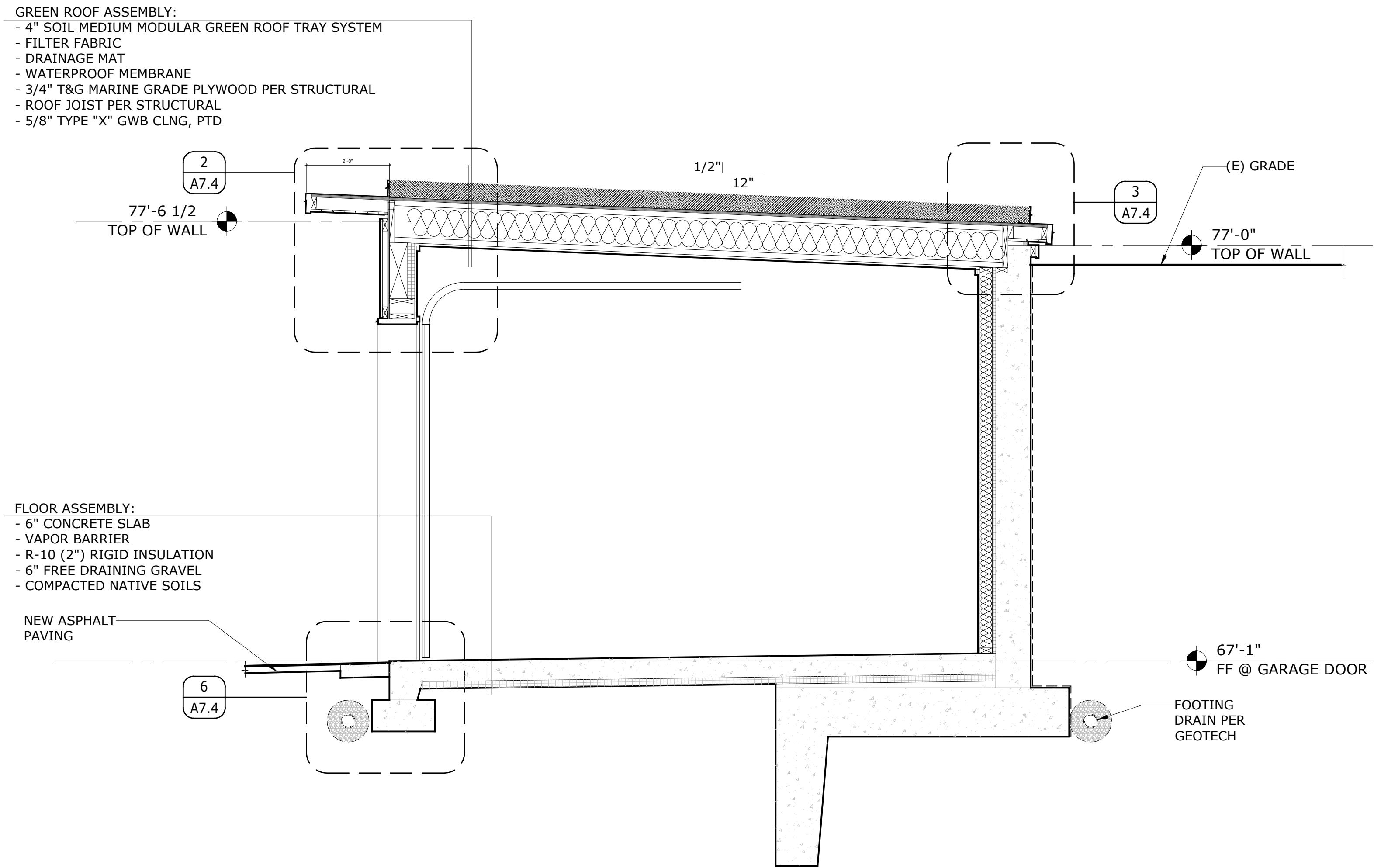
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Project ID: VAND
Drawn: EV
Checked: EV

mark	date	issue description
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Issue For: PERMIT

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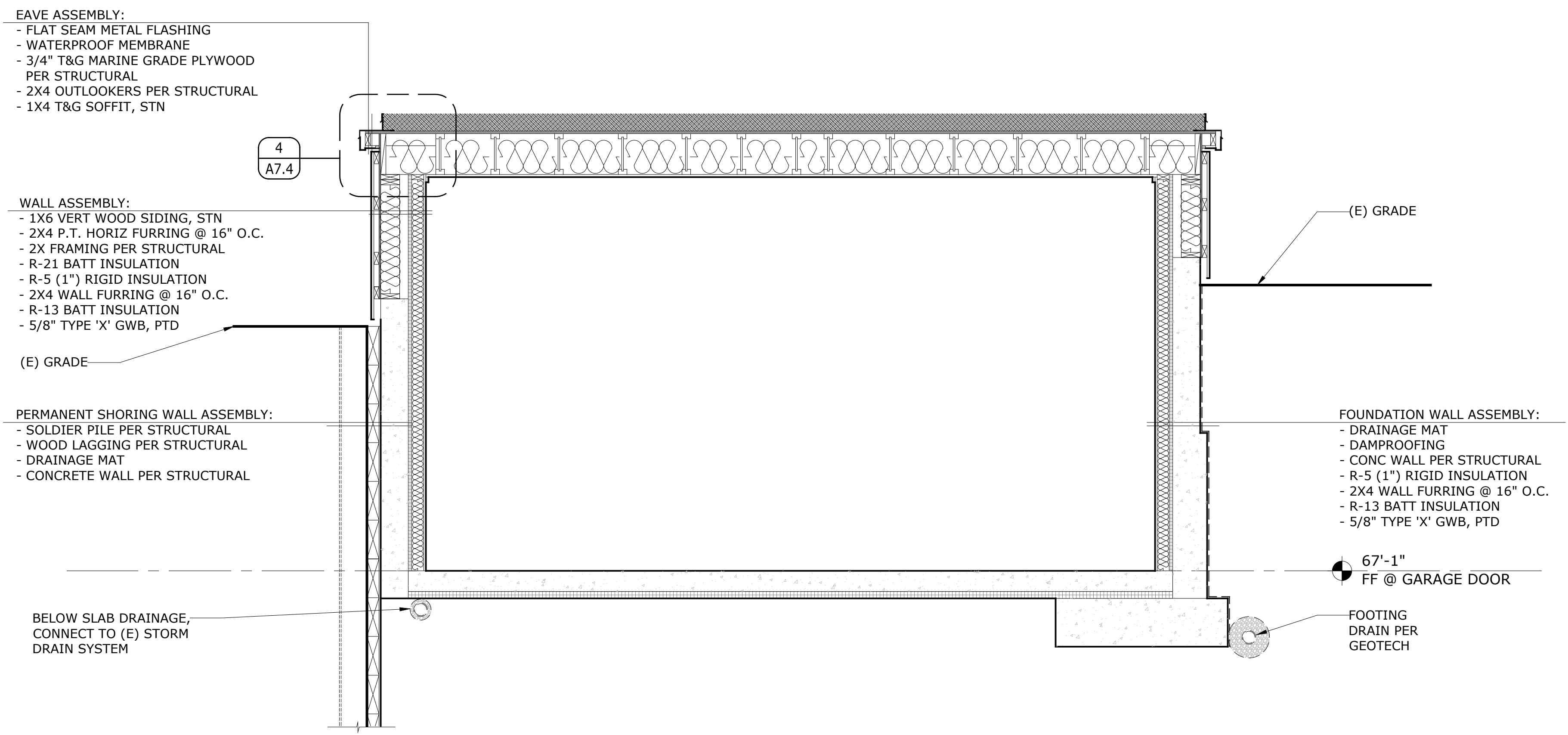


- GREEN ROOF ASSEMBLY:**
- 4" SOIL MEDIUM MODULAR GREEN ROOF TRAY SYSTEM
 - FILTER FABRIC
 - DRAINAGE MAT
 - WATERPROOF MEMBRANE
 - 3/4" T&G MARINE GRADE PLYWOOD PER STRUCTURAL
 - ROOF JOIST PER STRUCTURAL
 - 5/8" TYPE "X" GWB CLNG, PTD

- FLOOR ASSEMBLY:**
- 6" CONCRETE SLAB
 - VAPOR BARRIER
 - R-10 (2") RIGID INSULATION
 - 6" FREE DRAINING GRAVEL
 - COMPACTED NATIVE SOILS

NEW ASPHALT PAVING

1 BUILDING SECTION
A3.3 SCALE: 1/2" = 1'-0"



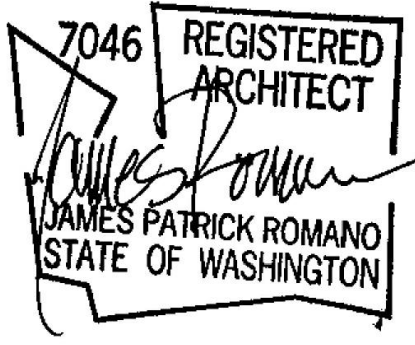
- EAVE ASSEMBLY:**
- FLAT SEAM METAL FLASHING
 - WATERPROOF MEMBRANE
 - 3/4" T&G MARINE GRADE PLYWOOD PER STRUCTURAL
 - 2X4 OUTLOOKERS PER STRUCTURAL
 - 1X4 T&G SOFFIT, STN

- WALL ASSEMBLY:**
- 1X6 VERT WOOD SIDING, STN
 - 2X4 P.T. HORIZ FURRING @ 16" O.C.
 - 2X FRAMING PER STRUCTURAL
 - R-21 BATT INSULATION
 - R-5 (1") RIGID INSULATION
 - 2X4 WALL FURRING @ 16" O.C.
 - R-13 BATT INSULATION
 - 5/8" TYPE 'X' GWB, PTD

- PERMANENT SHORING WALL ASSEMBLY:**
- SOLDIER PILE PER STRUCTURAL
 - WOOD LAGGING PER STRUCTURAL
 - DRAINAGE MAT
 - CONCRETE WALL PER STRUCTURAL

- FOUNDATION WALL ASSEMBLY:**
- DRAINAGE MAT
 - DAMPROOFING
 - CONC WALL PER STRUCTURAL
 - R-5 (1") RIGID INSULATION
 - 2X4 WALL FURRING @ 16" O.C.
 - R-13 BATT INSULATION
 - 5/8" TYPE 'X' GWB, PTD

2 BUILDING SECTION
A3.3 SCALE: 1/2" = 1'-0"



stamp

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Checked: JR

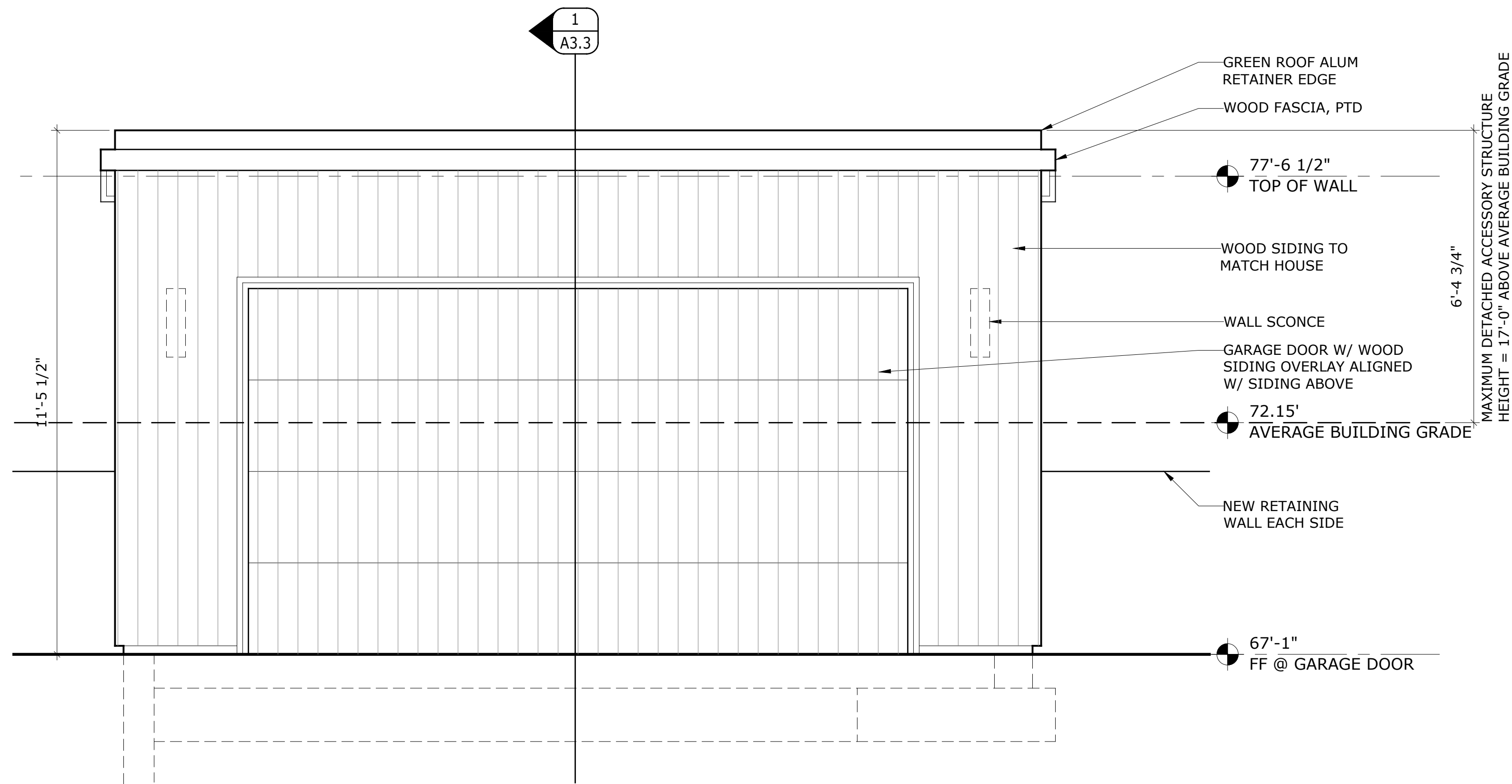
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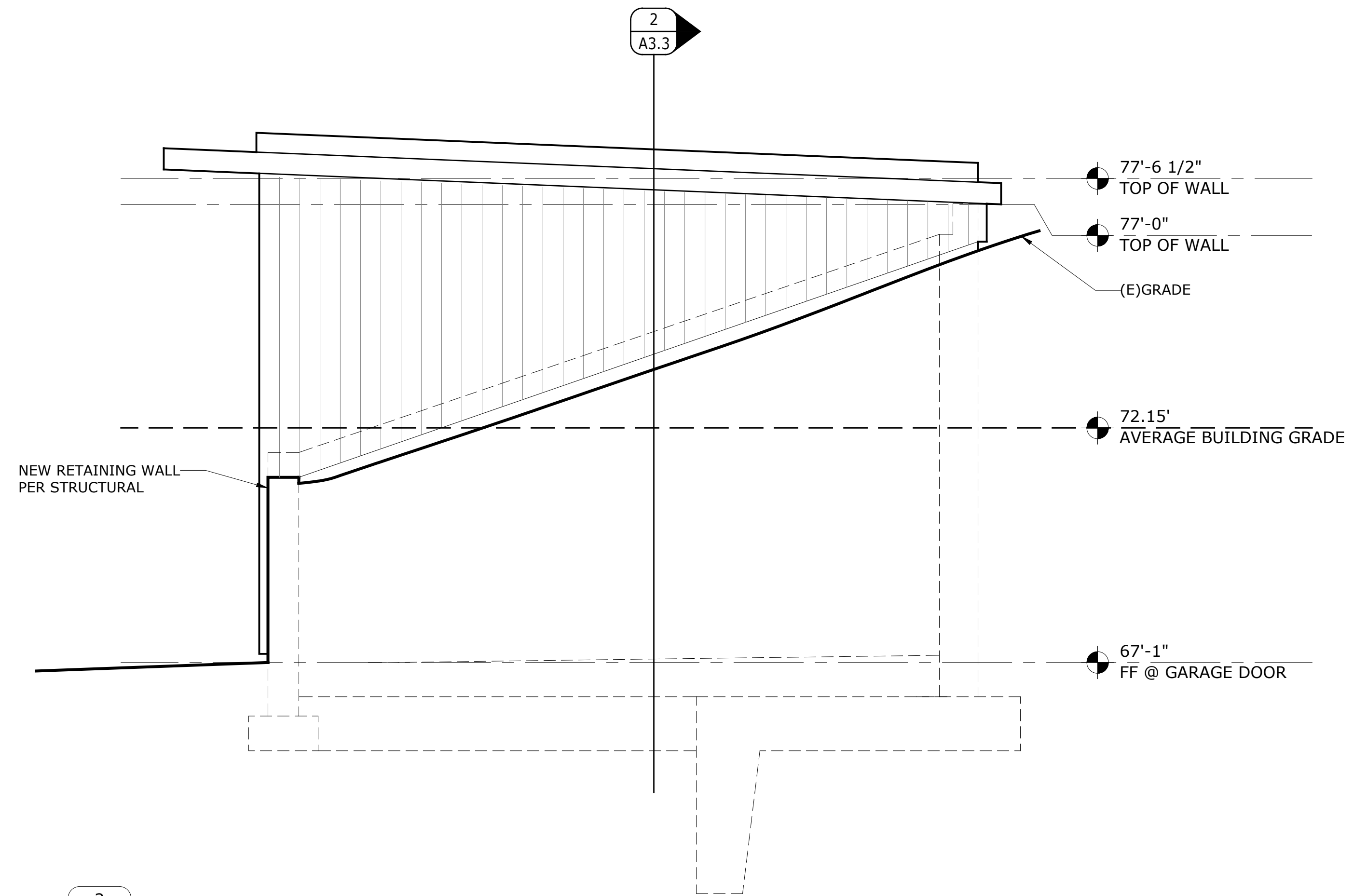
BUILDING SECTION

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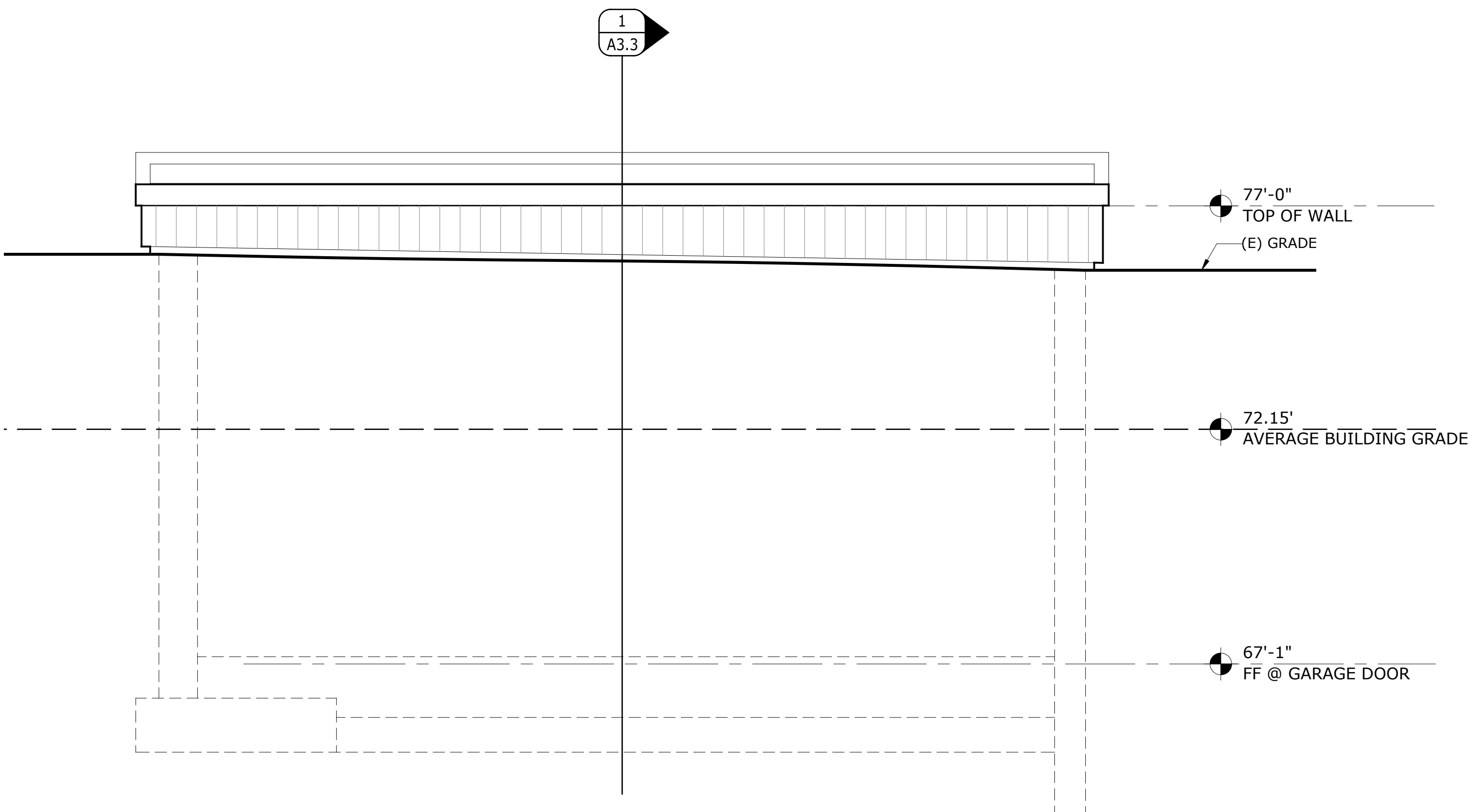
A3.3



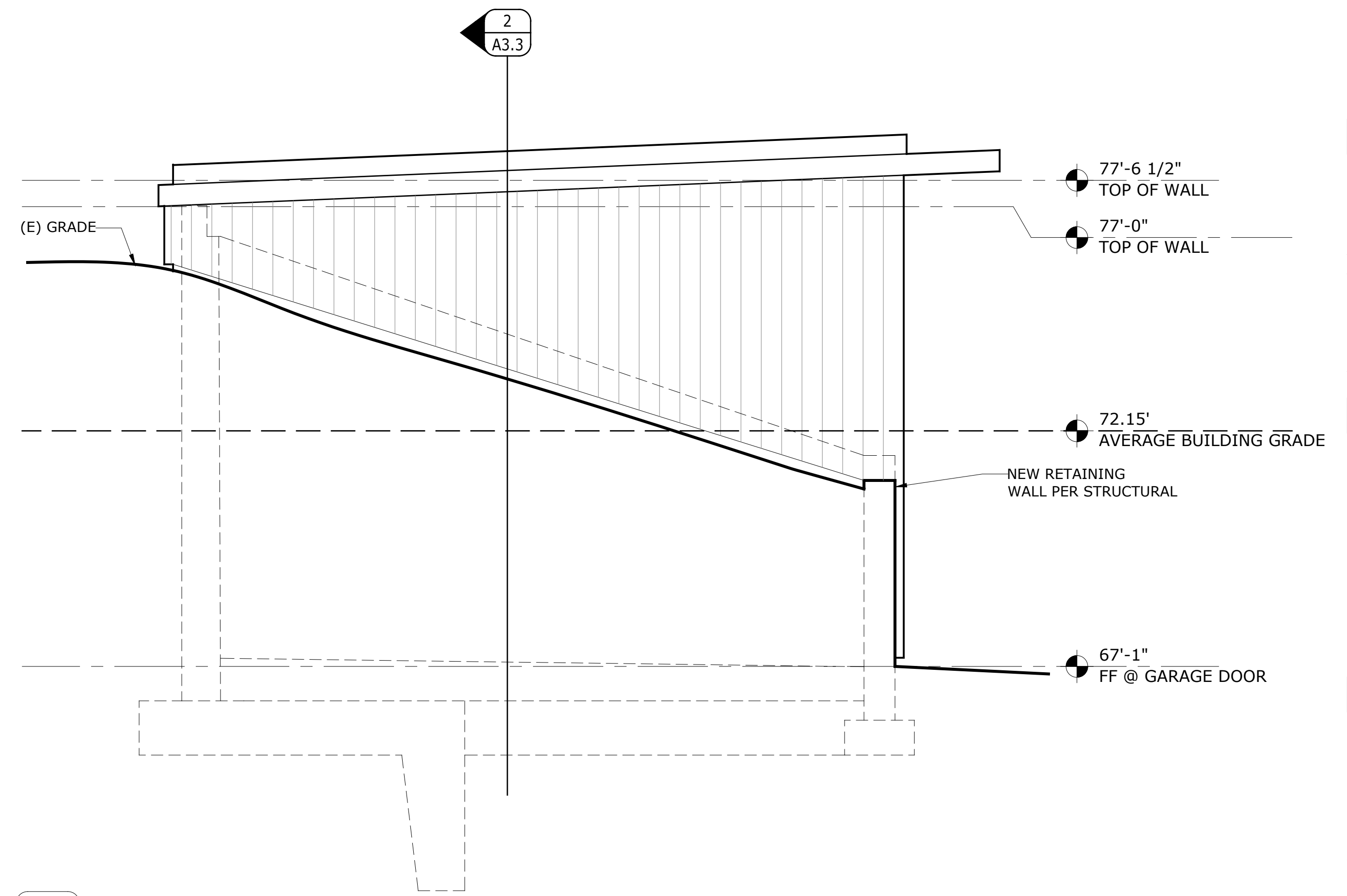
1 WEST ELEVATION
A4.3 SCALE: 1/2" = 1'-0"



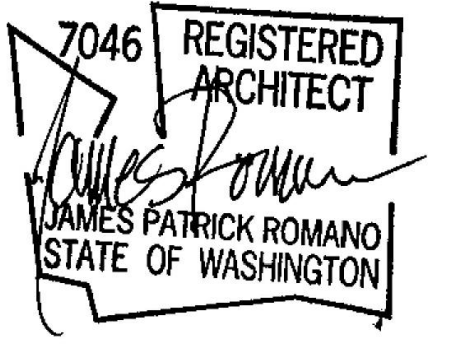
2 SOUTH ELEVATION
A4.3 SCALE: 1/2" = 1'-0"



3 EAST ELEVATION
A4.3 SCALE: 1/2" = 1'-0"



4 NORTH ELEVATION
A4.3 SCALE: 1/2" = 1'-0"



stamp

File Name: VAND A4.0 Ext. Elevations
Plot Date: 9/5/24
Project ID: VAND
Drawn: EV
Checked: JR

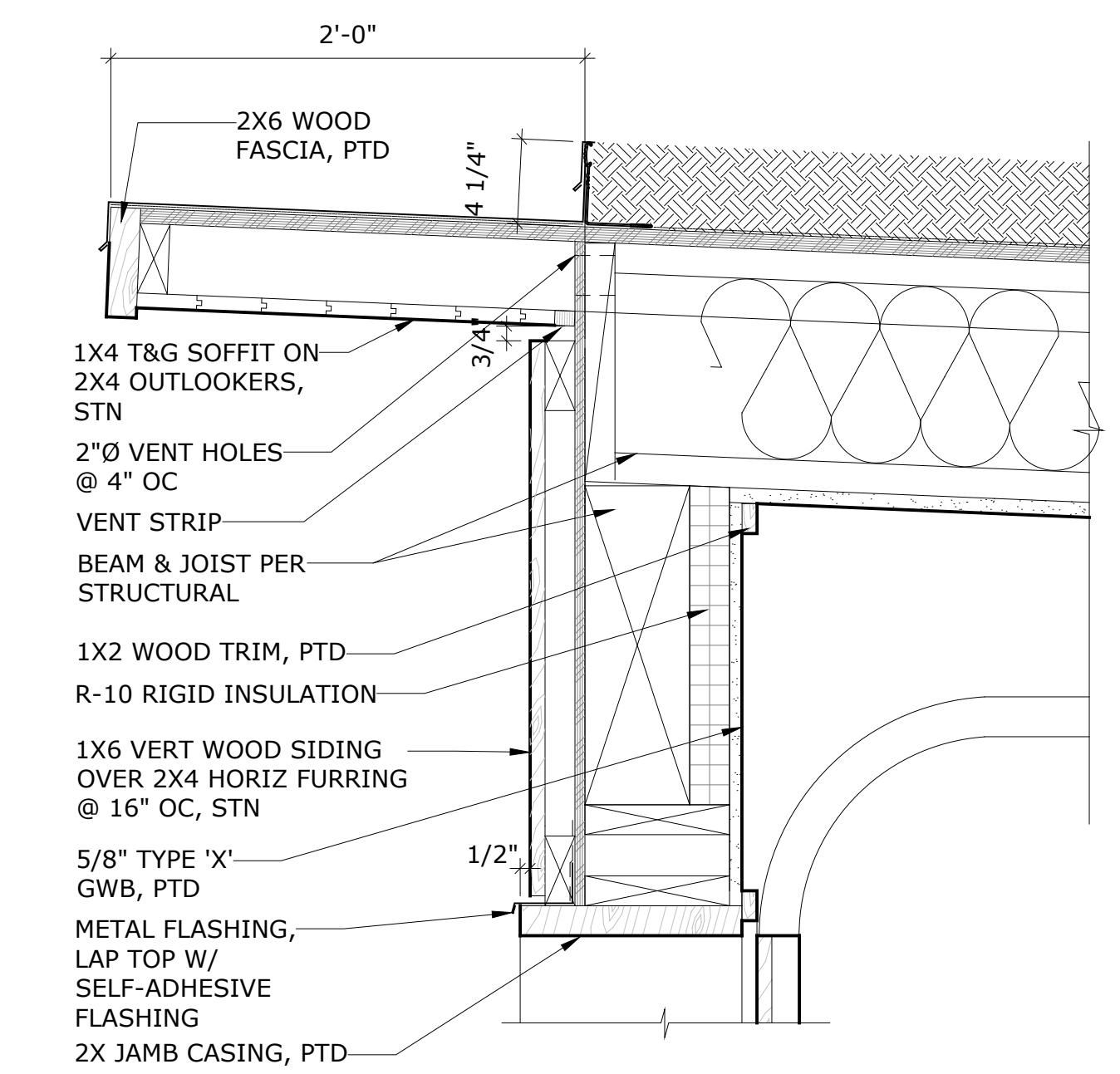
mark	date	issue description
	9/5/24	BUILDING PERMIT

Issue For: PERMIT
sheet info

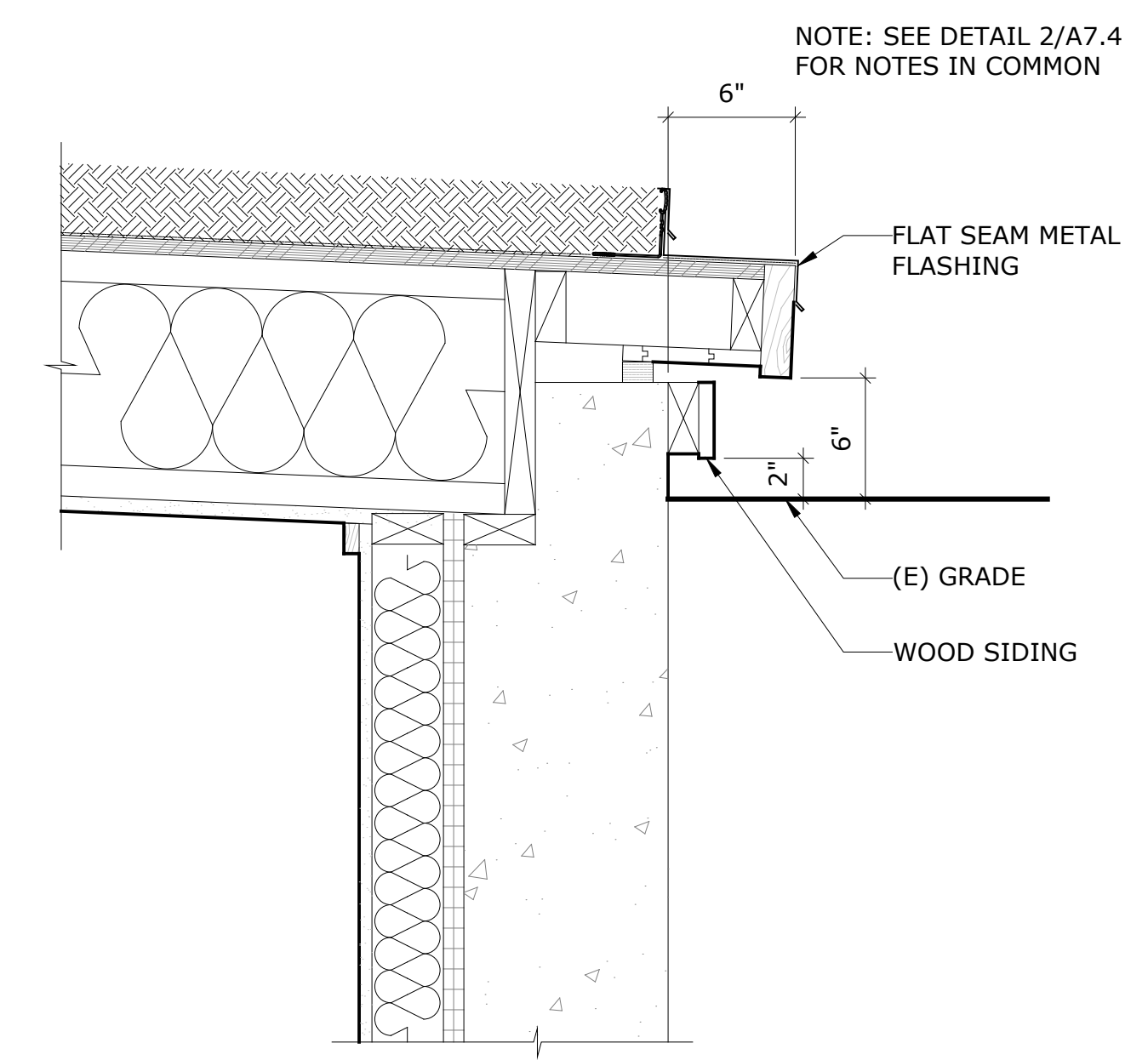
EXTERIOR ELEVATIONS

if scale is not 1", this drawing has been enlarged or reduced
sheet title

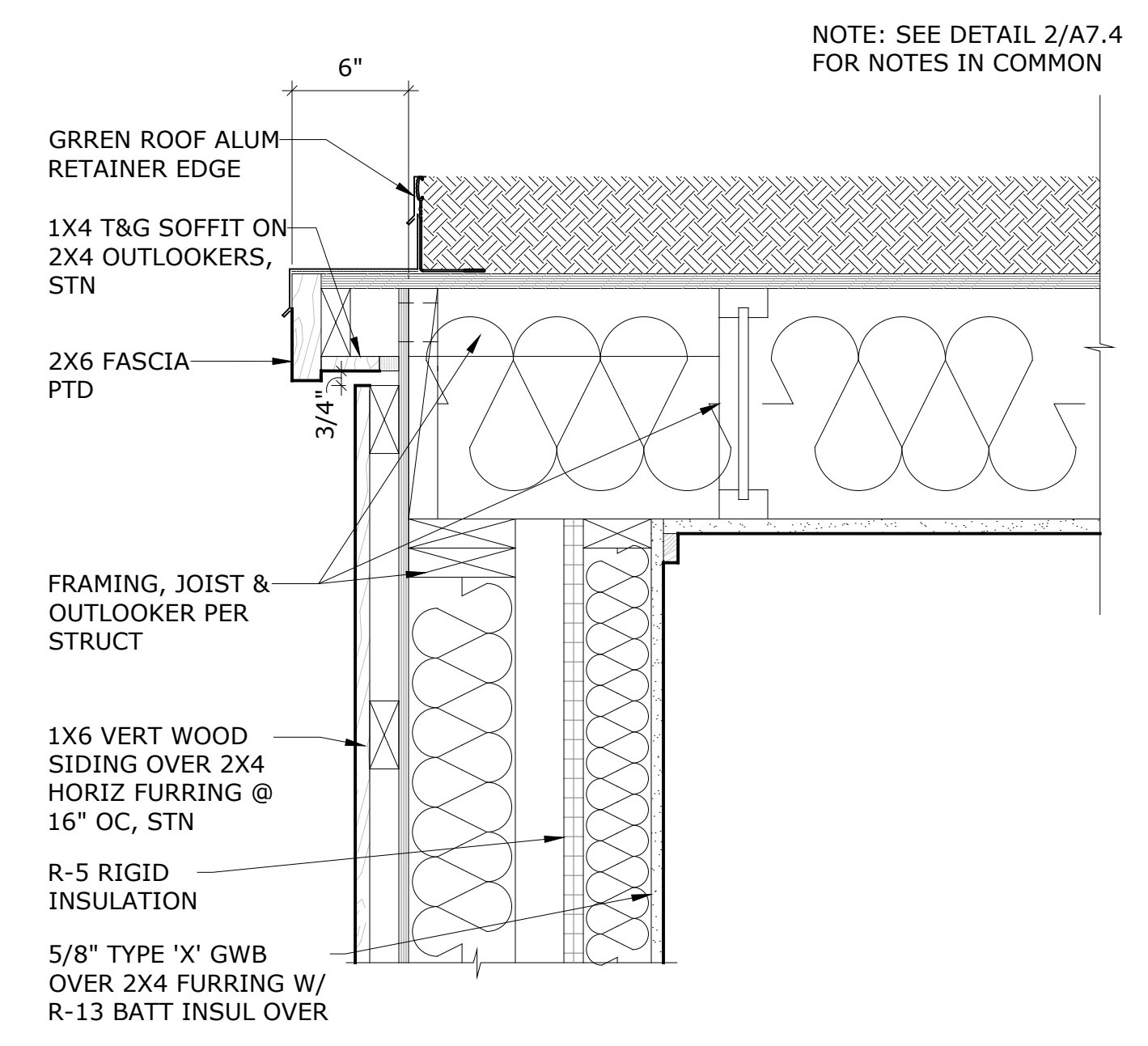
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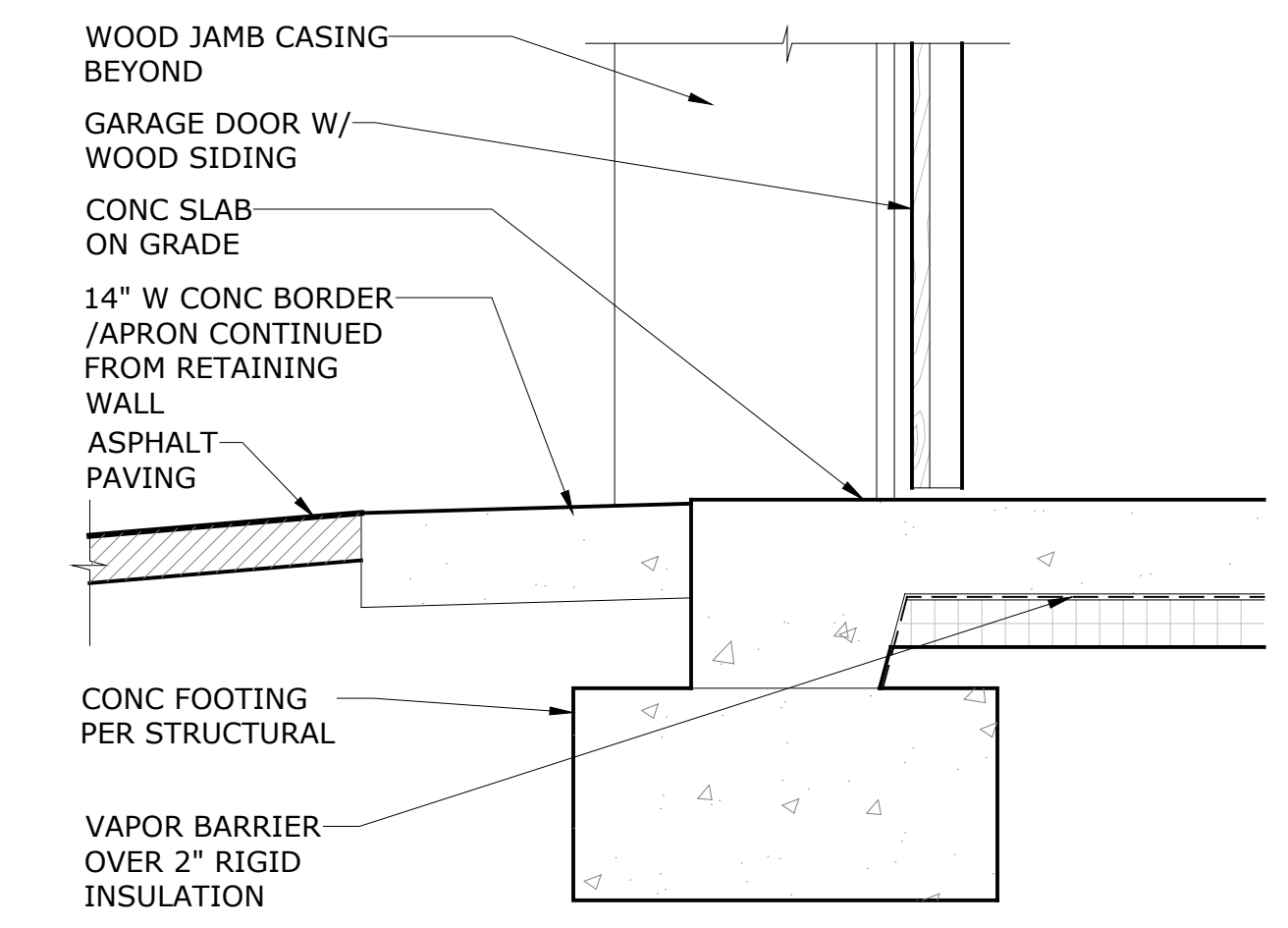
2 ROOF EAVE DETAIL
 A7.4 1 1/2" = 1'-0"



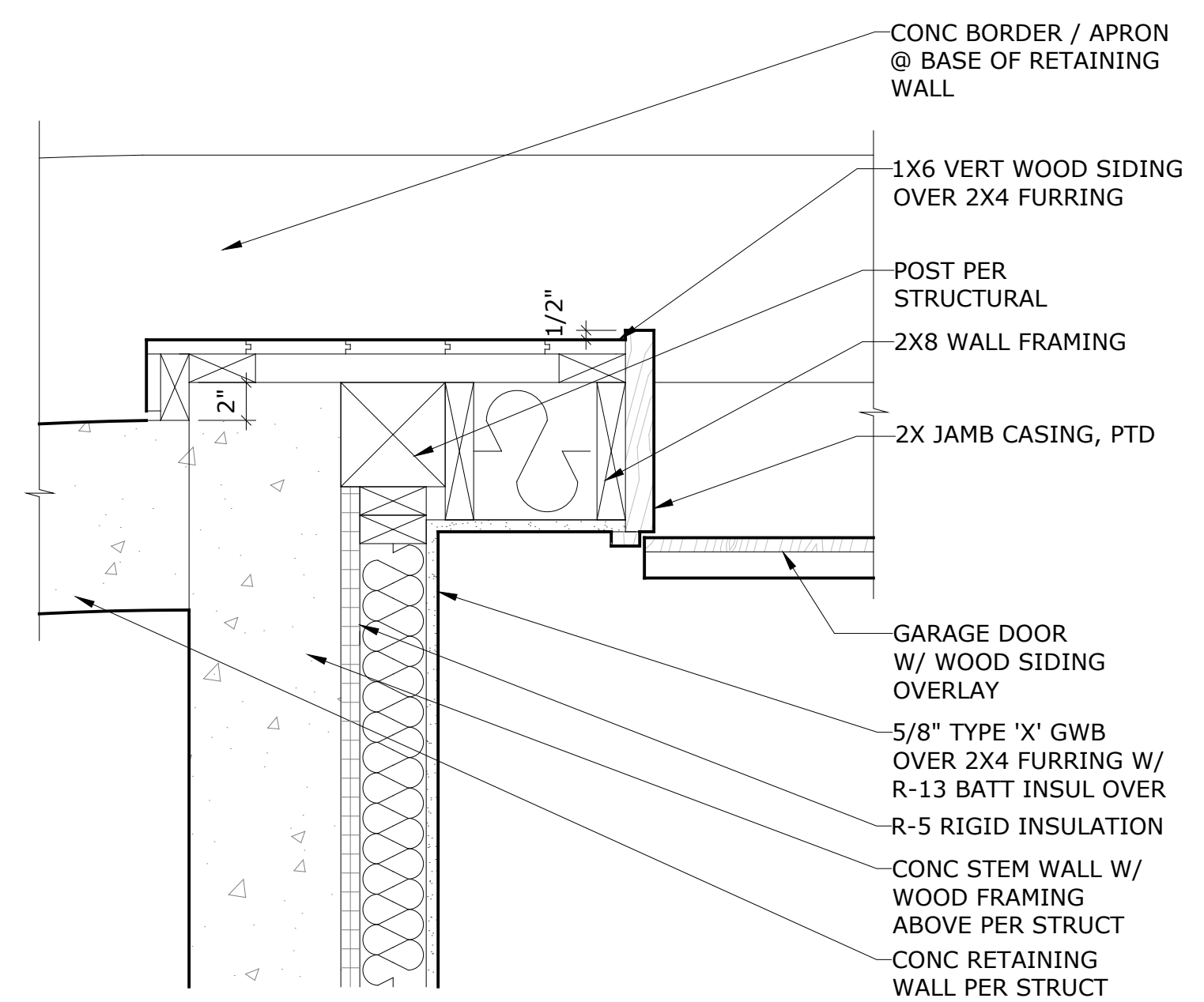
3 ROOF EAVE DETAIL
 A7.4 1 1/2" = 1'-0"



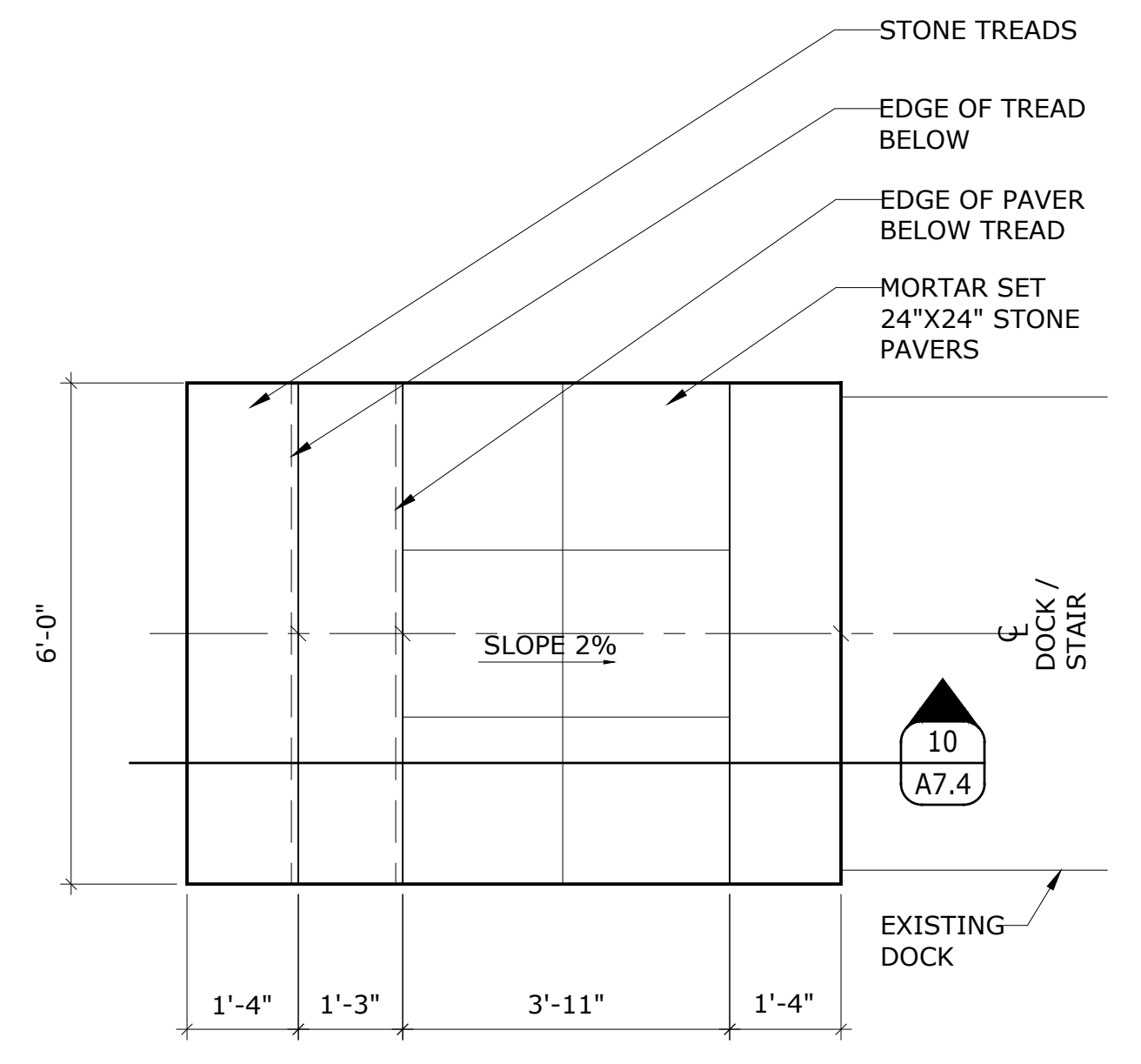
4 ROOF RAKE DETAIL
 A7.4 1 1/2" = 1'-0"



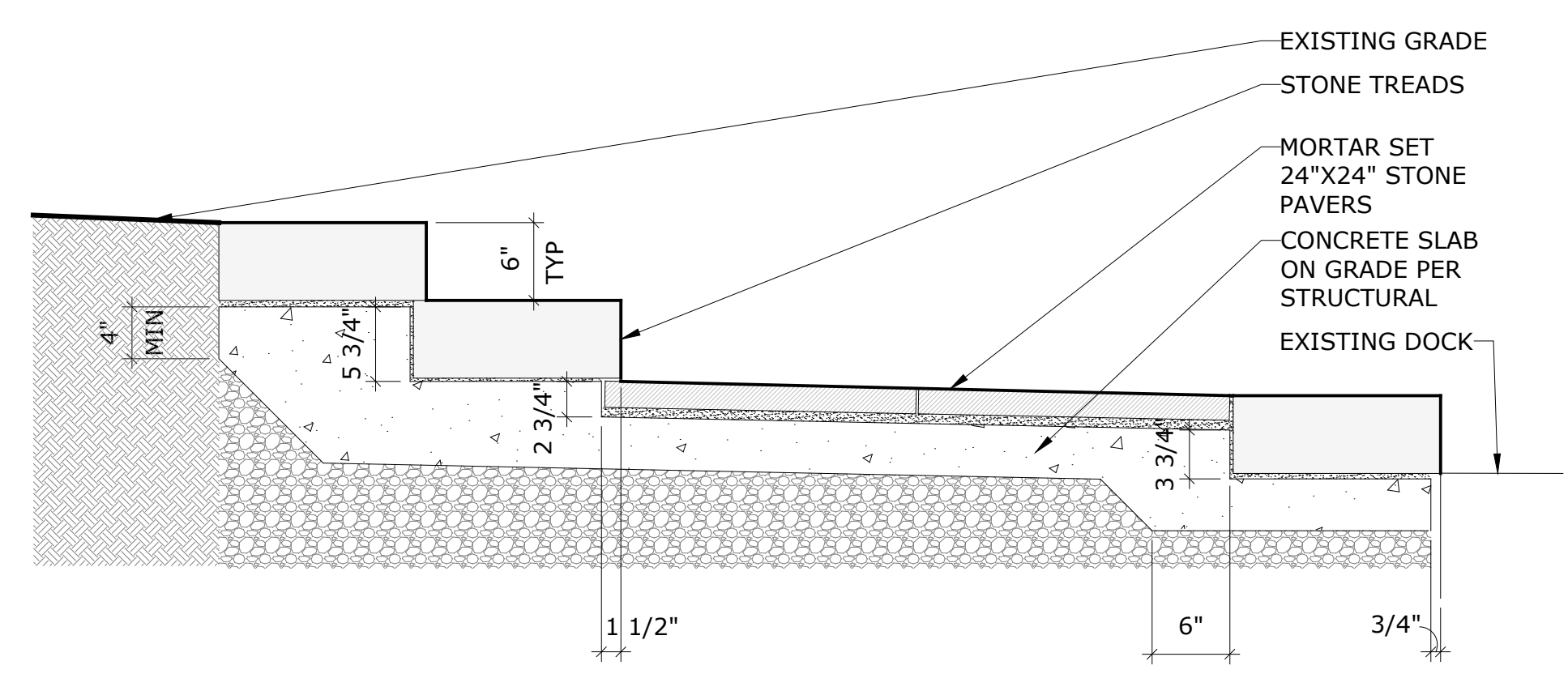
6 GARAGE DOOR SILL DETAIL
 A7.4 1 1/2" = 1'-0"



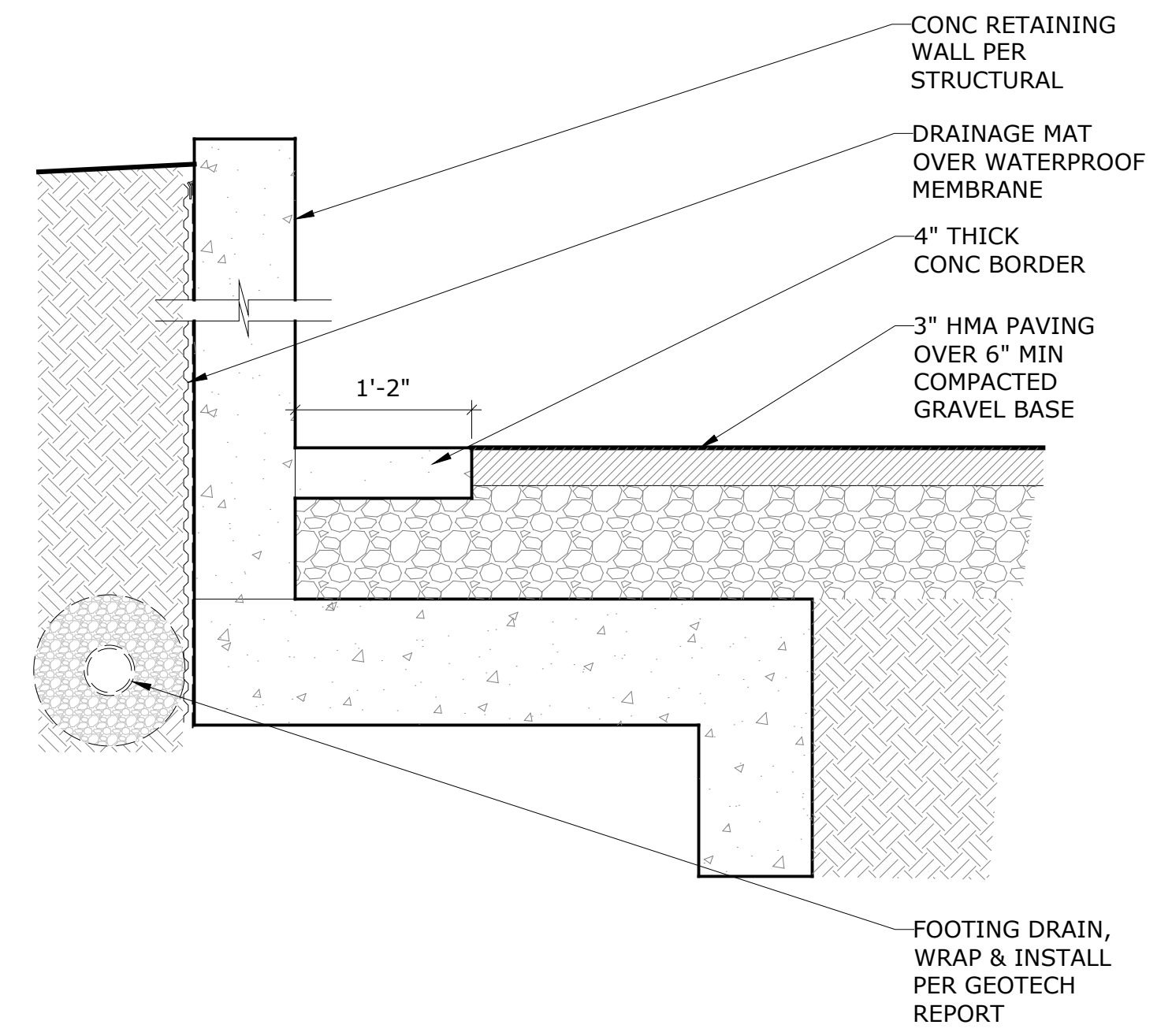
7 GARAGE DOOR JAMB DETAIL
 A7.4 1 1/2" = 1'-0"



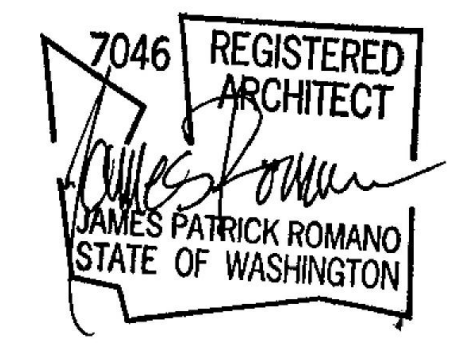
9 DOCK STAIR ENLARGED PLAN DETAIL
 A7.4 1/2" = 1'-0"



10 DOCK STAIR DETAIL
 A7.4 1" = 1'-0"



12 BASE OF RETAINING WALL @ PAVING DETAIL
 A7.4 1" = 1'-0"



stamp

File Name: VAND A7.0 EXT DETAILS
 Plot Date: 9/5/24
 Project ID: VAND
 Drawn: EV
 Checked: JR

mark	date	issue description
	9/5/24	BUILDING PERMIT

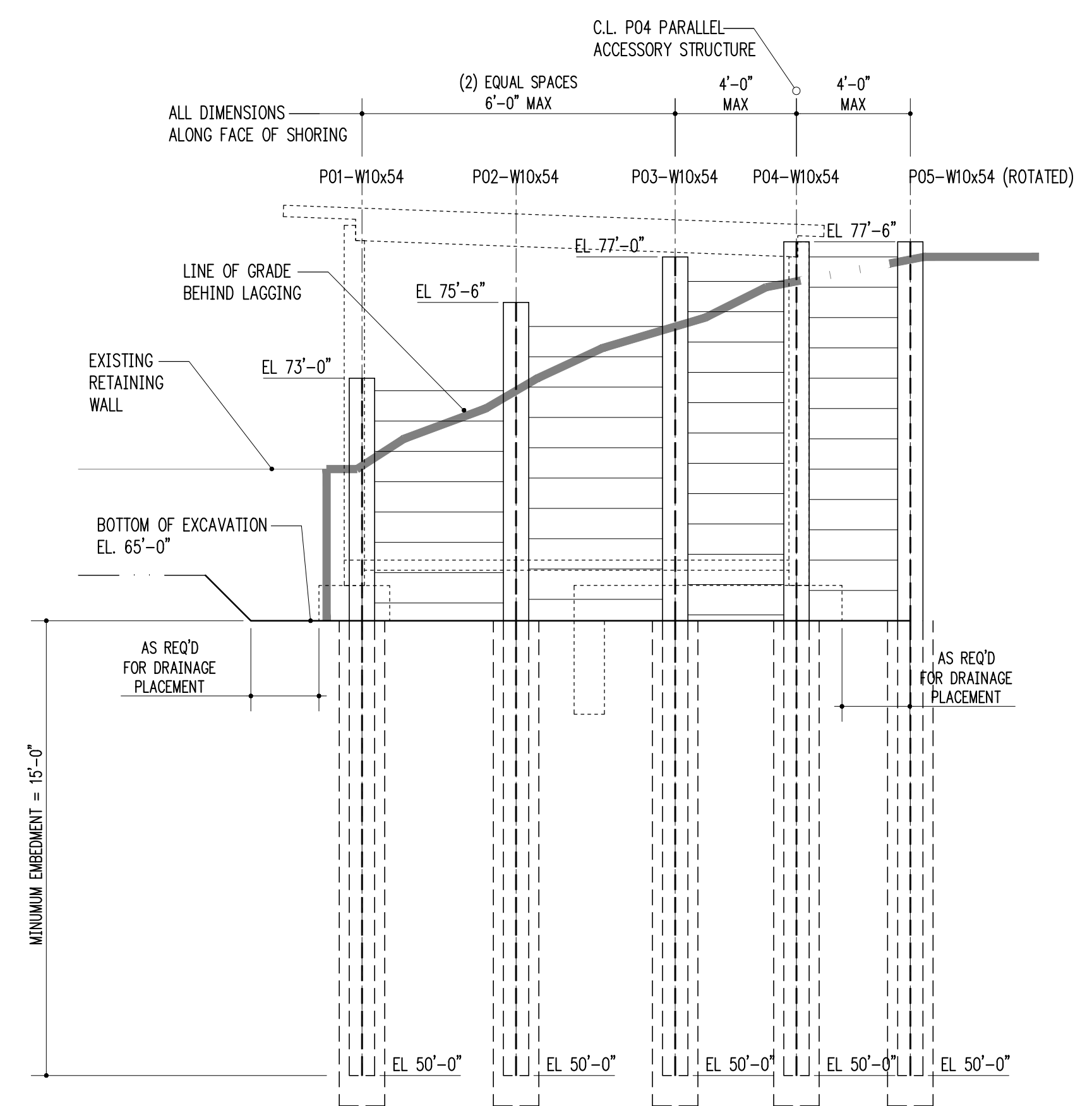
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EXTERIOR DETAILS

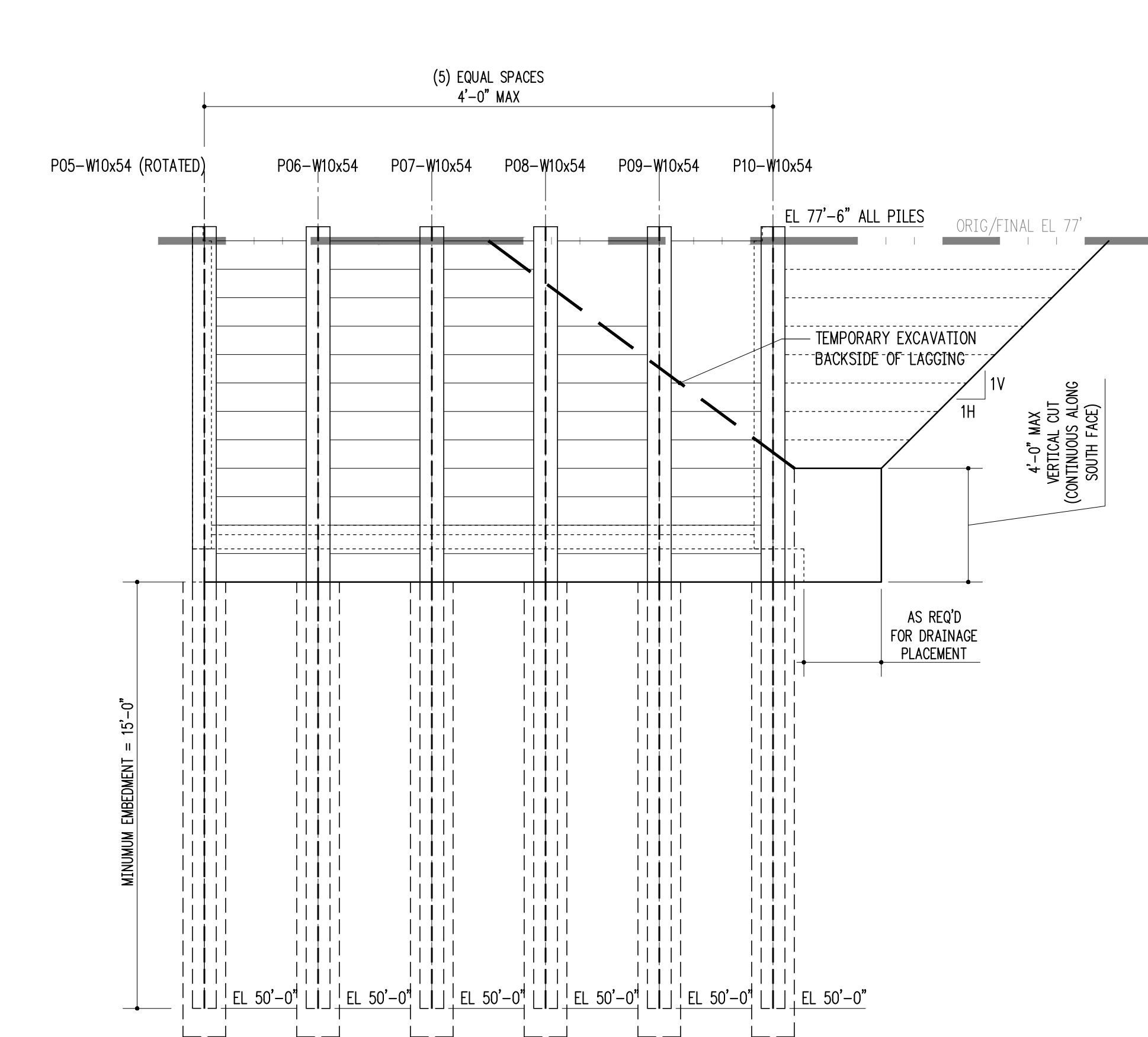
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A7.4

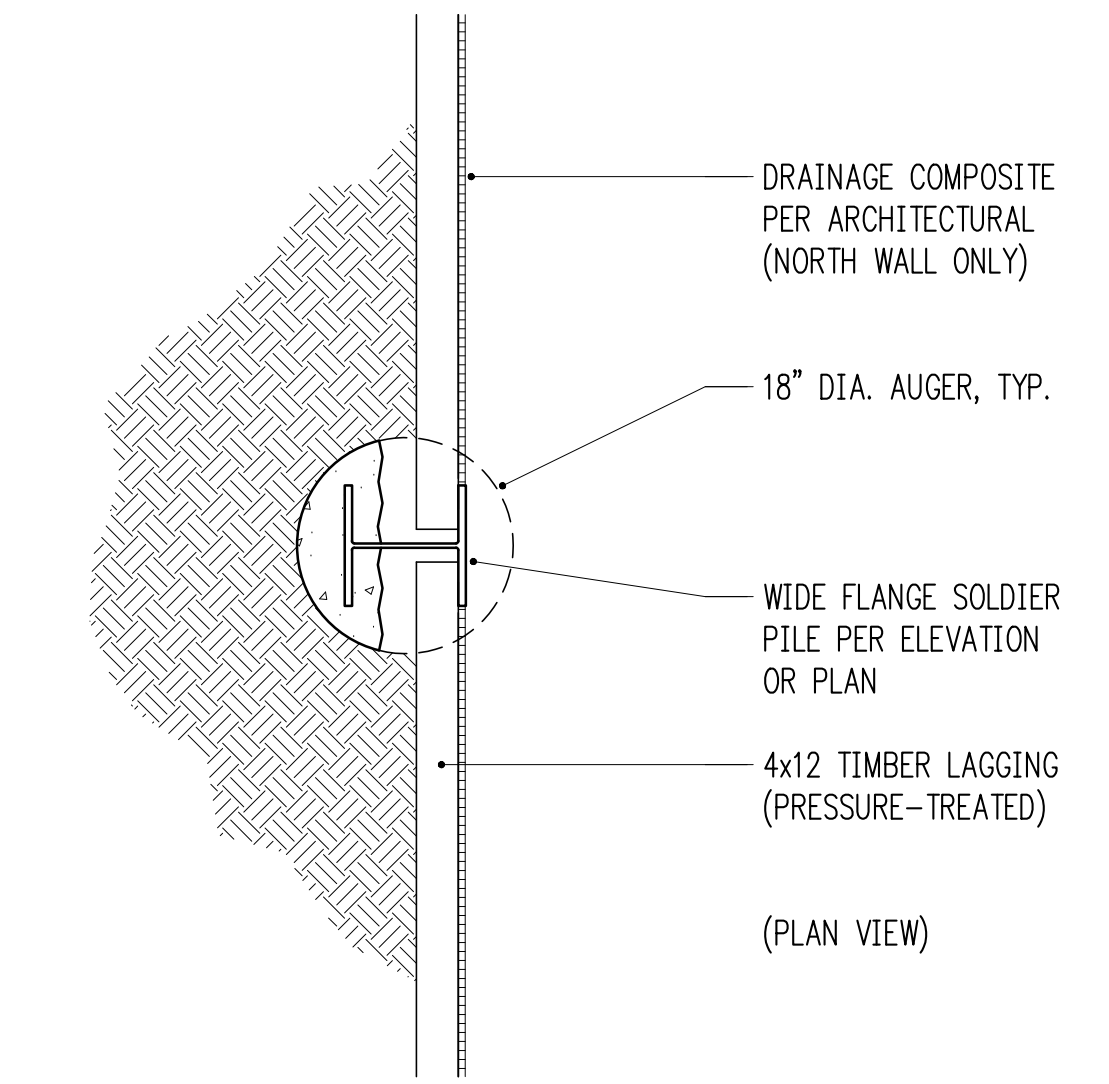
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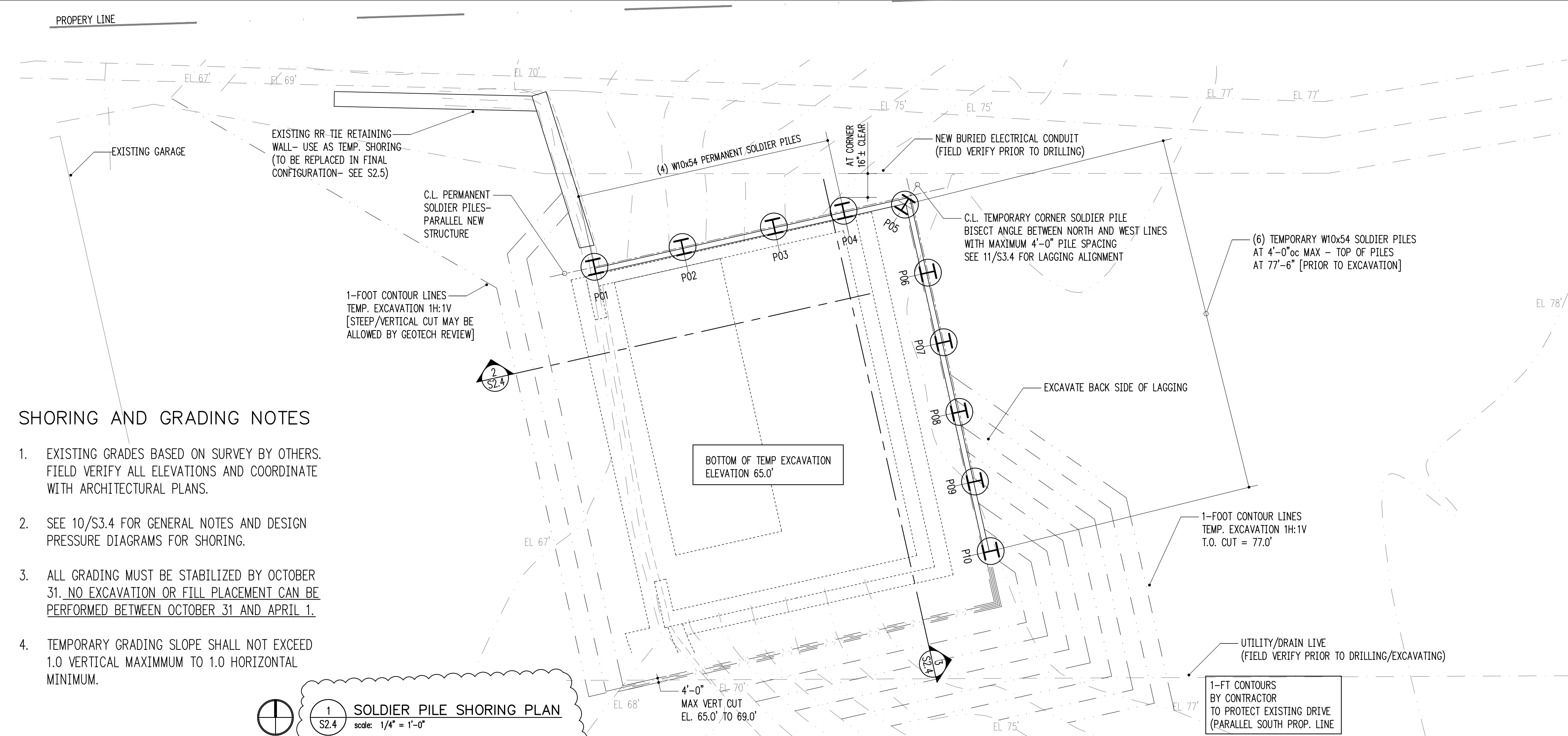
2 TEMPORARY SHORING ELEVATION (LOOKING NORTH)
 S2.4 scale: 1/4" = 1'-0"



3 TEMPORARY SHORING ELEVATION (LOOKING EAST)
 S2.4 scale: 1/4" = 1'-0"



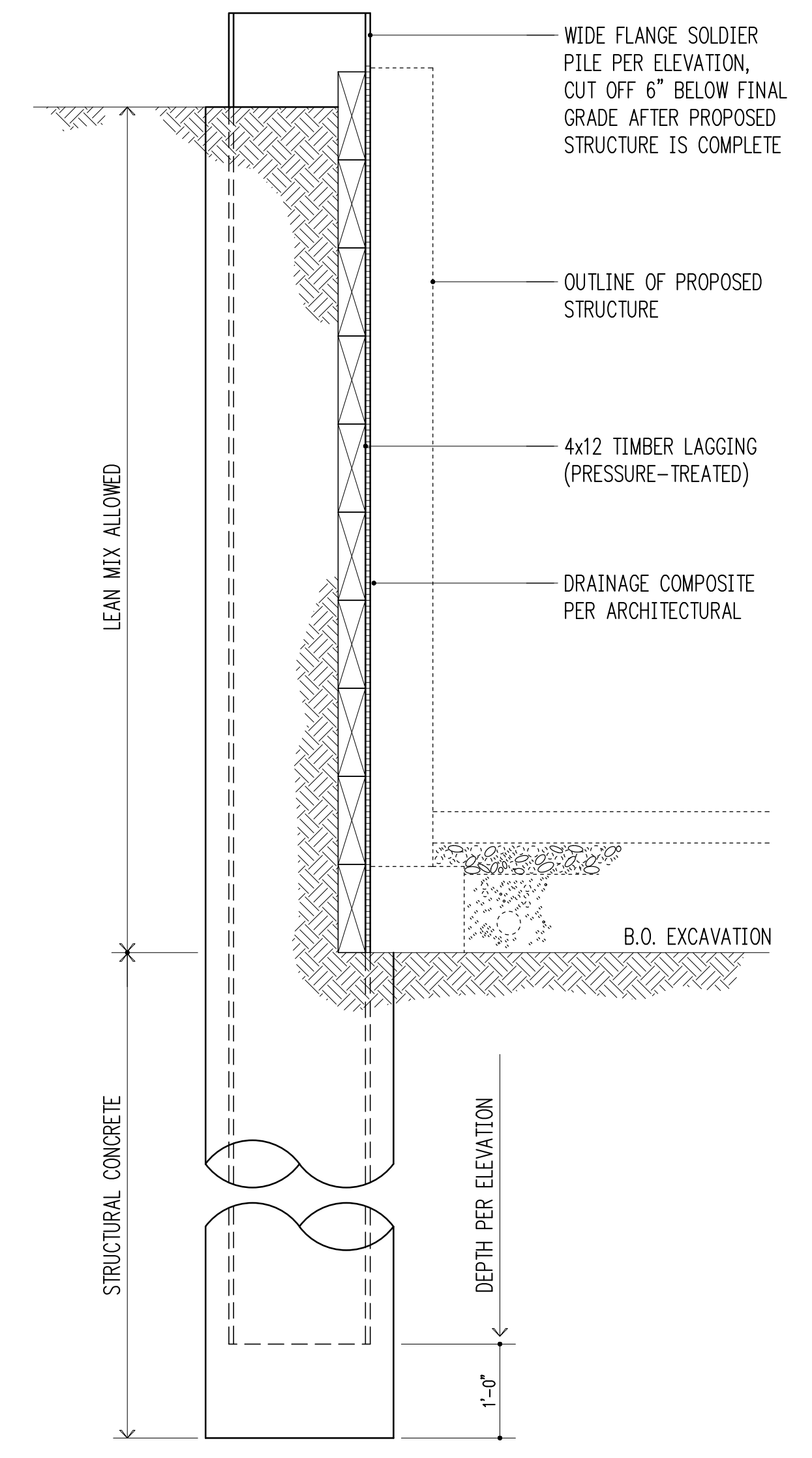
3/4" = 1'-0" 3



1 SOLDIER PILE SHORING PLAN
 S2.4 scale: 1/4" = 1'-0"

SHORING AND GRADING NOTES

- EXISTING GRADES BASED ON SURVEY BY OTHERS. FIELD VERIFY ALL ELEVATIONS AND COORDINATE WITH ARCHITECTURAL PLANS.
- SEE 10/S3.4 FOR GENERAL NOTES AND DESIGN PRESSURE DIAGRAMS FOR SHORING.
- ALL GRADING MUST BE STABILIZED BY OCTOBER 31. NO EXCAVATION OR FILL PLACEMENT CAN BE PERFORMED BETWEEN OCTOBER 31 AND APRIL 1.
- TEMPORARY GRADING SLOPE SHALL NOT EXCEED 1.0 VERTICAL MAXIMUM TO 1.0 HORIZONTAL MINIMUM.



3/4" = 1'-0" 5



Project Contact
 Kathryn Warner
 tel 206 624 4760 ex. 24
 fax 206 447 6971
 kwarn@harriottvalentine.com

Project Architect
 Conard Romano Architects
 518 28th Avenue East
 Seattle, WA 98112

Project
Vanderwall Residence
 7179 Holly Hill Drive
 Mercer Island, WA 98040

Issue Date	Issue Description
1/25/2021	Permit Submittal
05/26/21	Corrections 1
08/31/21	Issued for Constr./Rev 1
10/11/21	Rev 2-Pile Placement Only
10/20/21	Rev 2-AsBuilt/Field Mods
4/20/22	Rev 3-Crawspace Convers.
12/23	Rev 4-ADD Site Accessories
7/9/24	Rev. Shoring/Accessory Firm

Building Department Approval

Drawing Title
SHORING PLAN AND ELEVATION AND DETAILS

Drawing Number

S2.4

VANDERWALL RESIDENCE

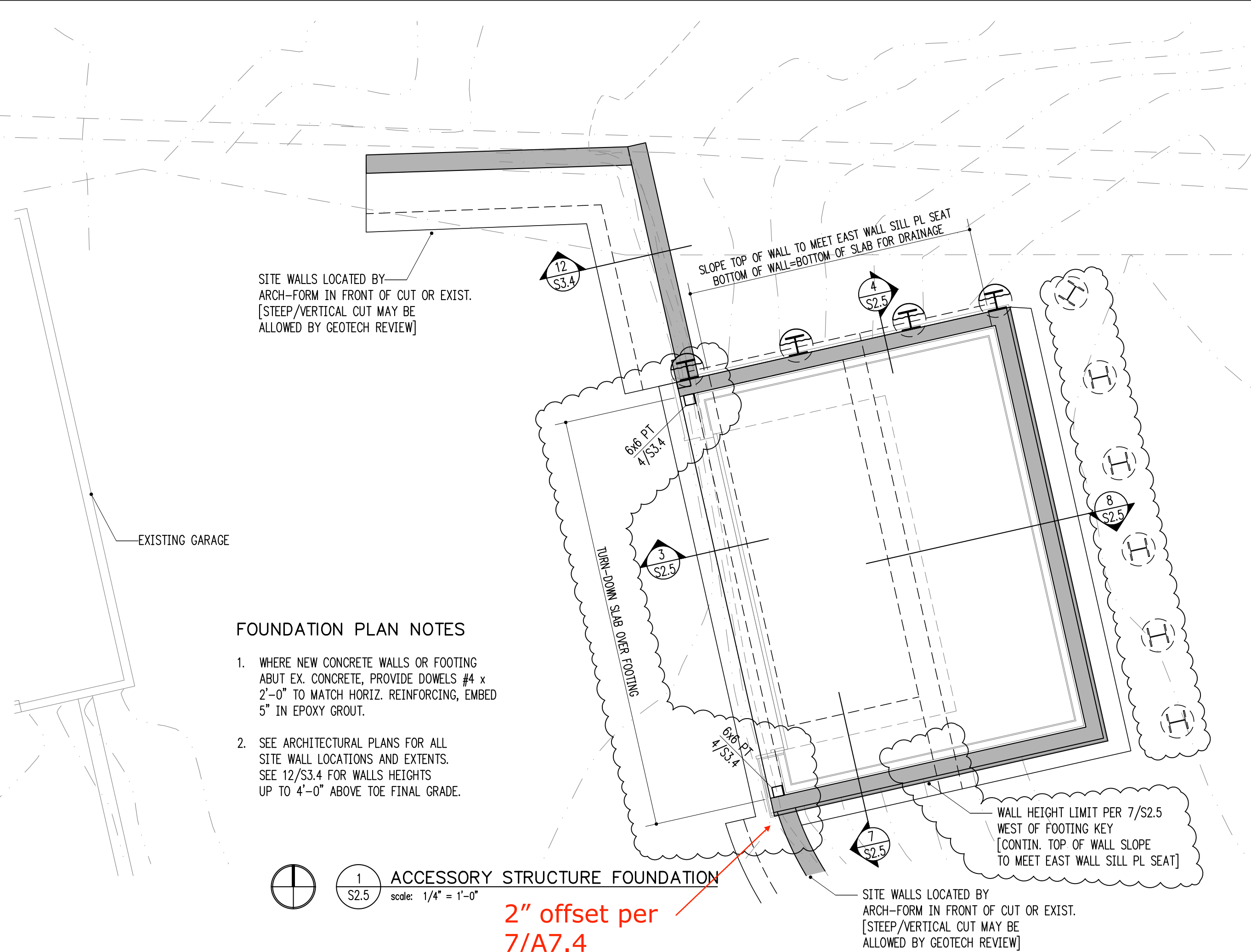
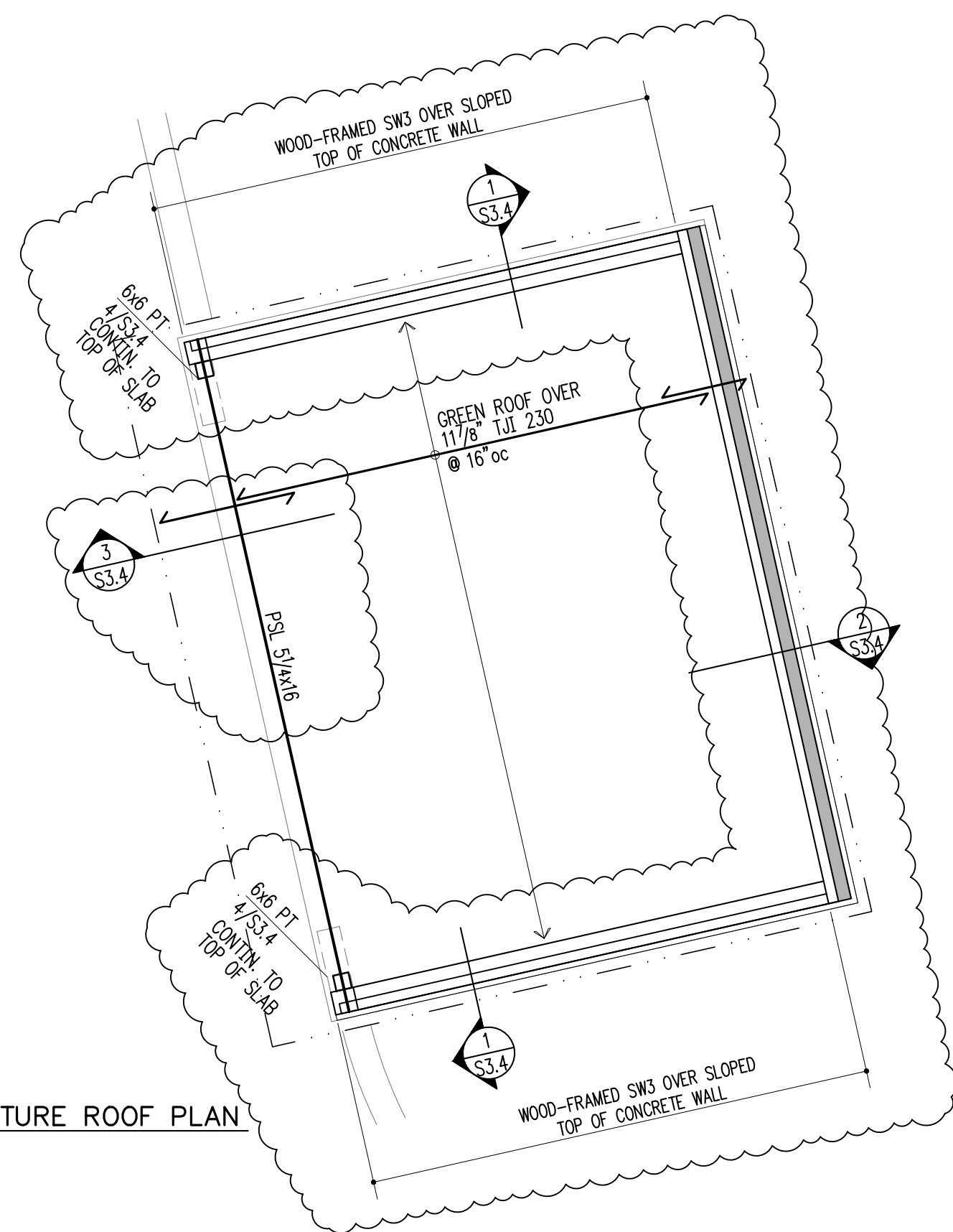
ACCESSORY STRUCTURE PLAN NOTES

- REFER TO GENERAL STRUCTURAL NOTES S1.0 AND S1.1 FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
- ROOF DIAPHRAGM SHEATHING SHALL BE BLOCKED AT ALL PANEL EDGES AND NAILED WITH 8d AT 6"oc. FIELD NAILING SHALL BE AT 12"oc TO INTERMEDIATE SUPPORTS.

LEGEND

- SPAN
- EXTENT
- SECTION DETAIL
- (FB) FLUSH BEAM
- (PT) PRESSURE-TREATED
- COLUMN ABOVE
- COLUMN BELOW
- NEW STRUCTURAL WALL
- EXISTING STRUCTURAL WALL
- NEW CONCRETE WALL
- EXISTING CONCRETE WALL

2 ACCESSORY STRUCTURE ROOF PLAN
S2.5 scale: 1/4" = 1'-0"

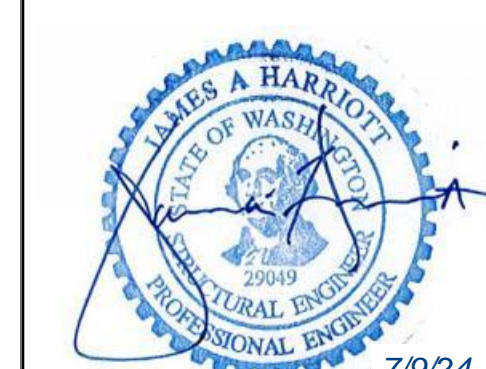


FOUNDATION PLAN NOTES

- WHERE NEW CONCRETE WALLS OR FOOTING ABUT EX. CONCRETE, PROVIDE DOVELS #4 x 2'-0" TO MATCH HORIZ. REINFORCING, EMBED 5" IN EPOXY GROUT.
- SEE ARCHITECTURAL PLANS FOR ALL SITE WALL LOCATIONS AND EXTENTS. SEE 12/S3.4 FOR WALLS HEIGHTS UP TO 4'-0" ABOVE TOE FINAL GRADE.

1 ACCESSORY STRUCTURE FOUNDATION
S2.5 scale: 1/4" = 1'-0"

2" offset per 7/A7.4



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Kathryn Warner
tel 206 624 4760 ex. 24
fax 206 447 6971
kwarner@harriottvalentine.com

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Project
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Mercer Island, WA 98040

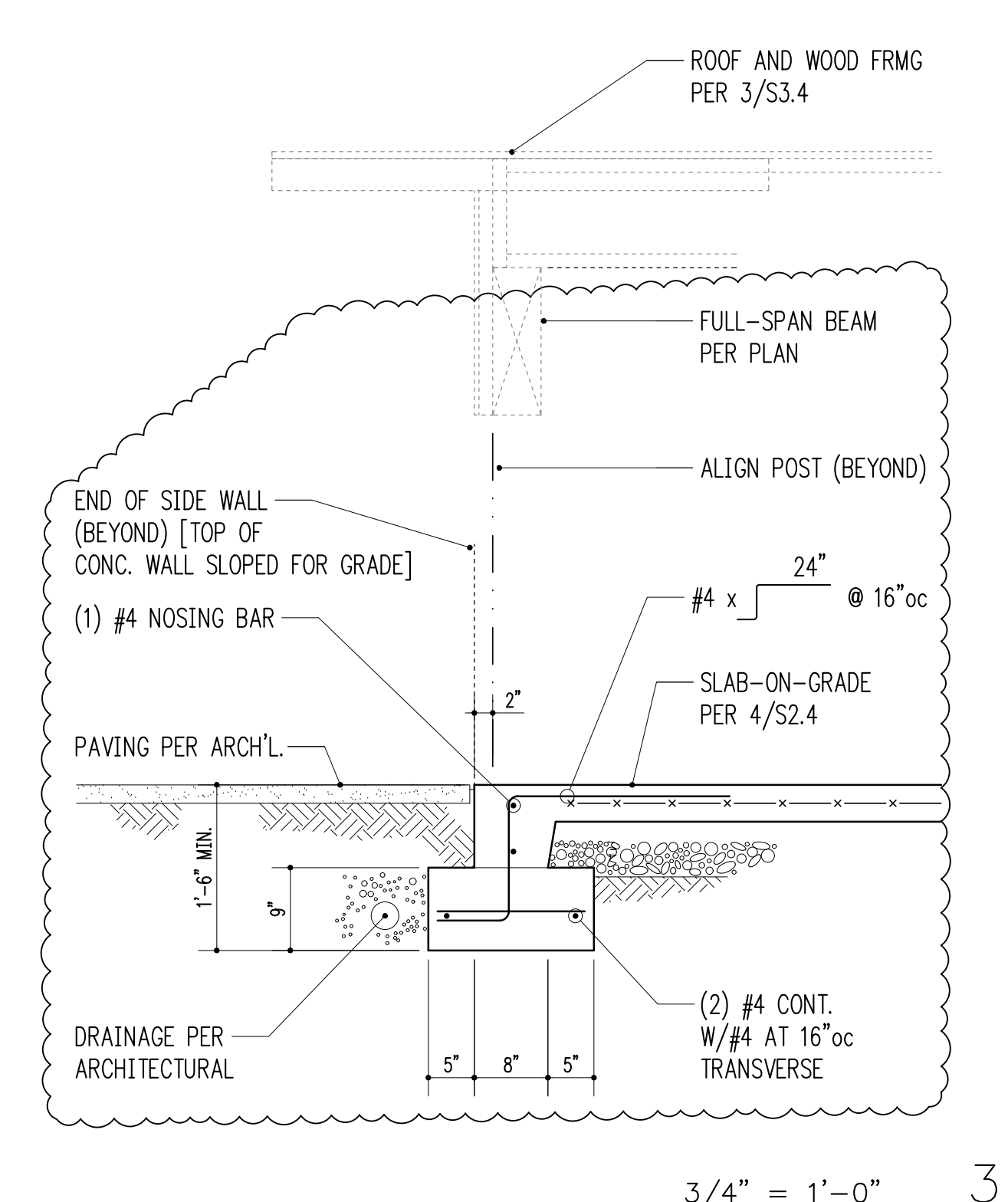
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Building Department Approval

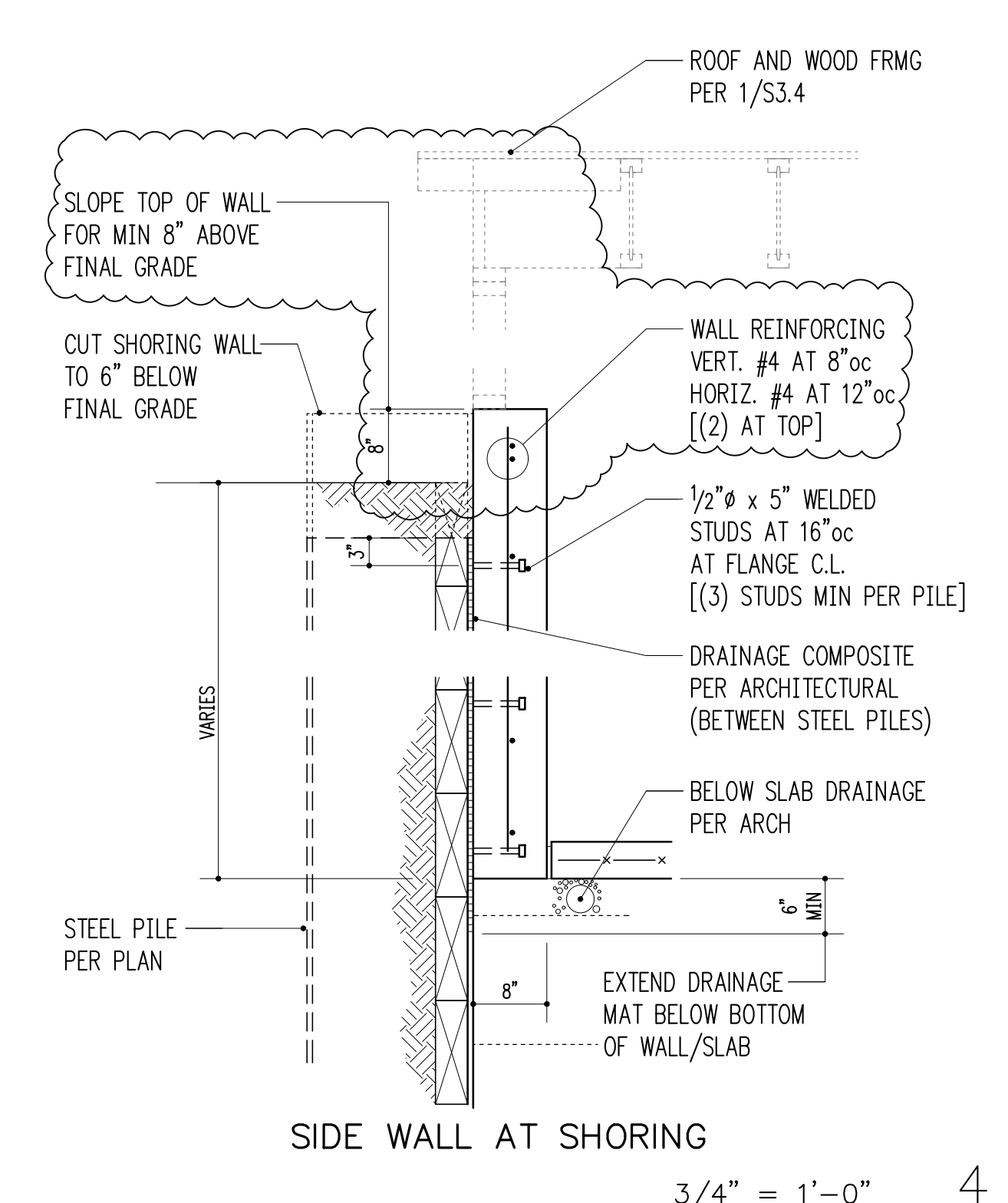
Foundation and Roof Plans and Details Accessory Structure

Drawing Number

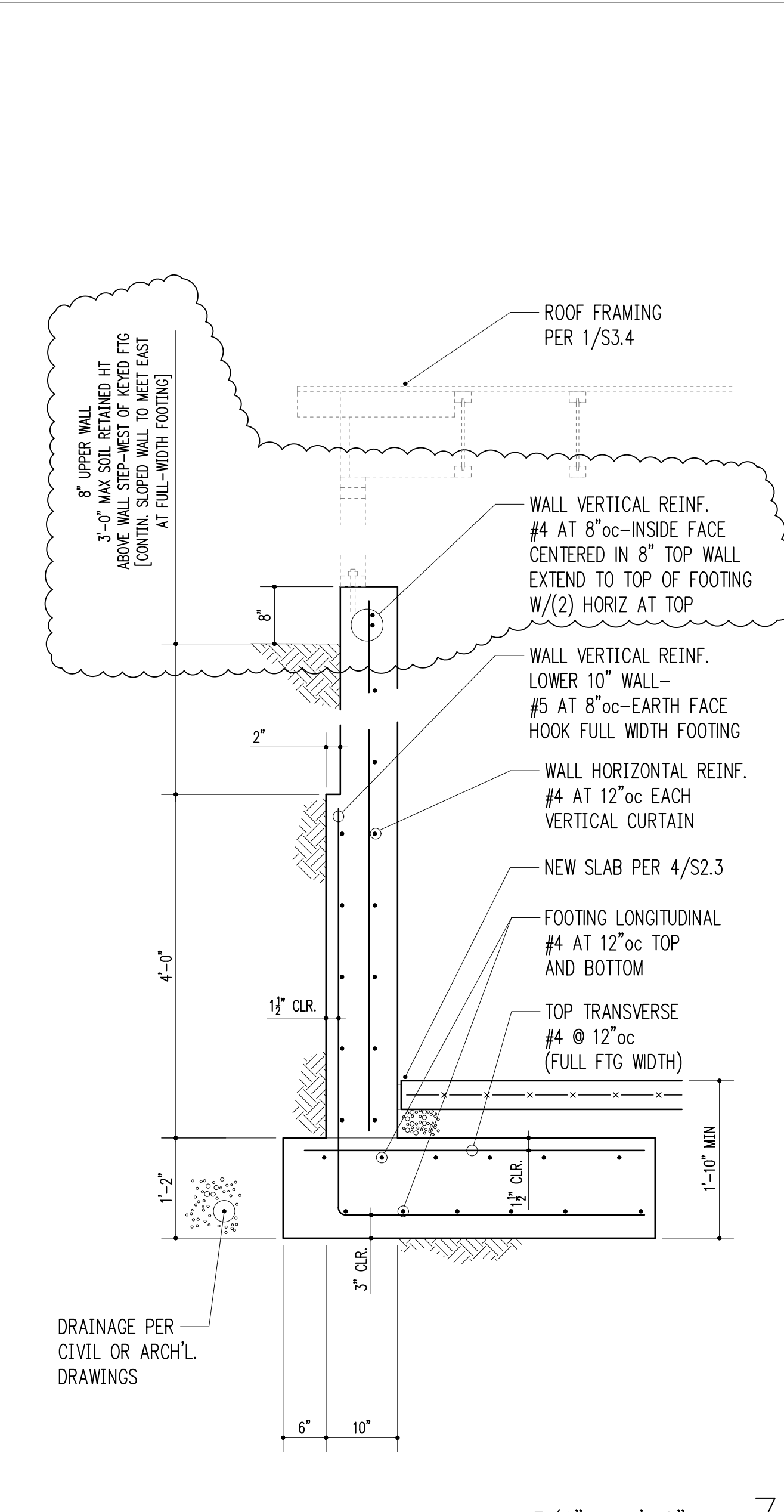
S2.5



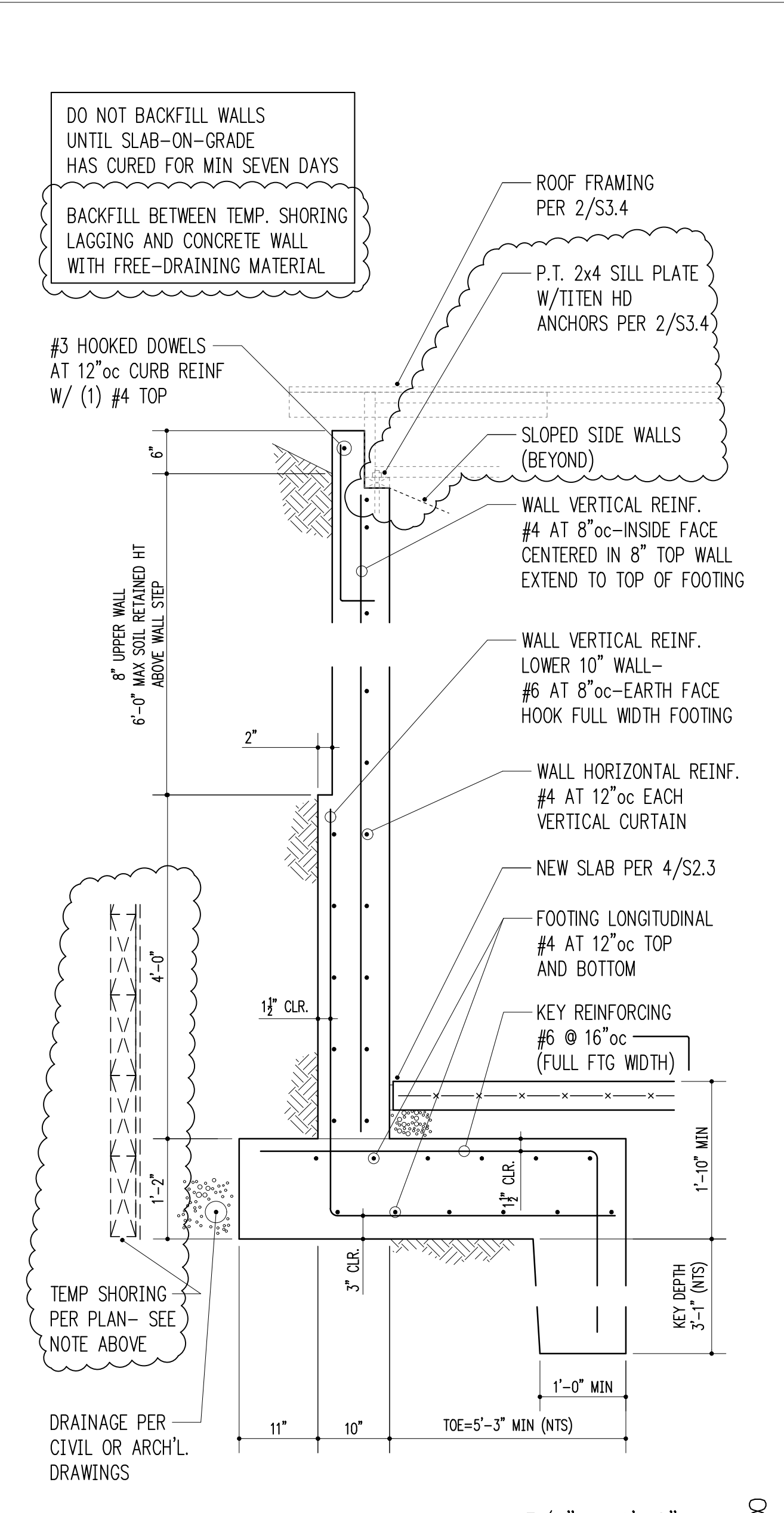
3/4" = 1'-0" 3



3/4" = 1'-0" 4

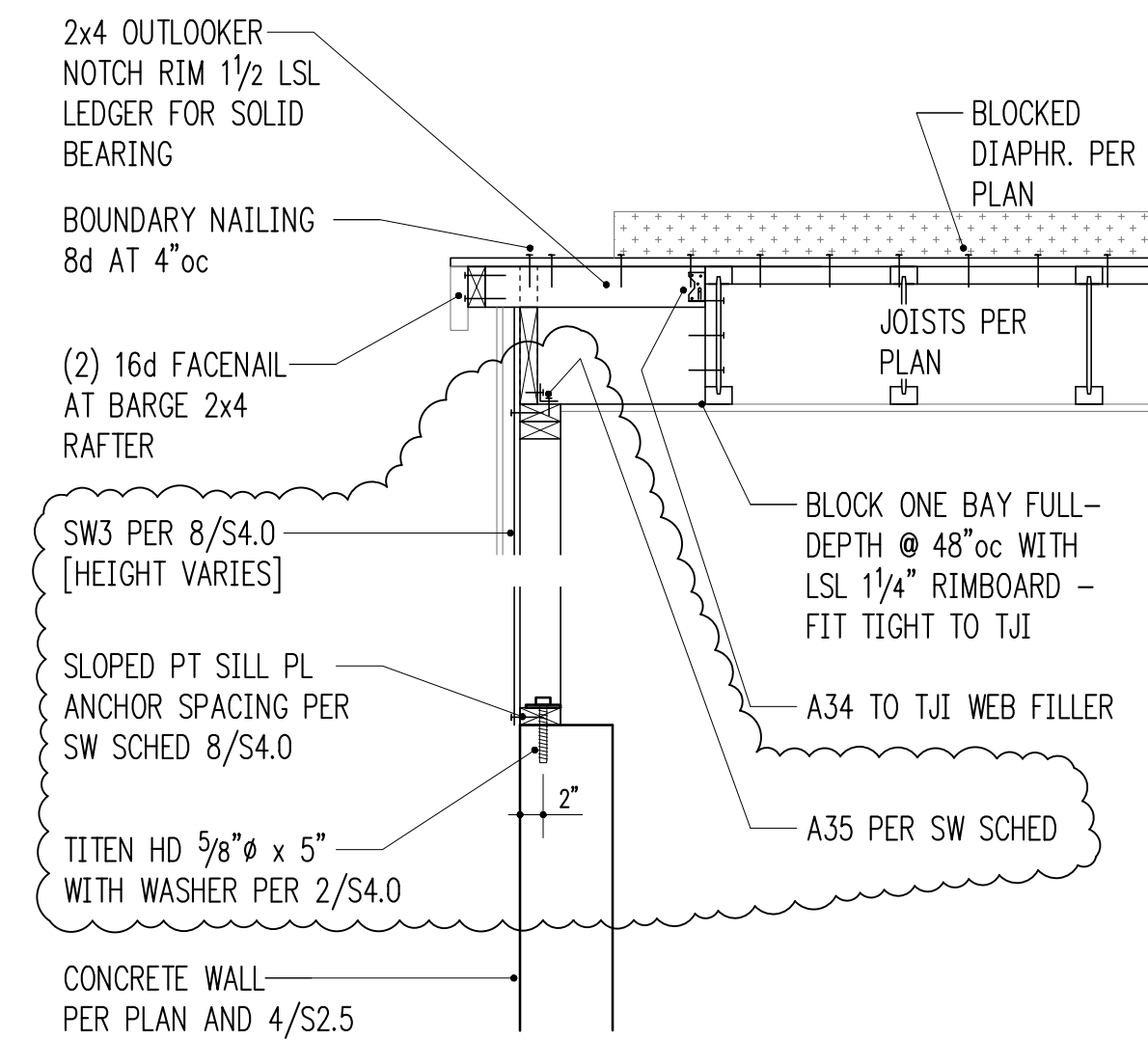


3/4" = 1'-0" 7

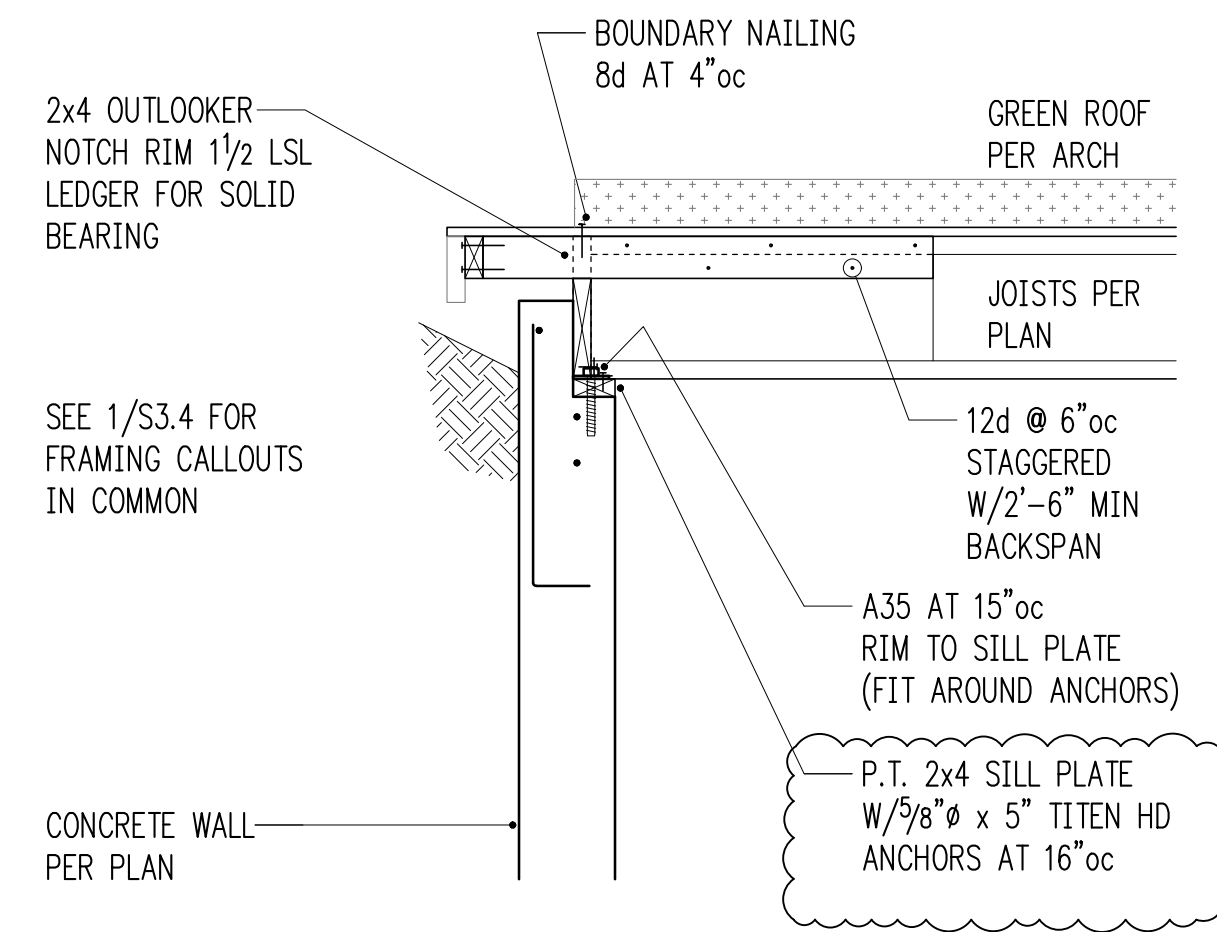


3/4" = 1'-0" 8

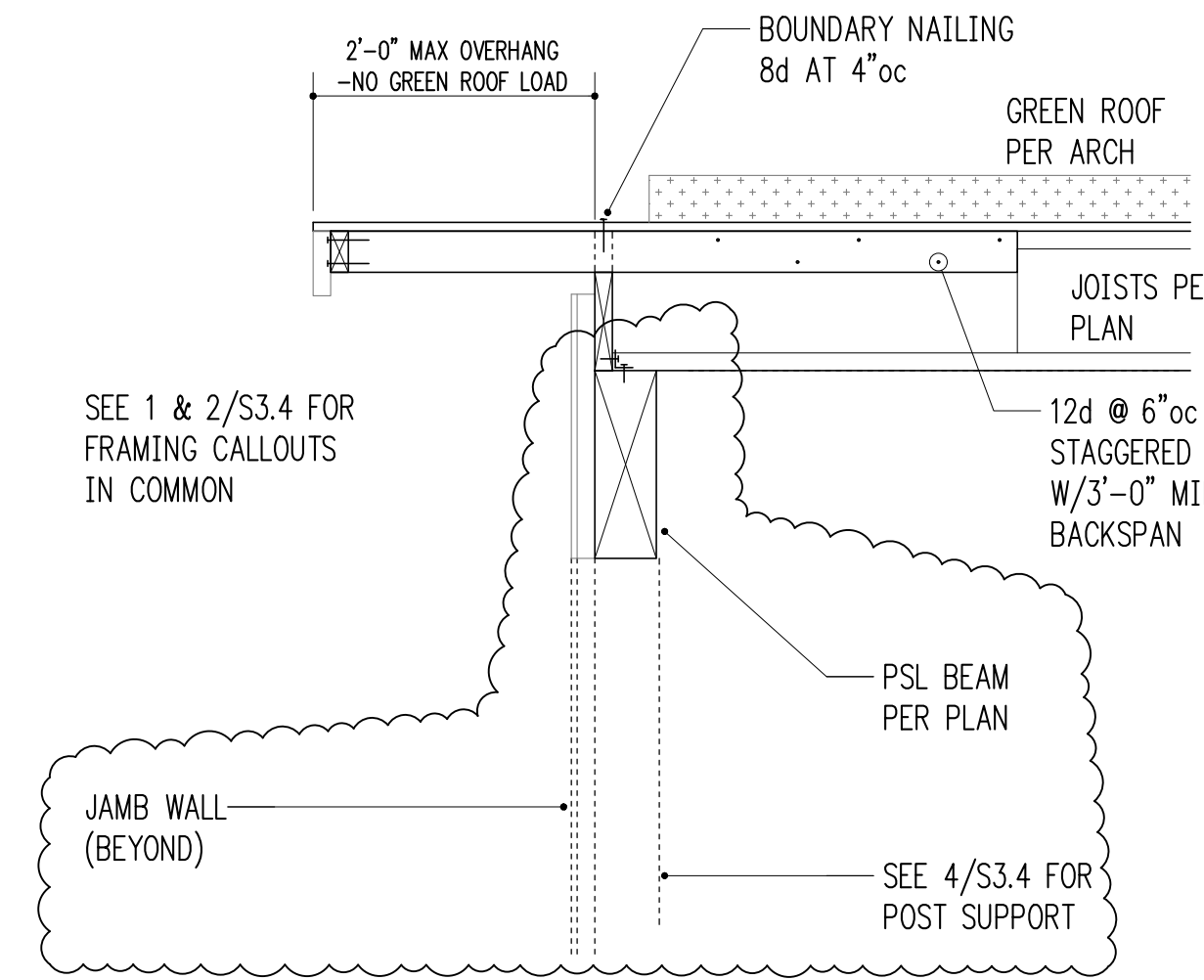
VANDERWALL RESIDENCE



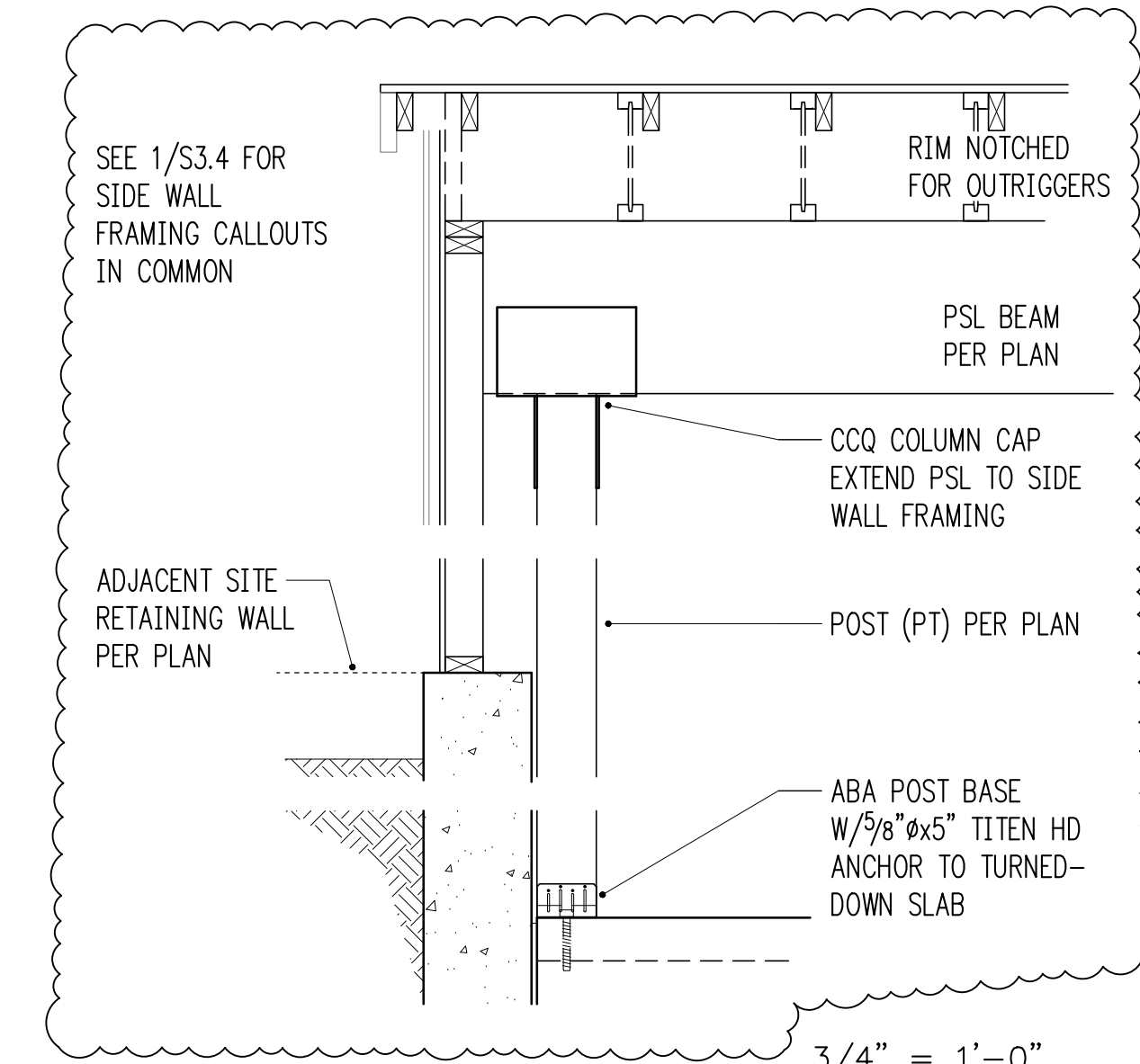
3/4" = 1'-0" 1



3/4" = 1'-0" 2



3/4" = 1'-0" 3



3/4" = 1'-0" 4

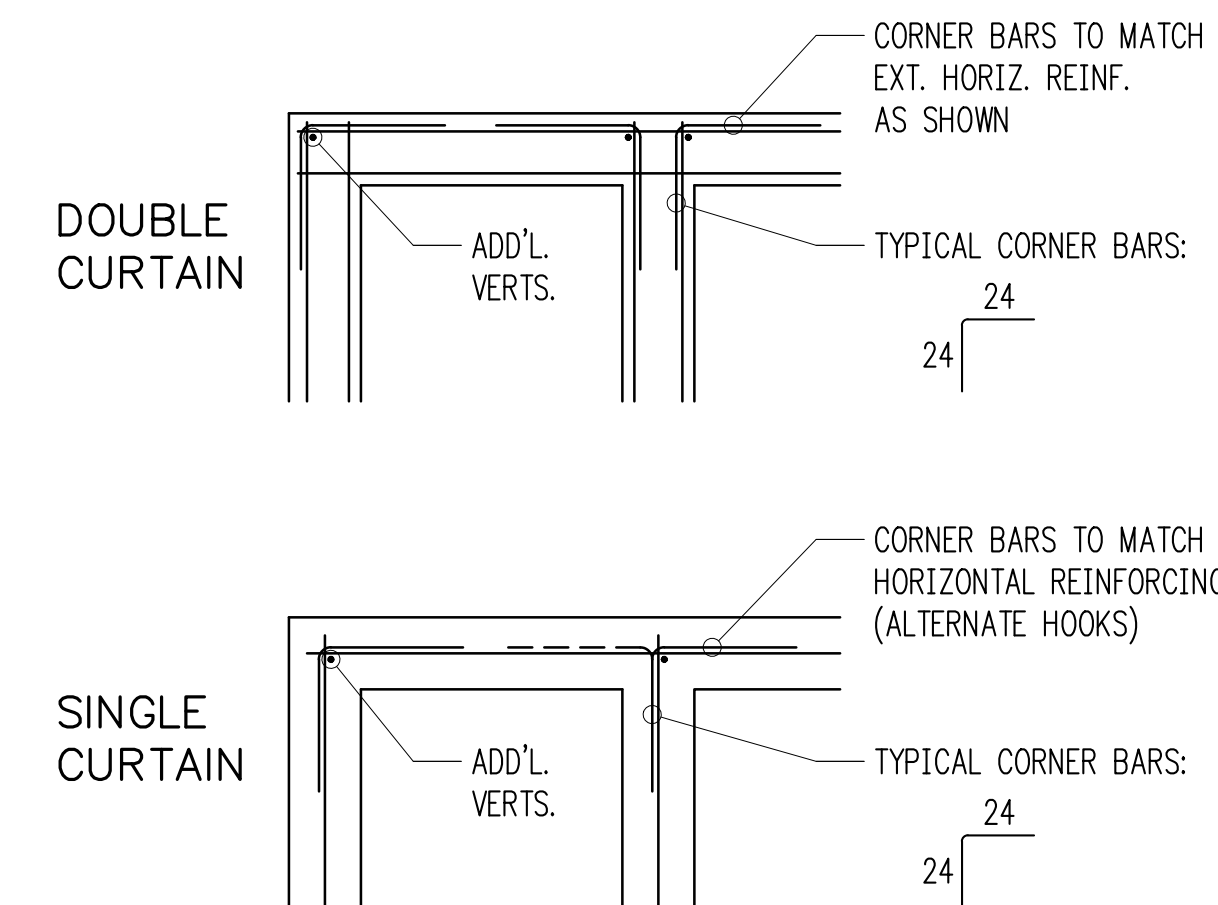
GENERAL SHORING NOTES
 (THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE PLANS)

TEMPORARY EXCAVATION SHORING CRITERIA

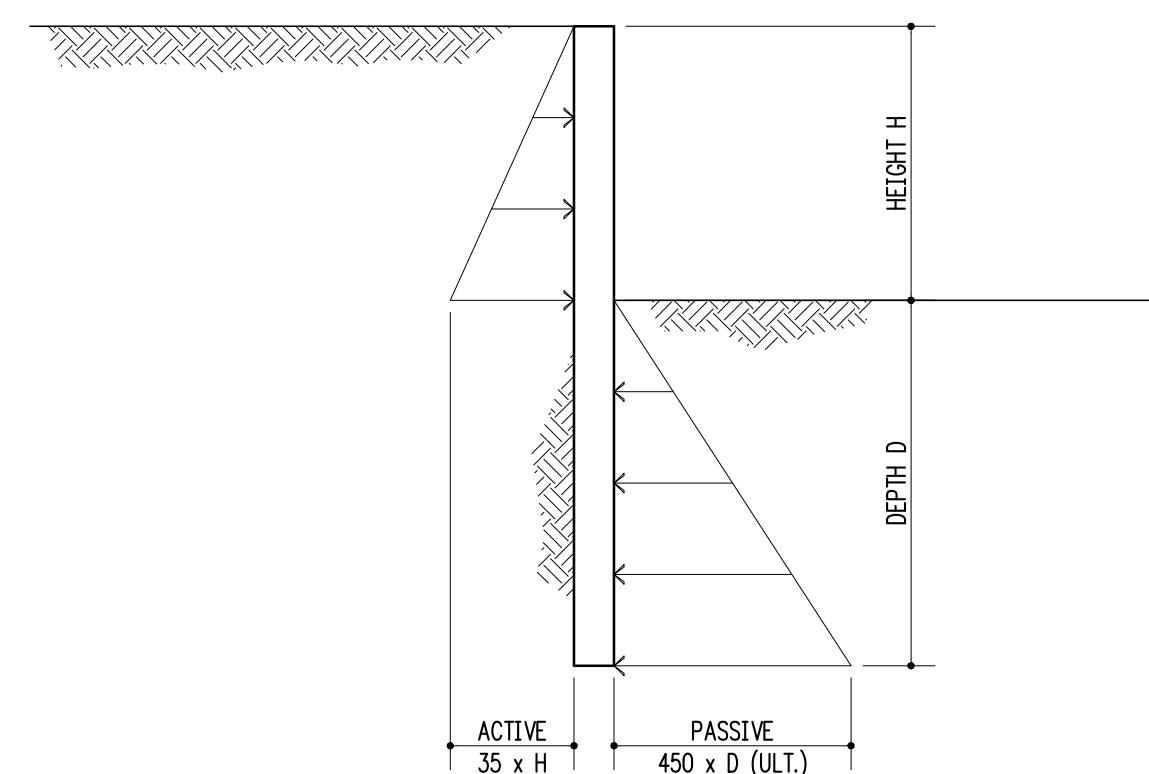
- REFER TO THE FOLLOWING DOCUMENTS FOR ADDITIONAL INFORMATION:
 - TOPOGRAPHIC AND BOUNDARY SURVEY: TJC SURVEYING, DATED AUGUST 18, 2015, WITH ARCHITECTURAL UPDATES.
 - SOILS REPORT REFERENCE: GEOTECH CONSULTANTS, INC.: SHORING ADDENDUM DATED NOVEMBER 16, 2023, GEOTECH. ENG. REPORT AND CRITICAL AREA STUDY, DATED JULY 31, 2023. ORIGINAL ENGINEERING STUDY, DATED NOVEMBER 17, 2020.
- DESIGN LOADS: THE SOIL PRESSURE INDICATED ON THE SOIL PRESSURE DIAGRAM WAS USED FOR DESIGN, IN ADDITION TO THE DEAD AND LIVE LOADS.
- SPECIAL INSPECTION BY THE SOILS ENGINEER SHALL BE PERFORMED FOR PILE PLACEMENT (AND TIEBACK PLACING AND STRESSING, WHERE APPLICABLE). ALL PREPARED SOIL BEARING SURFACES SHALL BE INSPECTED BY THE SOILS ENGINEER PRIOR TO PLACEMENT OF PILE. SOIL COMPACTION SHALL BE SUPERVISED BY AN APPROVED TESTING LAB.
- THE SHORING CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO DRILLING PILE HOLES, TIEBACK ANCHORS, OR CUTTING OR DIGGING IN STREETS OR ALLEYS. THE UTILITIES INFORMATION SHOWN ON THE PLANS MAY BE NOT COMPLETE.
- REFER TO THE SOILS REPORT FOR ADDITIONAL REQUIREMENTS, INCLUDING RECOMMENDATIONS FOR SHORING IN GENERAL, SHORING MONITORING, EXCAVATION, LAGGING, AND DRAINAGE.

SOLDIER PILE AND LAGGING CONSTRUCTION

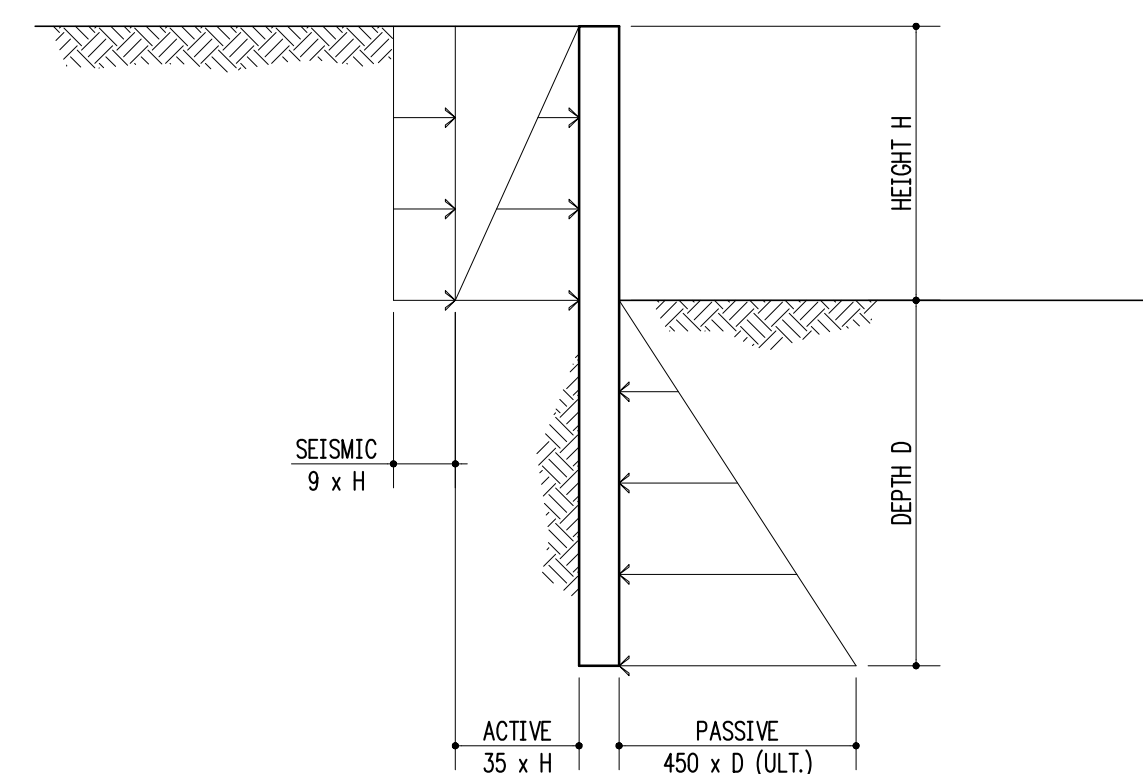
- PILE LEAN MIX SHALL CONTAIN 1-1/2 SACKS OF CEMENT PER CUBIC YARD. THERE IS NO STRENGTH REQUIREMENT FOR THIS MIX.
- LAGGING SHALL CONSIST OF SAWN LUMBER AND SHALL CONFORM TO "GRADING AND DRESSING RULES," WEST COAST LUMBER INSPECTION BUREAU (WCLIB), LATEST EDITION. LAGGING SHALL BE 4X12 DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 1. TIMBER LAGGING SHALL BE PRESSURE TREATED WITH WATERBORNE PRESERVATIVES IN ACCORDANCE WITH ANPB LP-22 TO A MINIMUM RETENTION OF 0.4 LBS/CU.FT. LAGGING SHALL BE 4X12 UNLESS OTHERWISE NOTED ON DRAWINGS.
- DEMOLITION: SHORING AND SOIL EXCAVATION SHALL BE DONE SIMULTANEOUSLY.
- VERIFICATION: DIMENSIONS AND LOCATION OF EXISTING STRUCTURES SHALL BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF ANY STRUCTURAL MEMBER. NOTIFY ENGINEER ABOUT ANY DISCREPANCIES PRIOR TO FABRICATION.
- HOLE DIGGING: PILE AND ANCHOR HOLES SHALL BE DRILLED WITHOUT LOSS OF GROUND AND WITHOUT ENDANGERING PREVIOUSLY INSTALLED PILES AND ANCHORS. THIS MAY INVOLVE CASING THE HOLES OR OTHER METHODS OF PROTECTION FROM CAVING. REFER TO REPORT OF GEOTECHNICAL INVESTIGATION FOR RECOMMENDED HOLE DIGGING PROCEDURE.
- PILE PLACEMENT: ALTERNATE PILES SHALL BE PLACED AND COMPLETED SO THAT AT LEAST 24 HOURS IS ALLOWED FOR THE CONCRETE TO SET PRIOR TO DRILLING ADJACENT PILES.
- STEEL PILE PLACEMENT TOLERANCES:
 - 1" INSIDE PERPENDICULAR TO SHORING WALL.
 - 1" OUTSIDE PERPENDICULAR TO SHORING WALL.
 - 3" Laterally.
- LAGGING: TIMBER LAGGING SHALL BE INSTALLED IN ALL AREAS. VOIDS BETWEEN LAGGING AND SOIL SHALL BE BACKFILLED. DRAINAGE BEHIND THE WALL MUST BE MAINTAINED. IT IS CONTRACTOR'S RESPONSIBILITY TO LIMIT THE AMOUNT OF EXPOSED SOIL WITHOUT LAGGING TO AVOID LOSS OF SOIL. MAXIMUM HEIGHT OF 4 FEET IS RECOMMENDED. SPECIAL CARE SHOULD BE TAKEN TO AVOID GROUND LOSS DURING EXCAVATION.



TYPICAL CORNER BARS AT CONCRETE WALLS
 3/4" = 1'-0" 8

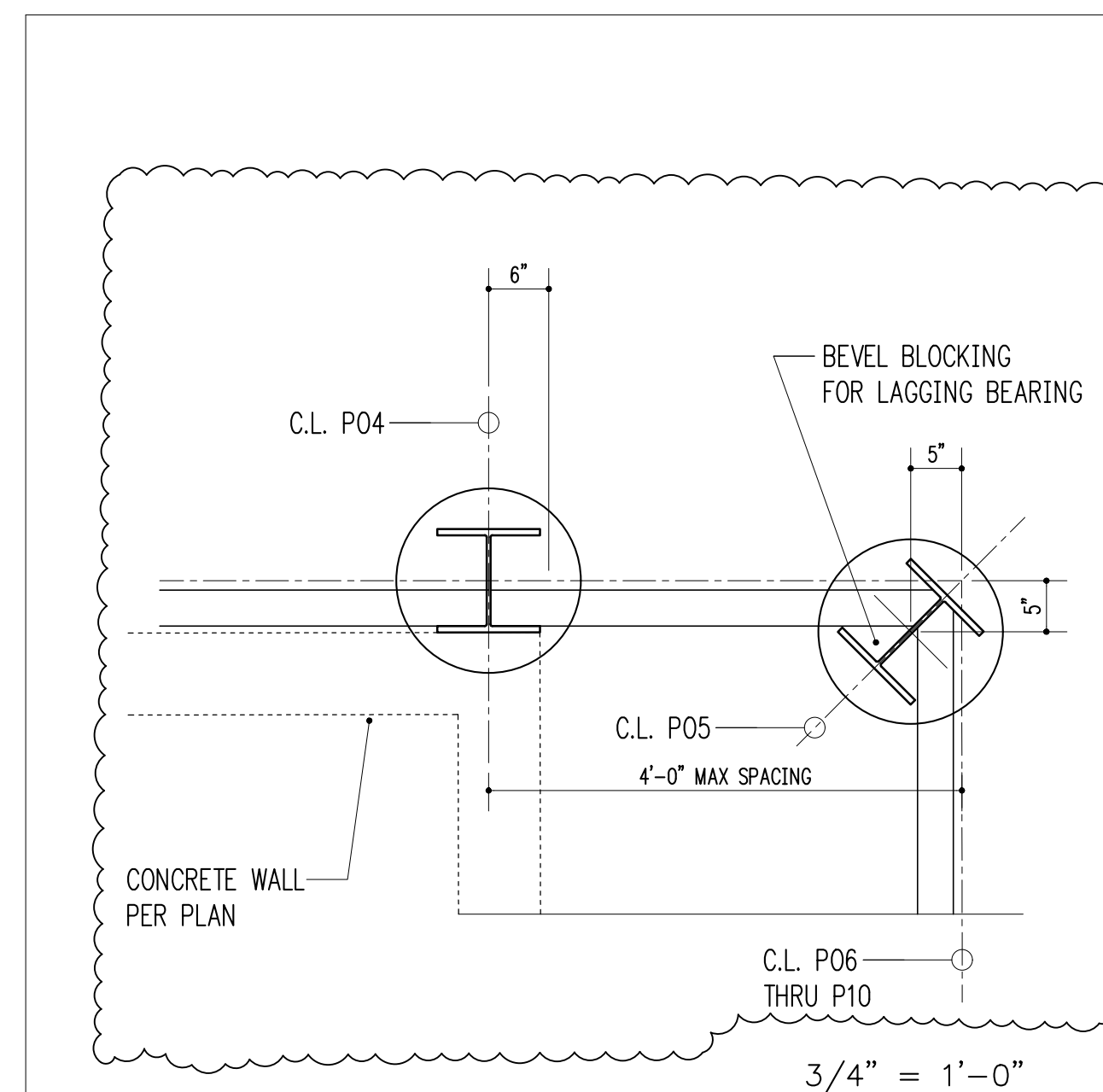


SOIL PRESSURE DIAGRAM-TEMPORARY PILES

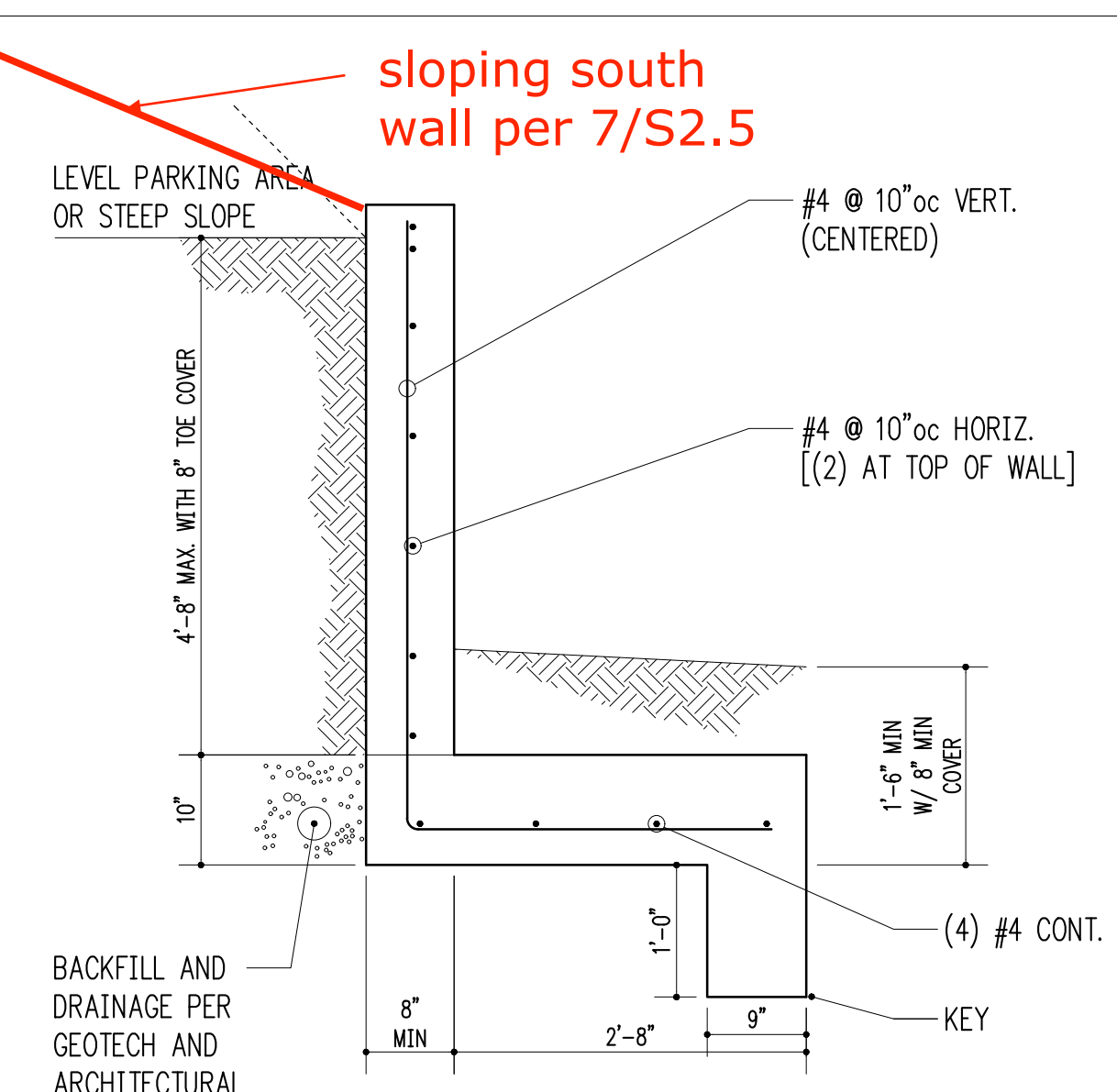


SOIL PRESSURE DIAGRAM-PERMANENT PILES

3/4" = 1'-0" 10



3/4" = 1'-0" 11



sloping south wall per 7/S2.5

3/4" = 1'-0" 12



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Building Department Approval

Drawing Title
**STRUCTURAL DETAILS
 SITE WALLS AND
 ACCESSORY STRUCTURE**

Drawing Number

S3.4

VANDERWALL RESIDENCE