

PROJECT INFORMATION

ZONING DISTRICT R-8.4
 PROPERTY OWNER XIA BO+MENG MIAO
 PARCEL NUMBER 545600-0165
 LOT AREA 11,682 S.F.
 OCCUPANCY CLASSIFICATION R-3 / U
 CONSTRUCTION TYPE V-B

LEGAL DESCRIPTION

MERCER WOOD ADD
 Plat Block 1
 Plat Lot: 19

STRUCTURAL LOT COVERAGE

MAX. LOT COVERAGE FOR SLOPE: 15% 40% x 11682 = 4,672 SF
 EXIST. LOT COVERAGE 1,861 SF
 ADDED LOT COVERAGE 861 SF
 TOTAL STRUCTURAL AREA 2,722 S.F.
 STRUCTURAL LOT COVERAGE 23.3 % (OK)
 (SEE DIAGRAMS ON A1.1)

HARDSCAPE COVERAGE

MAX. HARDSCAPE AREA 49% x 11682 = 5,724 SF
 EXIST. LOT COVERAGE + HARDSCAPE 2,617 SF
 ADDED LOT COVERAGE + HARDSCAPE 484 SF
 REPLACED EXIST. HARDSCAPE
 IMPERVIOUS SURFACE AREA 3,101 SF
 IMPERVIOUS SURFACE COVERAGE 26.5% (OK)
 (SEE DIAGRAMS ON A1.1)

FLOOR AREA SUMMARY

(E) LOWER FLOOR 1,925 SF
 (E) GARGE 376 SF
 (N) LOWER FLOOR 202 SF
 (N) GARAGE ADDITION 378 SF
 (N) UPPER FLOOR 1,502 SF
 (N) SPACE ABOVE ENTRY >16 FT HEIGHT 90 SF
 TOTAL FLOOR AREA 4,473 SF
 FAR = 40% X 11682 = 4672 SF 4,473 SF (OK)
 (SEE DIAGRAMS ON A1.1)

BUILDING HEIGHT

AVERAGE GRADE 186.3'
 MAX. STRUCTURE HT. ALLOWED (30') 216.3'
 PROPOSED STRUCTURE HT. (26.1') 212.4'
 (SEE DIAGRAMS ON A1.1)

ABBREVIATIONS

BLKG	BLOCKING	HORIZ	HORIZONTAL
C	CENTER LINE	MAX	MAXIMUM
CLR	CLEAR	MFR	MANUFACTURER
CONT	CONTINUOUS	MIN	MINIMUM
CS	CASEMENT WINDOW	o'	OVER
DBL	DOUBLE	O.C.	ON CENTER
DS	DOWNSPOUT	SD	SMOKE DETECTOR
EL	ELEVATION	SG	SAFETY GLASS
EQ	EQUAL	SF	SQUARE FEET
EXIST / (E)	EXISTING	SIM	SIMILAR
FIG	FOOTING	SLD	SLIDING WINDOW
FX	FIXED WINDOW	TYP	TYPICAL
HDR	HEADER	UNO	UNLESS NOTED OTHERWISE
HDWD	HARDWOOD	w/	WITH
HGR	HANGER		

TREE TABLE

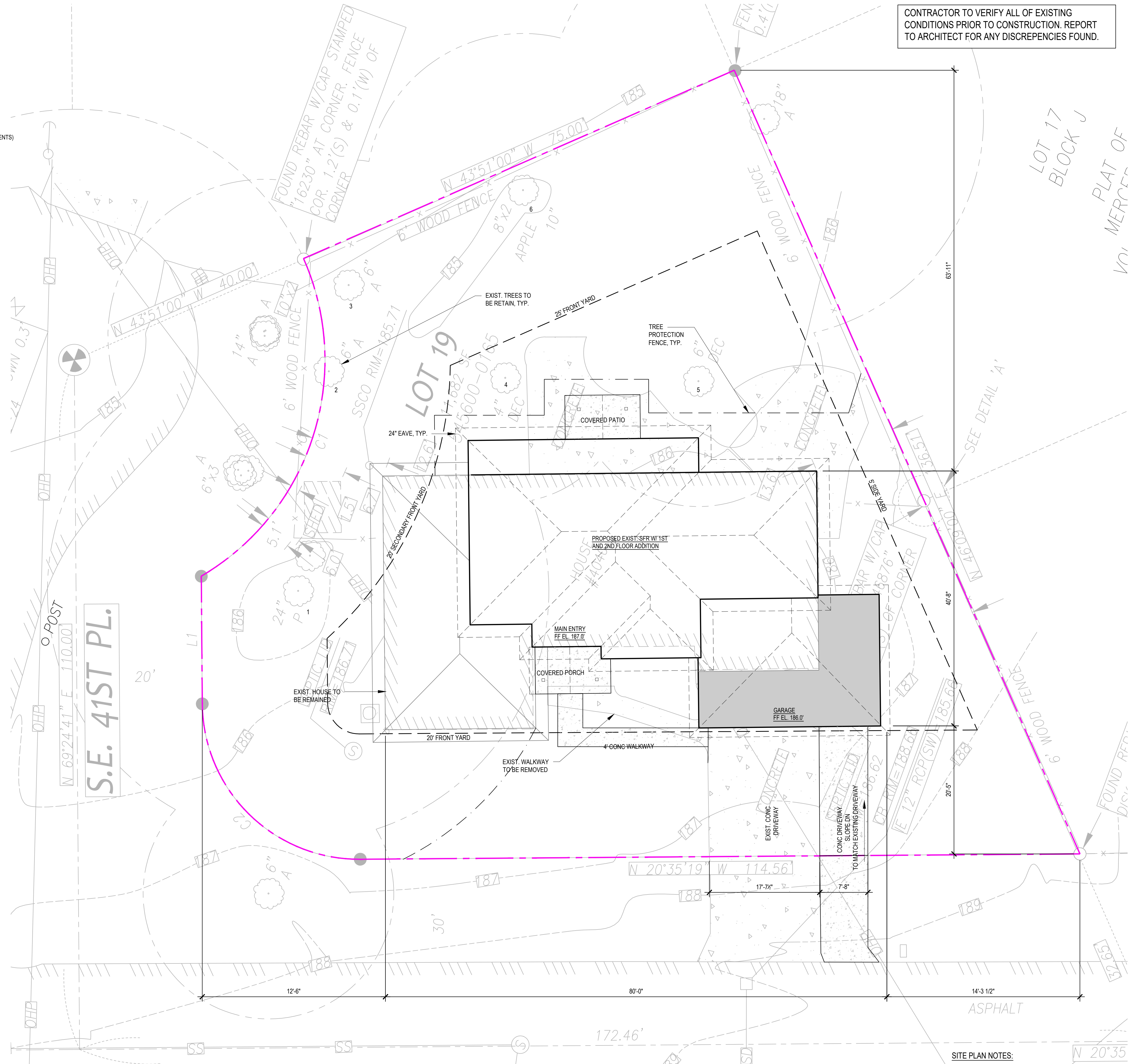
NO TREE PROPOSED TO BE REMOVED

CODE COMPLIANCE

2021 INTERNATIONAL RESIDENTIAL CODE
 2021 INTERNATIONAL MECHANICAL CODE
 2021 UNIFORM PLUMBING CODE
 2021 INTERNATIONAL FIRE CODE
 2020 NATIONAL ELECTRICAL CODE
 2021 WASHINGTON STATE ENERGY CODE

(ALL CODES ABOVE INCLUDE WASHINGTON STATEWIDE AMENDMENTS)

A NFPA 13D FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 13D AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.



1 SITE PLAN
 1/8" = 1'-0"

- SITE PLAN NOTES:**
- ALL UTILITIES SERVING THE SITE IS TO BE UNDERGROUND.
 - THE ADDRESS IS TO BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

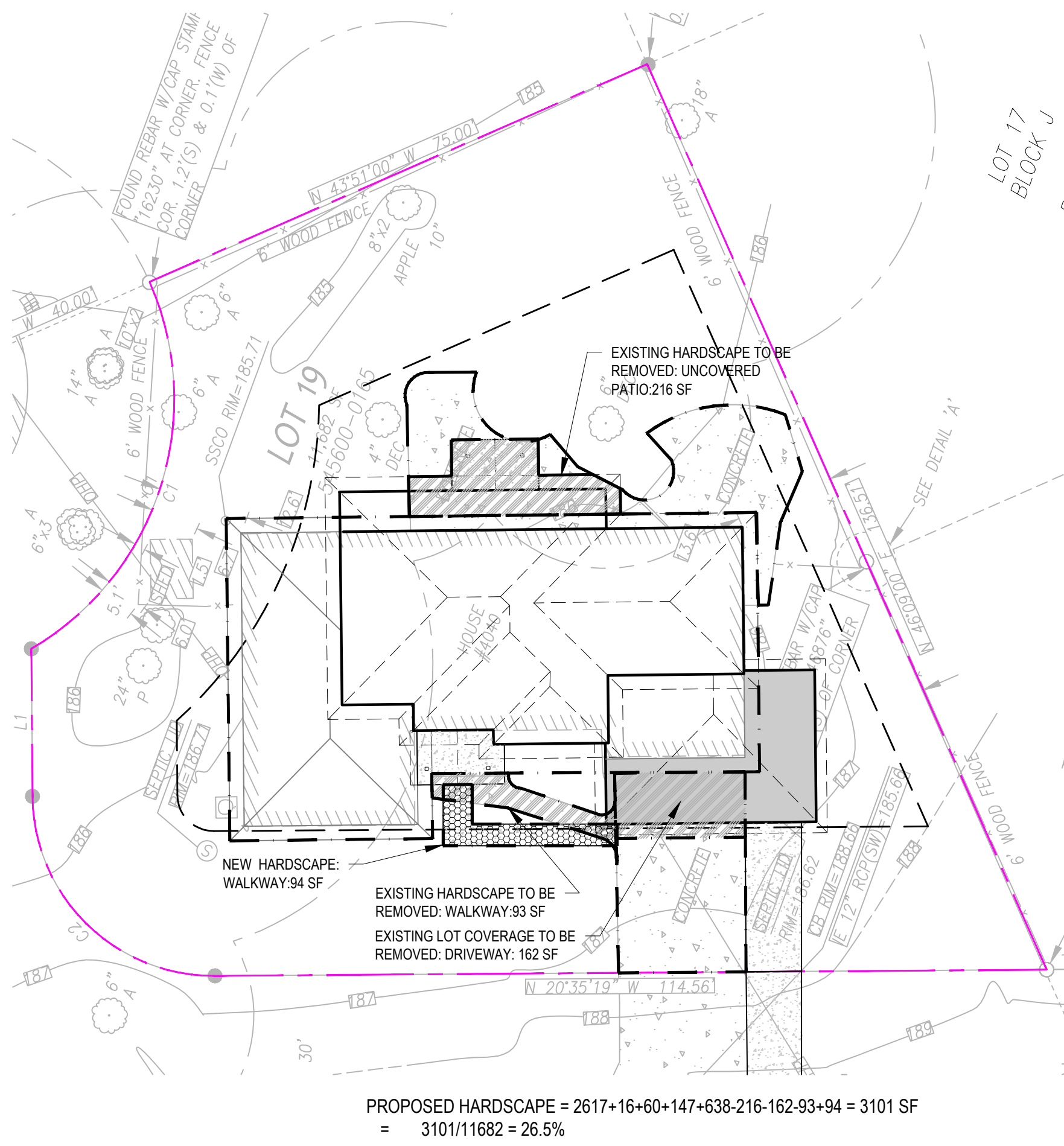
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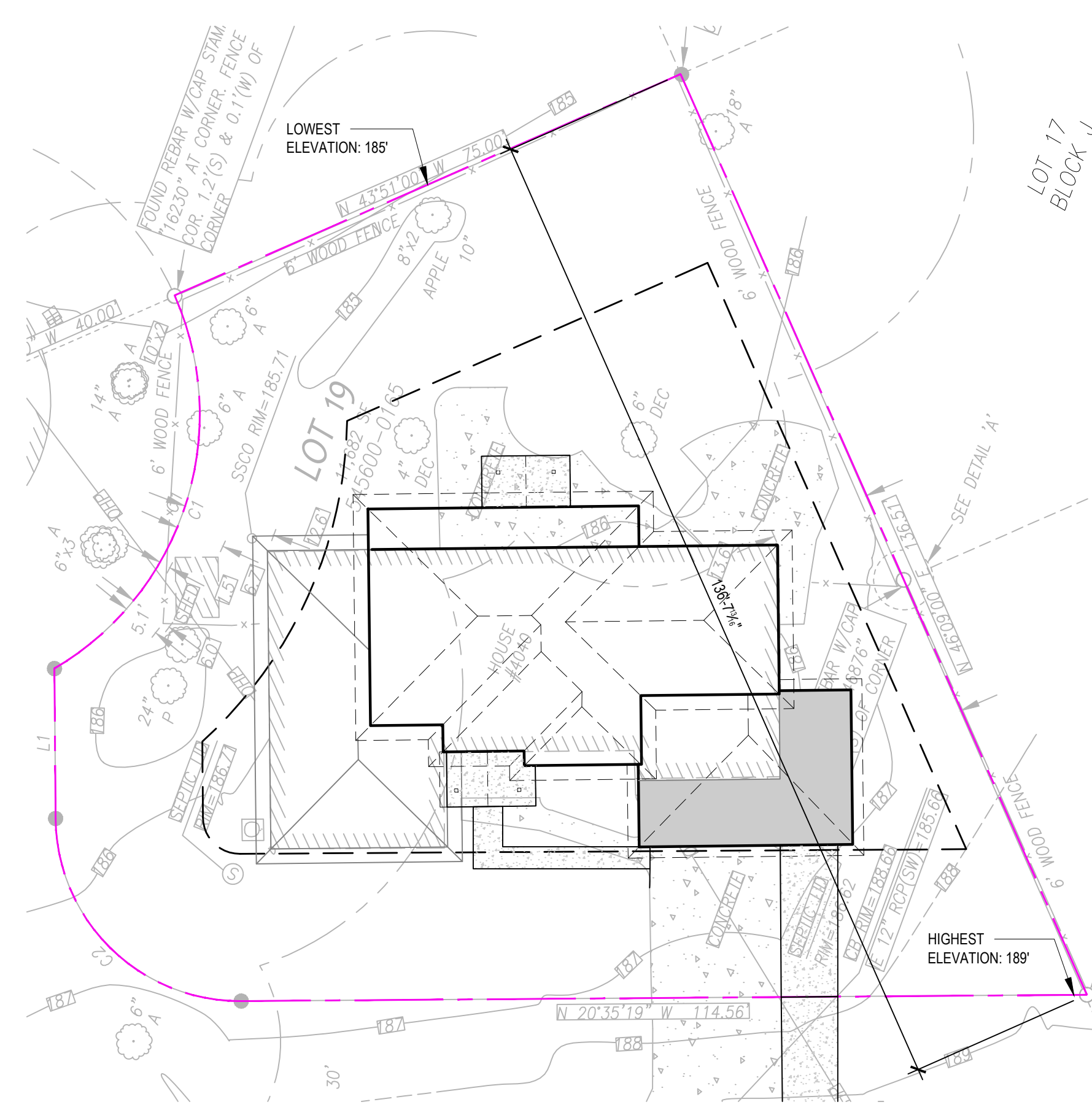
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SHEET NUMBER
 A1.0

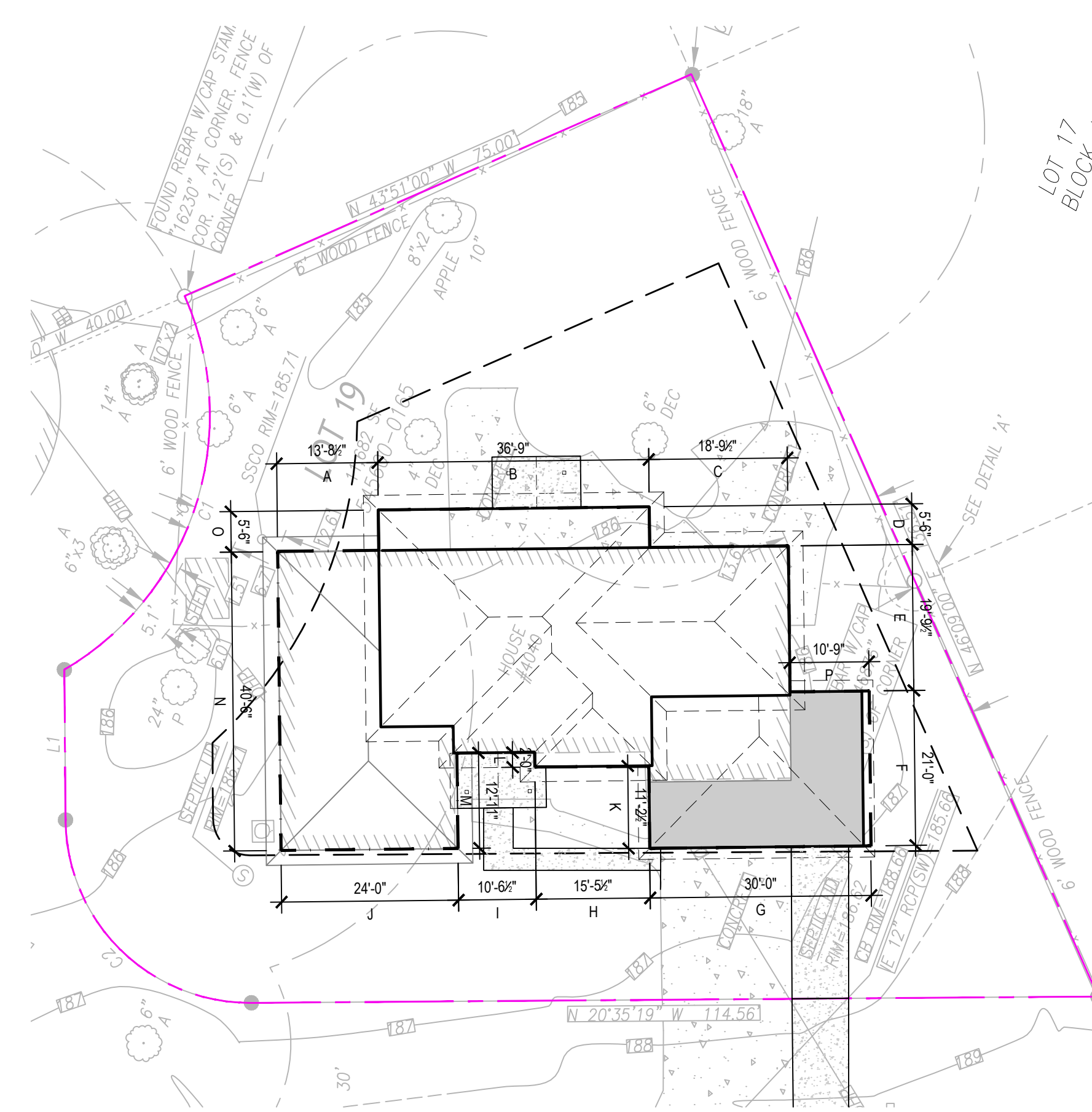
SITE PLAN



PROPOSED HARDSCAPE = 2617+16+60+147+638-216-162-93+94 = 3101 SF
 = 3101/11682 = 26.5%



LOT SLOPE = ELEVATION DIFFERENCE / HORIZONTAL DISTANCE
 = (189-185) / 135.5
 = 3%



AVERAGE GRADE = 186.3'

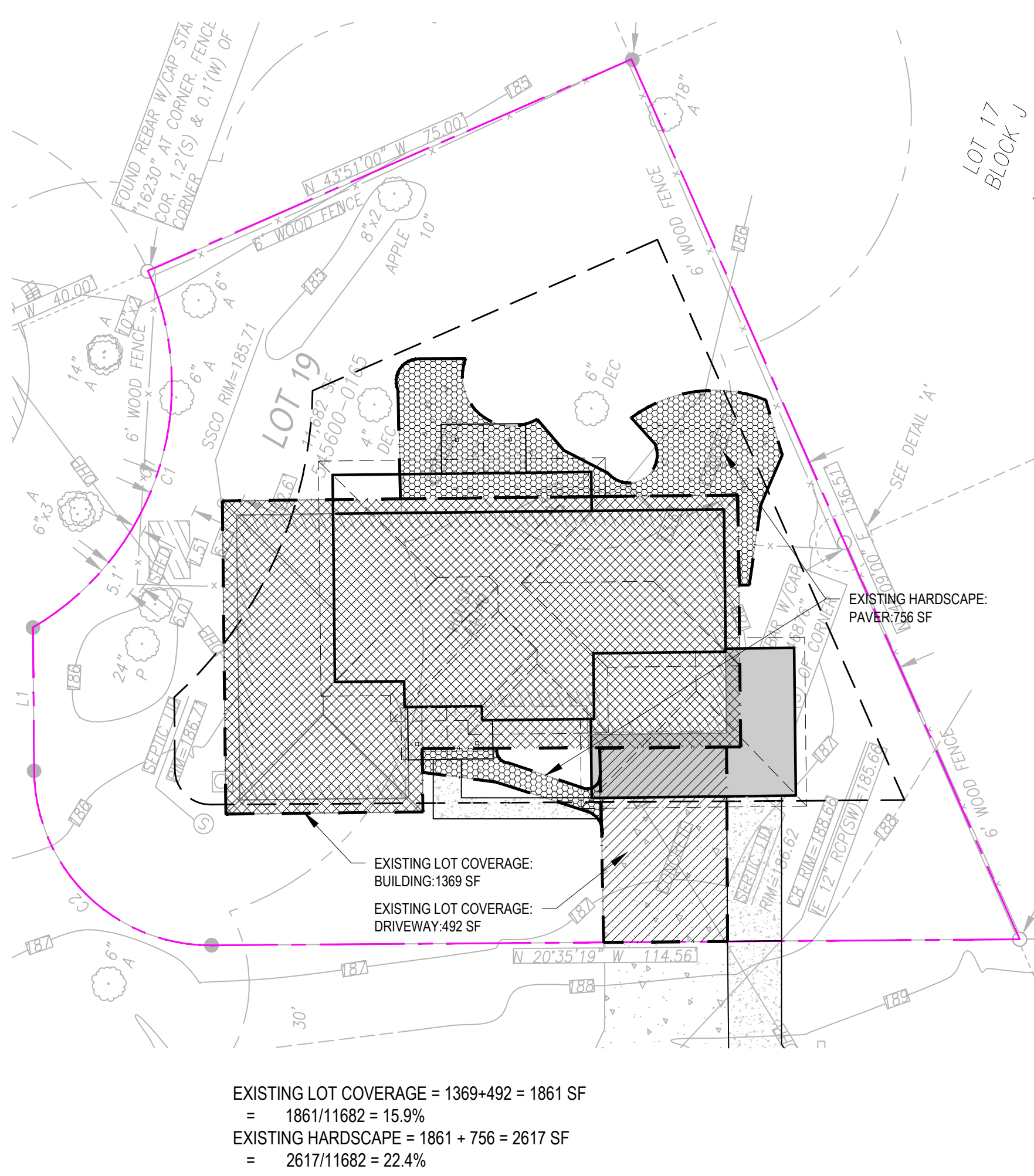
AVERAGE GRADE CALC				
MID POINT	ELEVATION	WALL SEGMENT	LENGTH	A*a=
A	185.5	a	13.7	2541.35
B	185.5	b	36.7	6807.85
C	186.2	c	18.8	3500.56
D	186	d	5.5	1023
E	186.5	e	19.8	3692.7
F	187	f	21	3927
G	186.8	g	30	5604
H	186.8	h	15.5	2895.4
I	186.3	i	10.5	1956.15
J	186.3	j	24	4471.2
K	186.8	k	11.2	2092.16
L	186.8	l	2	373.6
M	186.8	m	12.9	2409.72
N	186	n	40.5	7533
O	185.5	o	5.5	1020.25
P	186.5	p	10.7	1995.55
			278.3	51843.49
AVERAGE GRADE			=	186.3

GROSS FLOOR AREA	
UPPER LEVEL ADDITION	1502
DOUBLE HEIGHT SPACE	90
MAIN FLOOR ADDITION	202
MAIN FLOOR EXIST	1925
GARAGE ADDITION	378
GARAGE EXIST	376
TOTAL	4473
LOT AREA	11682
FAR ALLOWED	0.4
MAX ALLOWED	4672.8

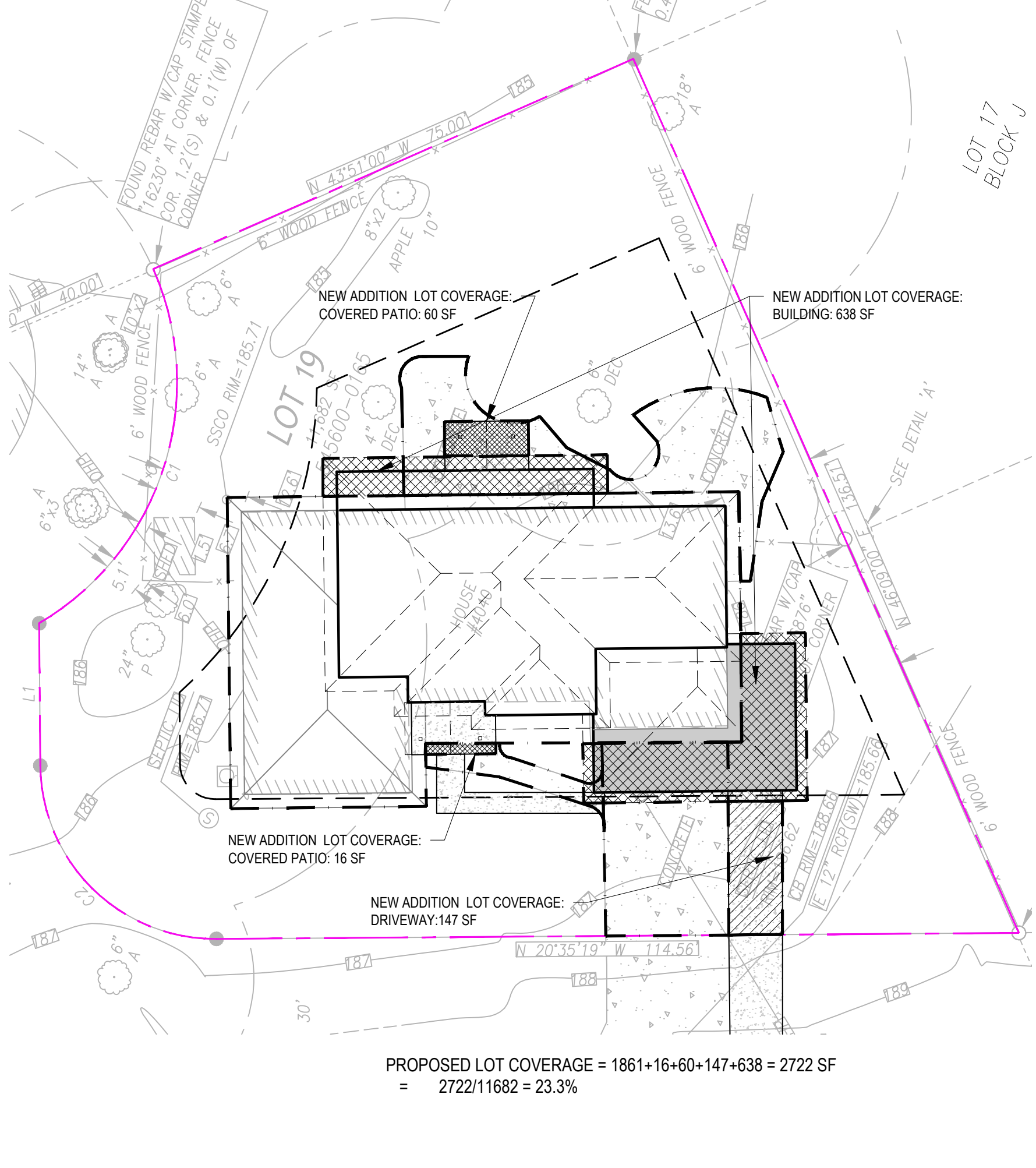
1 HARD SURFACE DIAGRAM
 1/16" = 1'-0"

1 SITE SLOPE DIAGRAM
 1/16" = 1'-0"

1 AVERAGE HEIGHT DIAGRAM
 1/16" = 1'-0"



EXISTING LOT COVERAGE = 1369+492 = 1861 SF
 = 1861/11682 = 15.9%
 EXISTING HARDSCAPE = 1861 + 756 = 2617 SF
 = 2617/11682 = 22.4%

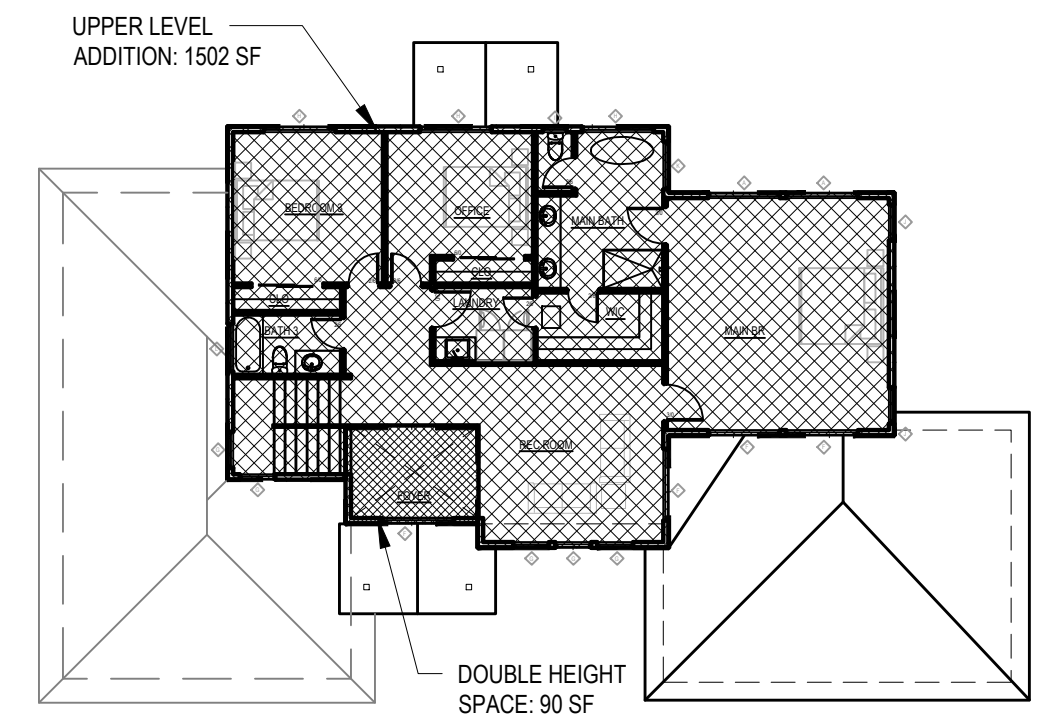
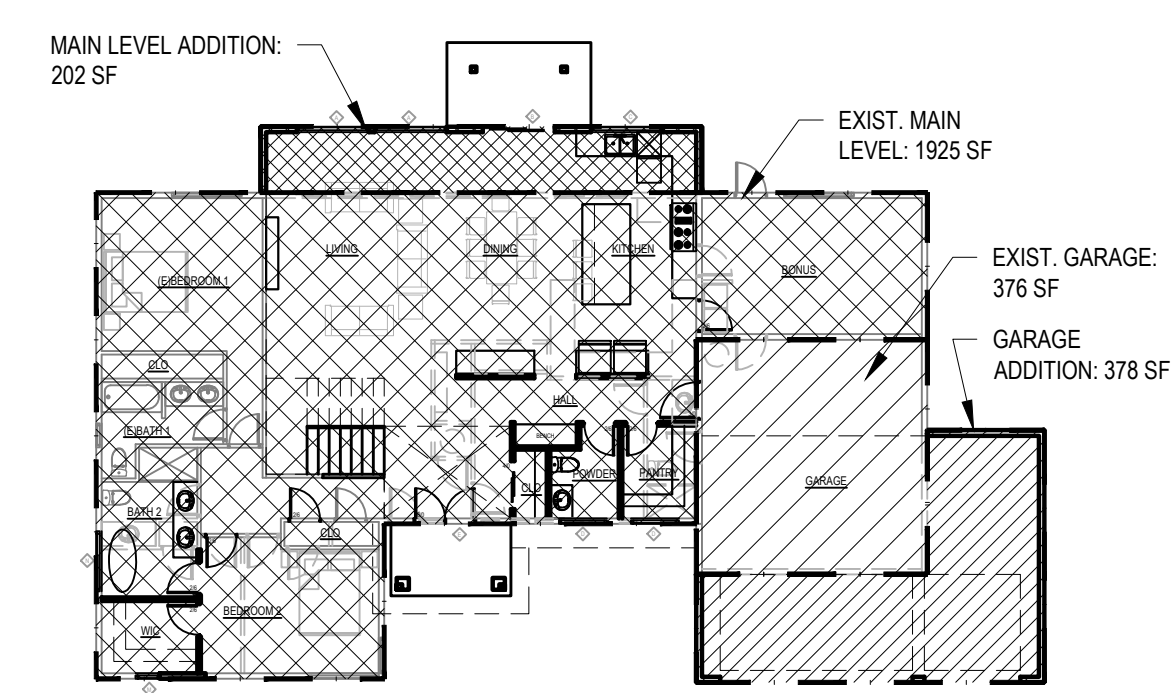


PROPOSED LOT COVERAGE = 1861+16+60+147+638 = 2722 SF
 = 2722/11682 = 23.3%

1 EXIST. LOT COVERAGE DIAGRAM
 1/16" = 1'-0"

1 PROPOSED LOT COVERAGE DIAGRAM
 1/16" = 1'-0"

1 FAR DIAGRAM
 1/16" = 1'-0"



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LANDUSE DIAGRAM

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A1.1

PLAN NOTES:

PROVIDE COMBINED SMOKE/CO DETECTOR OUTSIDE EACH SLEEPING ROOM & ON EACH LEVEL - 110V W/ BATTERY BACKUP.

PROVIDE SMOKE DETECTOR @ EACH SLEEPING ROOM - 110V W/ BATTERY BACKUP.

ALL EXTERIOR DOORS TO BE EQUIPPED WITH DEAD BOLT OR DEAD LATCH WITH MIN. 1/2" THROW. ALL WINDOWS WITHIN 10' OF GRADE TO BE CAPABLE OF LOCKING. ALL DOORS MUST BE OPERABLE FROM INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT. LEVER ACTION HANDLES ALL DOORS.

ALL TILE SHOWER/BATH WALLS TO BE SHEATHED W/ FULL HEIGHT (72" MIN.) 5/8" CONCRETE BACKER BOARD. ALL KITCHEN AND BATH GWB TO BE WATER RESISTANT TO CEILING.

STAIR SHALL COMPLY WITH SRC R311.7, WITH MAXIMUM RISER 7 3/4" RISER, MIN 10" TREAD. NOSING SHALL BE BETWEEN 3/4" TO 1 1/4" DEEP.

STAIR SHALL BE MINIMUM 36" WIDE CLEAR.

HANDRAIL SHALL BE MOUNTED ON AT LEAST ONE SIDE BETWEEN 34-38" ABOVE TREAD NOSING AND SHALL PROJECT NO MORE THAN 1-1/2" INTO STAIR. GRASP DIMENSION BETWEEN 1-1/4" - 2". PROVIDE CONTINUOUS HANDRAIL OR TERMINATE AT NEWEL POSTS OR SAFETY TERMINAL.

DIMENSIONS SHOWN AT DOOR AND WINDOW OPENINGS ARE ACTUAL SIZE. CONTRACTOR TO PROVIDE ROUGH OPENING AS REQUIRED.

ALL VENTS ON FACADE TO BE LOCATED MINIMUM 3'-0" FROM OPERABLE OPENINGS.

THE MINIMUM GUARDRAIL HEIGHT FOR DECKS AND STAIRS SHALL BE 36" A.F.F. (IRC R312.1.2) DESIGNED TO RESIST A 200 LB CONCENTRATED LOAD ON THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS.

IRC R312.1.3 REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER

IRC R301.5.H IF GLAZING IS USED IN HANDRAIL ASSEMBLIES IT SHALL MEET A SAFETY FACTOR OF 4.

- E DENOTES EGRESS WINDOW
- SG DENOTES SAFETY GLAZING

WHOLE HOUSE FAN VENTILATION CALCULATIONS:

WHOLE HOUSE VENTILATION SHALL BE ACCOMPLISHED USING EXHAUST SYSTEM PER M1505.4.1.2

PER IRC M1505.4.3 FOR CONTINUOUS WHOLE HOUSE FAN OPERATION:

PER TABLE M1505.4.3(1) VENTILATION AIRFLOW RATE REQUIREMENTS: UNIT CONTAINS 5+ BEDROOMS & FLOOR AREA 3,501-4,000 SF = 85 CFM

M1505.4.3.1 VENTILATION QUALITY ADJUSTMENT SYSTEM COEFFICIENT PER TABLE M1505.4.3(2); SYSTEM TYPE IS NOT DISTRIBUTED & NOT BALANCED = 1.5

ADJUSTED AIRFLOW RATE 85 X 1.5 = 127.5 CFM

FOR SYSTEMS DESIGNED TO OPERATE AT LEAST TWO HOURS IN EACH 4-HOUR SEGMENT, VENTILATION RATE FACTOR OF 2, IRC M1505.4.3.2, AND TABLE M1505.4.3(3)

TOTAL AIR FLOW RATE: 5+ BEDROOMS - 127.5 X 2 = 255 CFM REQUIRED

TOTAL REQUIRED AIRFLOW RATE = 127.5 (OR 255) CFM

MIN. LOCAL EXHAUST RATES PER TABLE M1505.4.4(1): KITCHEN FANS: 100 CFM INTERMITTENT / 30 CFM CONTINUOUS BATHROOM / TOILET ROOMS: 50 CFM INTERMITTENT / 20 CFM CONTINUOUS

L1 BATH1 EXHAUST FAN = 50 CFM MIN.
L1 BATH2 EXHAUST FAN = 50 CFM MIN.
L1 POWDER ROOM EXHAUST FAN = 50 CFM MIN.
L1 KITCHEN EXHAUST FAN = 100 CFM MIN.

L2 LAUNDRY EXHAUST FAN = 50 CFM MIN.
L2 BATH3 EXHAUST FAN = 50 CFM MIN.
L2 MASTER BATHROOM EXHAUST FAN = 50 CFM MIN.
L2 MASTER TOILET ROOM EXHAUST FAN = 50 CFM MIN.

TOTAL PROVIDED = 450 CFM

PER SRC (OR IRC) M1505.4 - EACH DWELLING UNIT SHALL BE EQUIPPED WITH A VENTILATION SYSTEM. THE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH M1505.4.1 THROUGH M1505.4.4.

WHOLE HOUSE VENTILATION SYSTEMS SHALL BE CONFIGURED TO OPERATE CONTINUOUSLY EXCEPT WHERE INTERMITTENT OFF CONTROLS AND SIZING ARE PROVIDED PER SECTION M1505.4.3.2.

WHOLE HOUSE VENTILATION FANS SHALL BE RATED FOR SOUND AT NO LESS THAN THE MIN. AIRFLOW RATE PER SECTION M1505.4.3.1 AT A MAXIMUM OF 1.0 SONE. REMOTE MOUNTED FANS ARE EXEMPT FROM SOUND REQUIREMENTS IF 1) MOUNTED OUTSIDE THE HABITABLE SPACES, BATHROOMS, TOILETS, AND HALLWAYS; 2) THERE MUST BE AT LEAST 4 FEET OF DUCTWORK BETWEEN THE FAN AND THE INTAKE GRILLE. (M1505.4.1.1)

DUCTS OUTSIDE THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-8 - WSEC (OR SEC) R403.3.1

DUCTS ARE TO BE LEAK TESTED IN ACCORDANCE WITH WSEC (OR SEC) R403.3.3 AND WSU RS-33. DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION

M1505.4.1.7 CERTIFICATE. A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE MECHANICAL CONTRACTOR, TEST AND BALANCE CONTRACTOR OR OTHER APPROVED PARTY AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM, OR AN APPROVED LOCATION INSIDE THE BUILDING. WHEN LOCATED ON AN ELECTRICAL PANEL, THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL, OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE FLOW RATE DETERMINED FROM THE DELIVERED AIRFLOW OF THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AS INSTALLED AND THE TYPE OF MECHANICAL WHOLE HOUSE VENTILATION SYSTEM USED TO COMPLY WITH SECTION M1505.4.3.1.

WSEC R401.3 PROVIDE A PERMANENT CERTIFICATE COMPLETED & LOCATED WITHIN 3FT. OF THE ELEC. DISTRIBUTION PANEL TO BE DONE BY CONTRACTOR. DO NOT OBSTRUCT VISIBILITY OF DIRECTORY OR ANY LABELS. LIST ALL R/U-VALUES OF THERMAL BUILDING ENVELOPE, INCLUDING DOORS & WINDOWS, AS WELL AS HEATING SYSTEM AND EFFICIENCIES.

WSEC R402.4 ALL UNITS SHALL BE TESTED & VERIFIED FOR AIR LEAKAGE OF NO MORE THAN 5.0 AIR CHANGES PER HOUR BY A BLOWER DOOR TEST AT 0.2 IN. W.G. A REPORT SHALL BE PROVIDED TO THE CODE OFFICIAL. TESTING TO BE DONE BY THIRD PARTY IF REQUIRED BY CODE OFFICIAL.

WSEC R404.1 A MIN OF 90% OF PERMANENT LAMPS IN FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.

WSEC R403.1 AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM

WSEC R403.4.2 HOT WATER PIPES ARE REQUIRED TO BE INSULATED OF R-4

SREC TABLE 402.1.1 - ALL WINDOW AND DOOR HEADERS TO BE INSULATED WITH A MINIMUM OF R-10 INSULATION

8 ENERGY CREENERGY REQUIREMENTS (PERSPECTIVE):
EDITS AS SELECTED AND LISTED BELOW:

4. PRIMARY HEATING SOURCE: 3.0 CREDIT FOR HEATING SYSTEM USING A HEAT PUMP THAT MEETS FEDERAL STANDARDS FOR THE EQUIPMENT LISTED IN TABLE C403.3.2(2) OR C403.3.2(9) OR AIR TO WATER HEAT PUMP UNITS THAT ARE CONFIGURED TO PROVIDE BOTH HEATING AND COOLING AND ARE RATED IN ACCORDANCE WITH AHRI 550/590

1.2 EFFICIENT BUILDING ENVELOPE: 1.0 CREDIT PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.3 WITH THE FOLLOWING MODIFICATIONS: VERTICAL FENESTRATION U = 0.25 FLOOR-R-38 SLAB ON GRADE R-10 PERIMETER AND UNDER ENTIRE SLAB BELOW GRADE SLAB R-10 PERIMETER AND UNDER ENTIRE SLAB

3.6 HIGH EFFICIENCY HVAC EQUIPMENT: 1.0 CREDIT AIR-SOURCE, CENTRALLY DUCTED HEAT PUMP WITH MINIMUM HSPF 2 OF 9.4 (HSPF OF 11.0). A CENTRALLY DUCTED AIR SOURCE COLD CLIMATE VARIABLE CAPACITY HEAT PUMP (CC VCHP) FOUND ON THE NEEP CC VCHP QUALIFIED PRODUCT LIST WITH A MINIMUM OF 9 HSPF 2 (10 HSPF) MAY BE USED TO SATISFY THIS REQUIREMENT.

5.7 EFFICIENT WATER HEATING: 2.5 CREDIT WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING: ELECTRIC HEAT PUMP WATER HEATER WITH A MINIMUM UEF OF 2.9 AND UTILIZING A SPLIT SYSTEM CONFIGURATION WITH THE AIR-TO-REFRIGERANT HEAT EXCHANGER LOCATED OUTDOORS. EQUIPMENT SHALL MEET SECTION 4, REQUIREMENTS FOR ALL UNITS, OF THE NEEA STANDARD ADVANCED WATER HEATING SPECIFICATION WITH THE UEF NOTED ABOVE

7.1 APPLIANCE PACKAGE OPTION: 0.5 CREDIT ALL OF THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL MEET THE FOLLOWING STANDARDS:

1. DISHWASHER, STANDARD - ENERGY STAR RATED, MOST EFFICIENT 2021 OR DISHWASHER, COMPACT - ENERGY STAR RATED (VERSION 6.0)
2. REFRIGERATOR (IF PROVIDED) - ENERGY STAR RATED (VERSION 5.1)
3. WASHING MACHINE (RESIDENTIAL) - ENERGY STAR RATED (VERSION 8.1)
4. DRYER - ENERGY STAR RATED, MOST EFFICIENT 2022

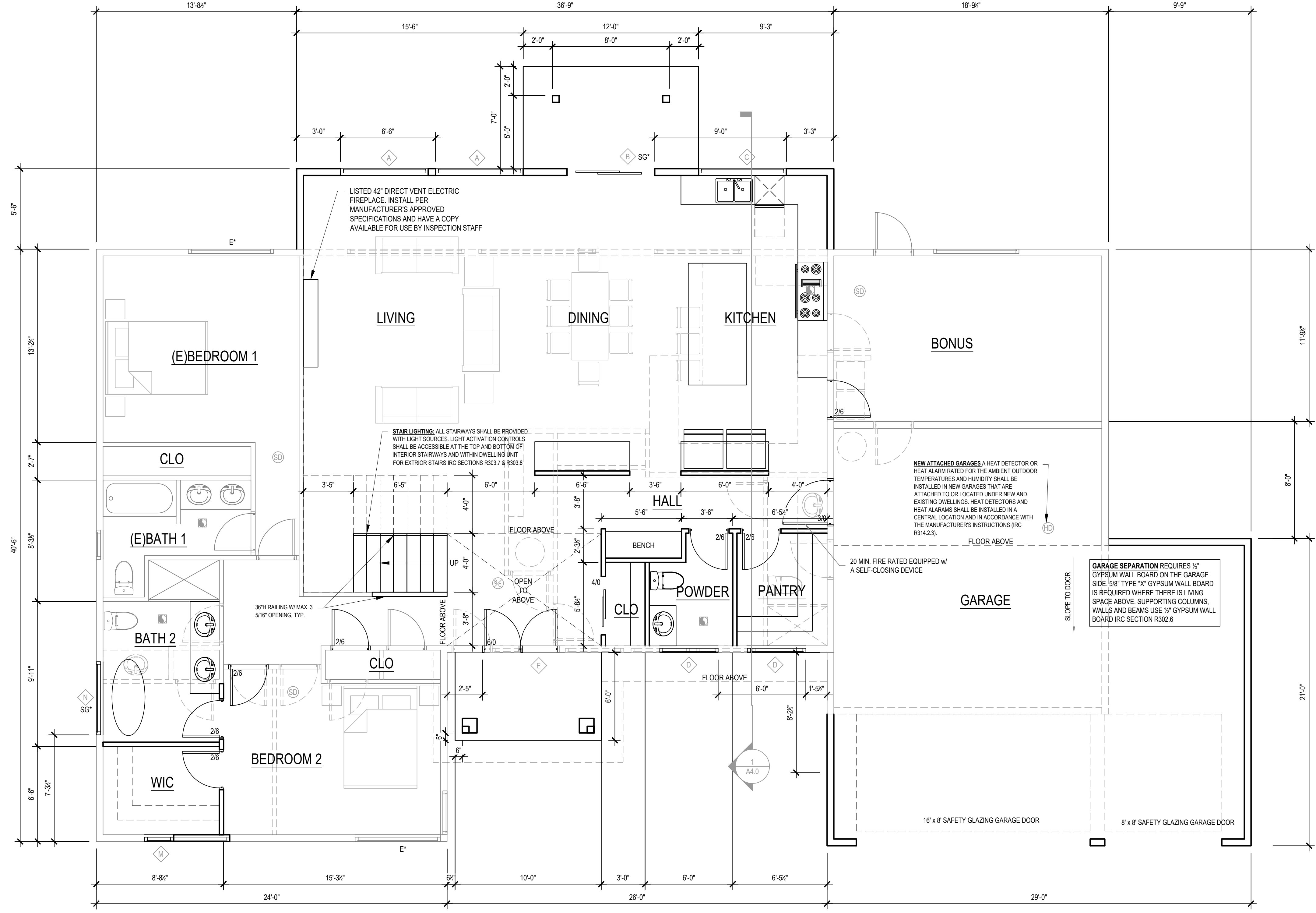
WHOLE HOUSE VENTILATION SYSTEM CONTROLS:
THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE. CONTROLS SHALL INCLUDE TEXT OR A SYMBOL INDICATING THEIR FUNCTION. IRC M1505.4.2

FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - 1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - 1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.

SYMBOL

- EXHAUST VENT
- SMOKE DETECTOR
- SMOKE/CO1 ALARM
- NEW WALL
- EXIST WALL
- DEMO WALL



1 MAIN FLOOR PLAN
1/4" = 1'-0"
N

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MAIN FLOOR PLAN

SHEET NUMBER
A2.0

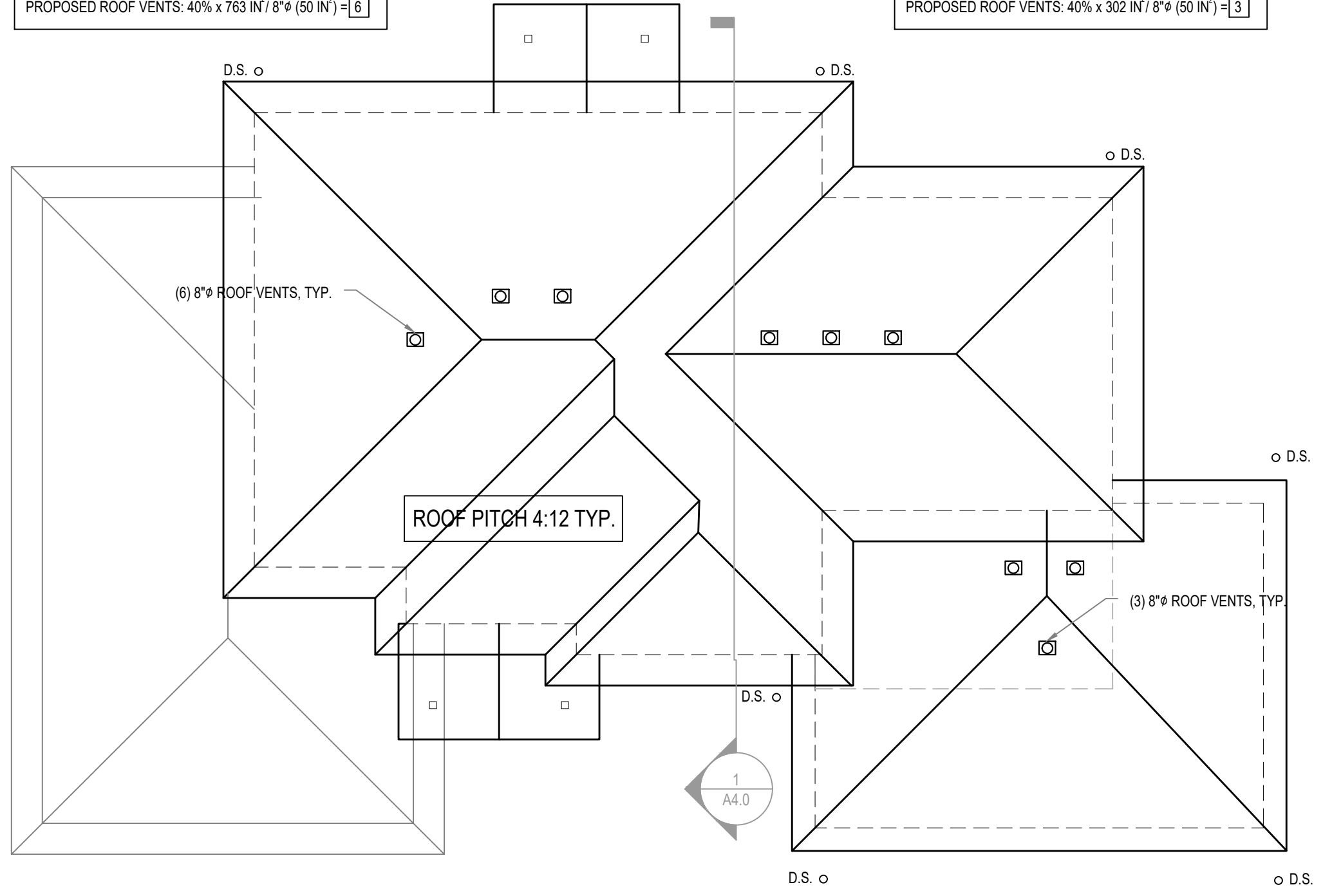
ROOF VENTILATION
 ATTIC AREA = 1592 S.F.
 REQUIRED VENTILATION = 1592 / 300 = 5.30 S.F. (763 IN²)
 PROPOSED EA VE VENT ((3) #1-3/4" HOLES ON EA. EA VE BLOCKING); 3.6 IN² / L.F. x 181" = 652 IN² (SEE SHEET A5 FOR EA VE BLOCKING)
 PROPOSED ROOF VENTS: 40% x 783 IN² / 8" = 50 IN² = [5]

LOWER ROOF VENTILATION
 ATTIC AREA = 630 S.F.
 REQUIRED VENTILATION = 630 / 300 = 2.10 S.F. (302 IN²)
 PROPOSED EA VE VENT ((3) #1-3/4" HOLES ON EA. EA VE BLOCKING); 3.6 IN² / L.F. x 73" = 263 IN² (SEE SHEET A5 FOR EA VE BLOCKING)
 PROPOSED ROOF VENTS: 40% x 302 IN² / 8" = 50 IN² = [3]

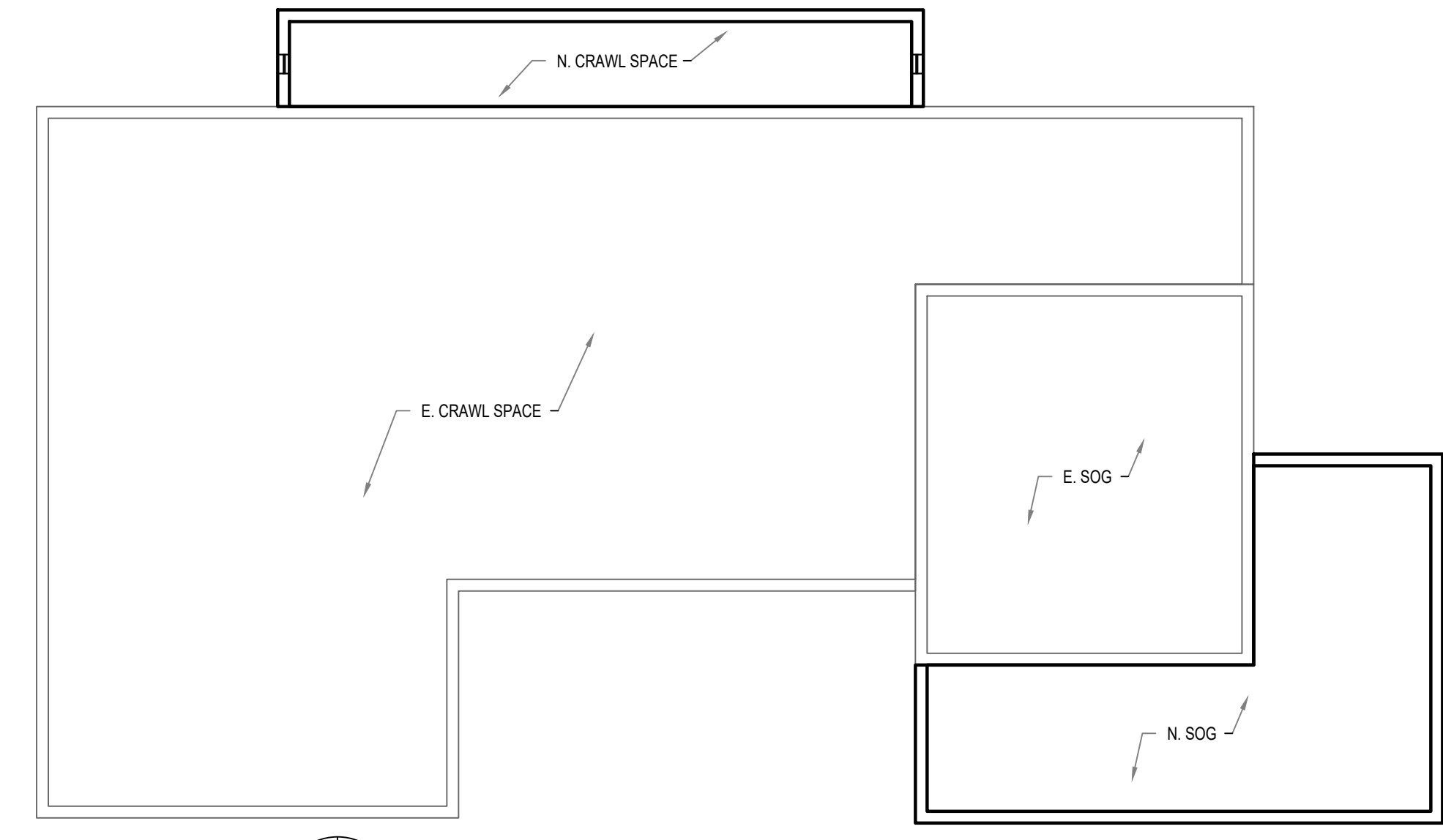
CRAWL SPACE VENTILATION
 TYPICAL SCREENED 14" x 8" C.S. VENT - MIN. W/ .58 SQ. FT. OF NET FREE AREA EACH
 CRAWL SPACE = 202 S.F.
 --> 202 / 150 = 1.34
 --> 1.34 / 0.58 = 2 VENTS REQUIRED
 NOTE: LOCATE VENTS BETWEEN JOISTS AND AVOID CONFLICT W/ HOLDOWNS

SYMBOL

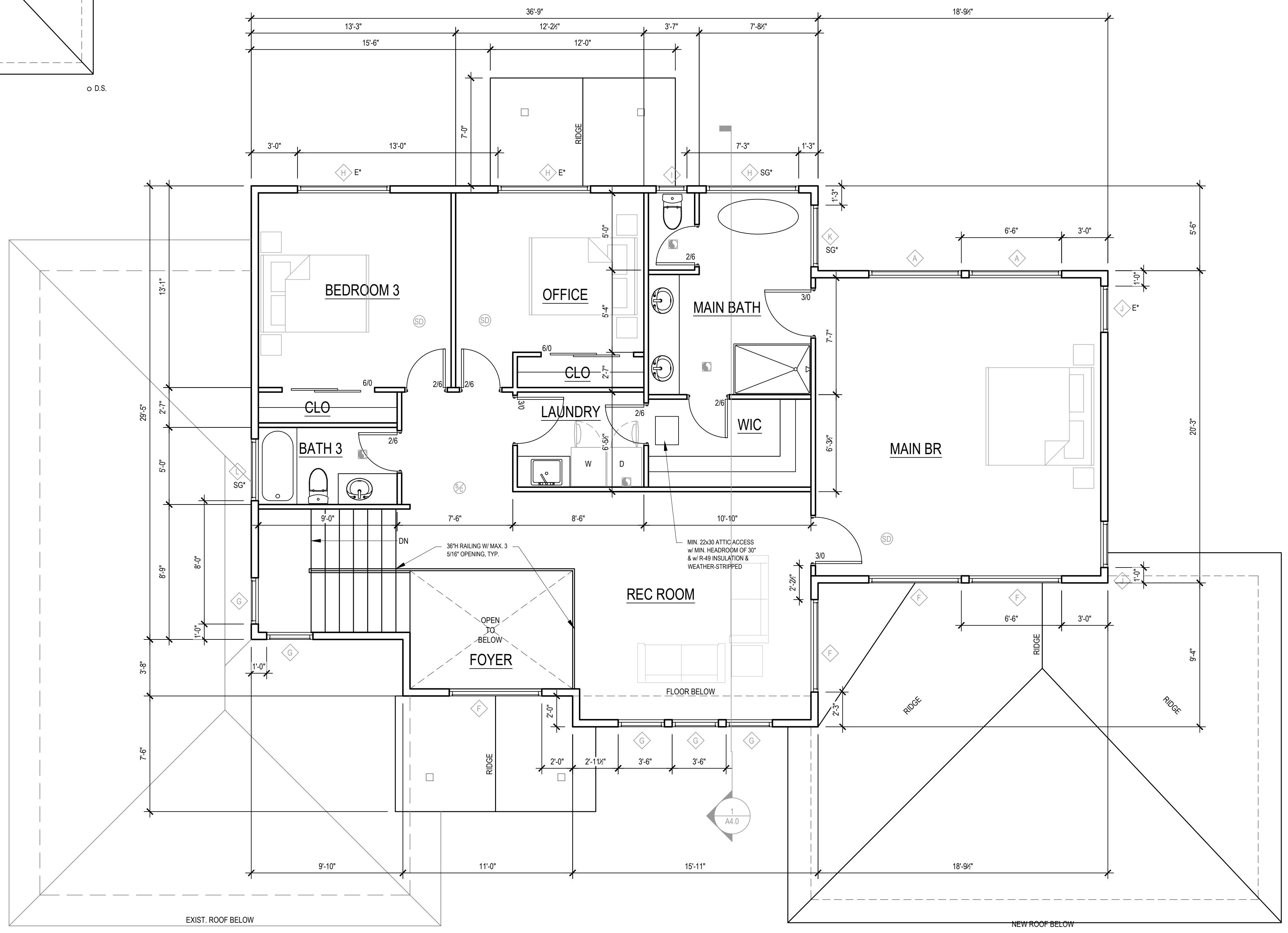
- EXHAUST VENT
- SMOKE DETECTOR
- SMOKE/CO1 ALARM
- NEW WALL
- EXIST WALL
- DEMO WALL



2 CRAWL SPACE PLAN
 1/8" = 1'-0"



2 ROOF PLAN
 1/8" = 1'-0"



1 UPPER FLOOR PLAN
 1/4" = 1'-0"

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UPPER FLOOR PLAN
 ROOF PLAN
 CRAWL SPACE PLAN

SHEET NUMBER

A2.1

- EXTERIOR FINISH SCHEDULE
1. FACSA
 2. COMPOSITE ROOFING
 3. FIBER CEMENT SIDING
 4. VINYL WINDOW
 5. STONE VENEER
 6. CONCRETE
 7. EXISTING STRUCTURE



1 WEST ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

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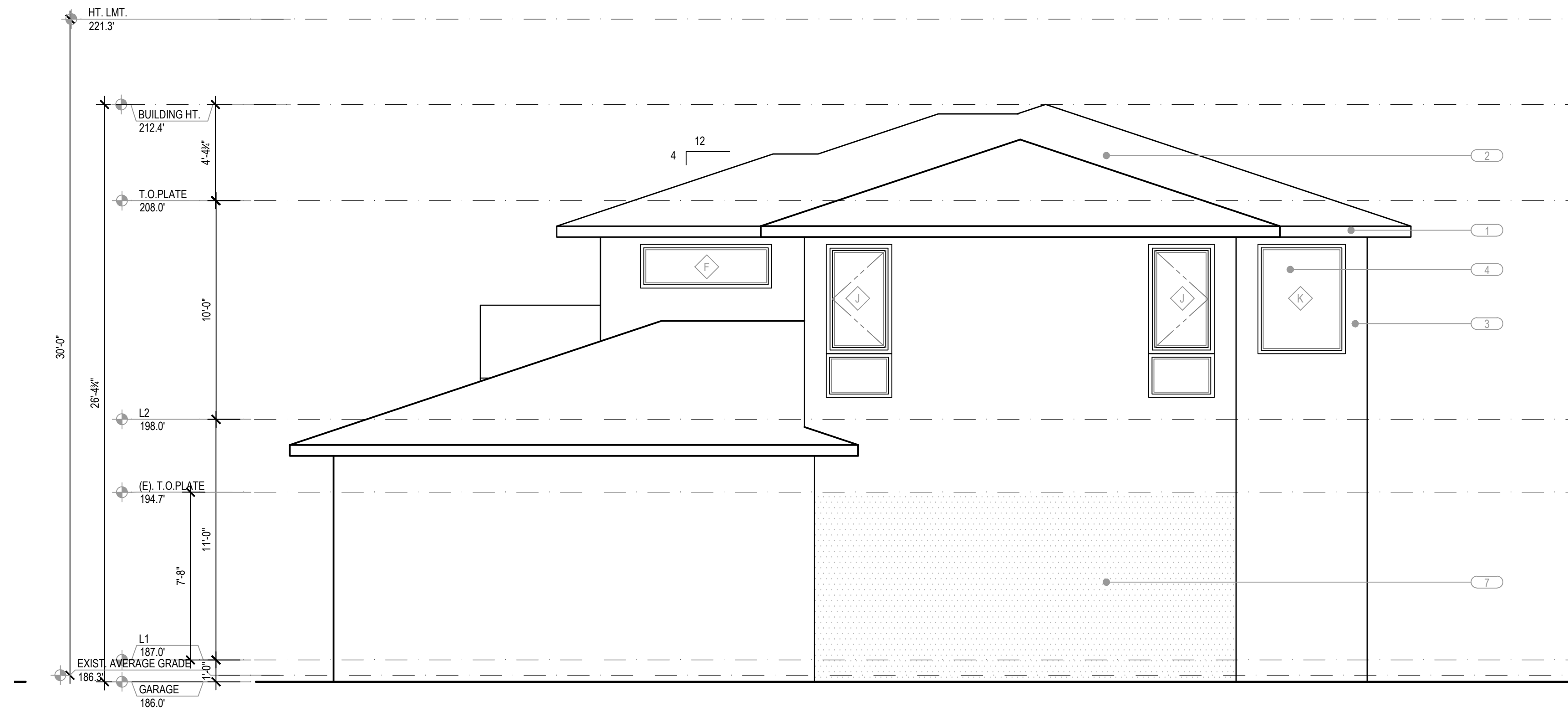
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ELEVATIONS

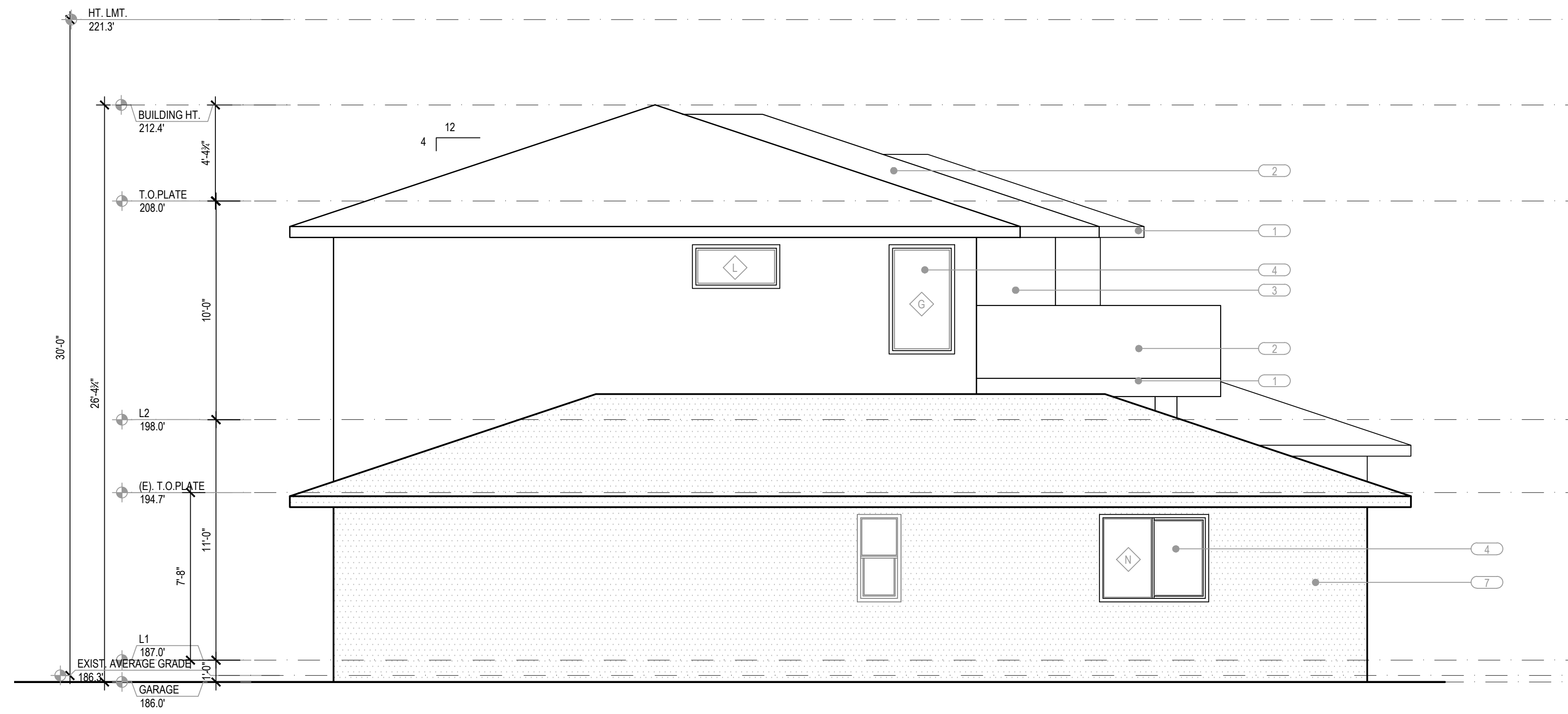
SHEET NUMBER

A3.0



- EXTERIOR FINISH SCHEDULE
- 1, FACIA
 - 2, COMPOSITE ROOFING
 - 3, FIBER CEMENT SIDING
 - 4, VINYL WINDOW
 - 5, STONE VENEER
 - 6, CONCRETE
 - 7, EXISTING STRUCTURE

1 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

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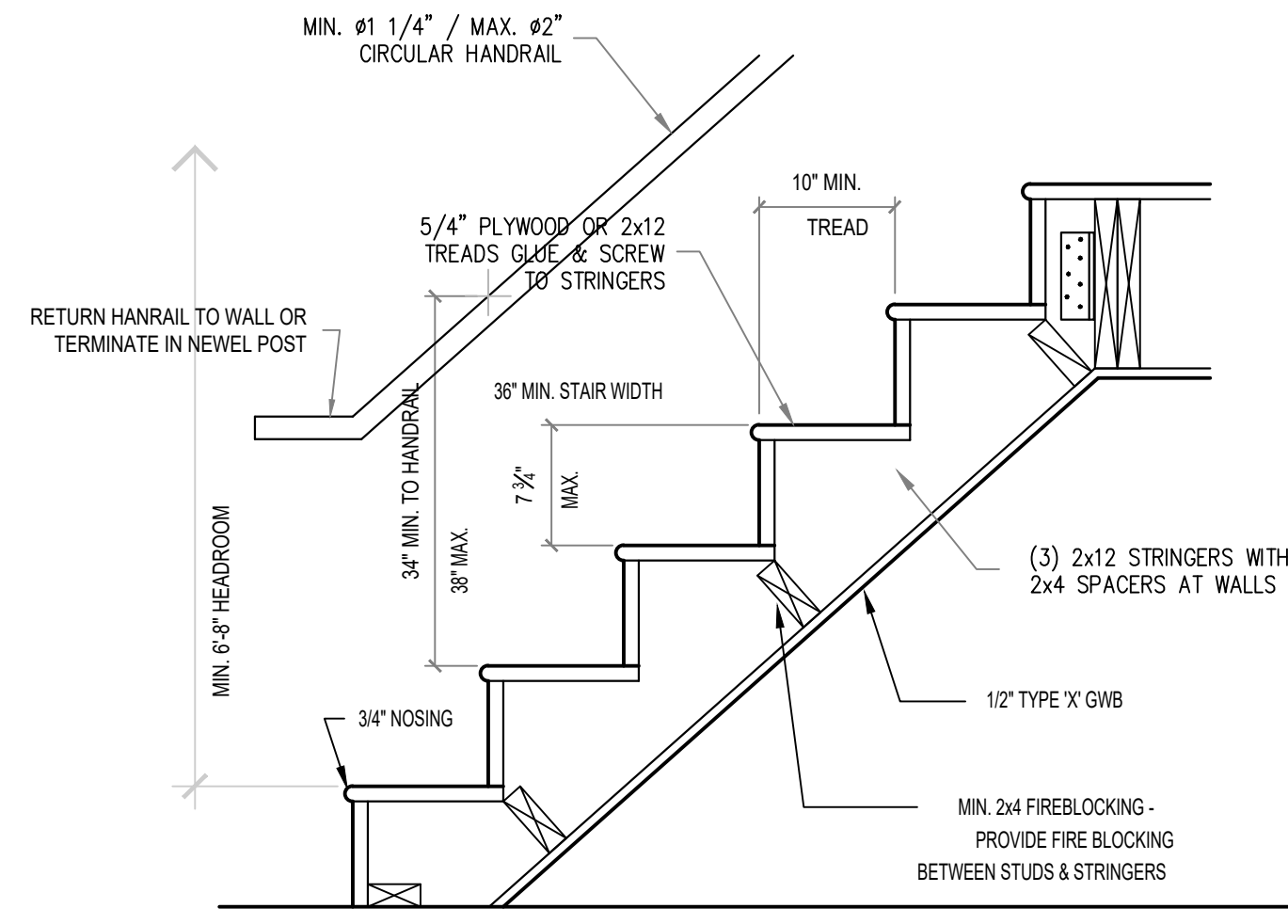
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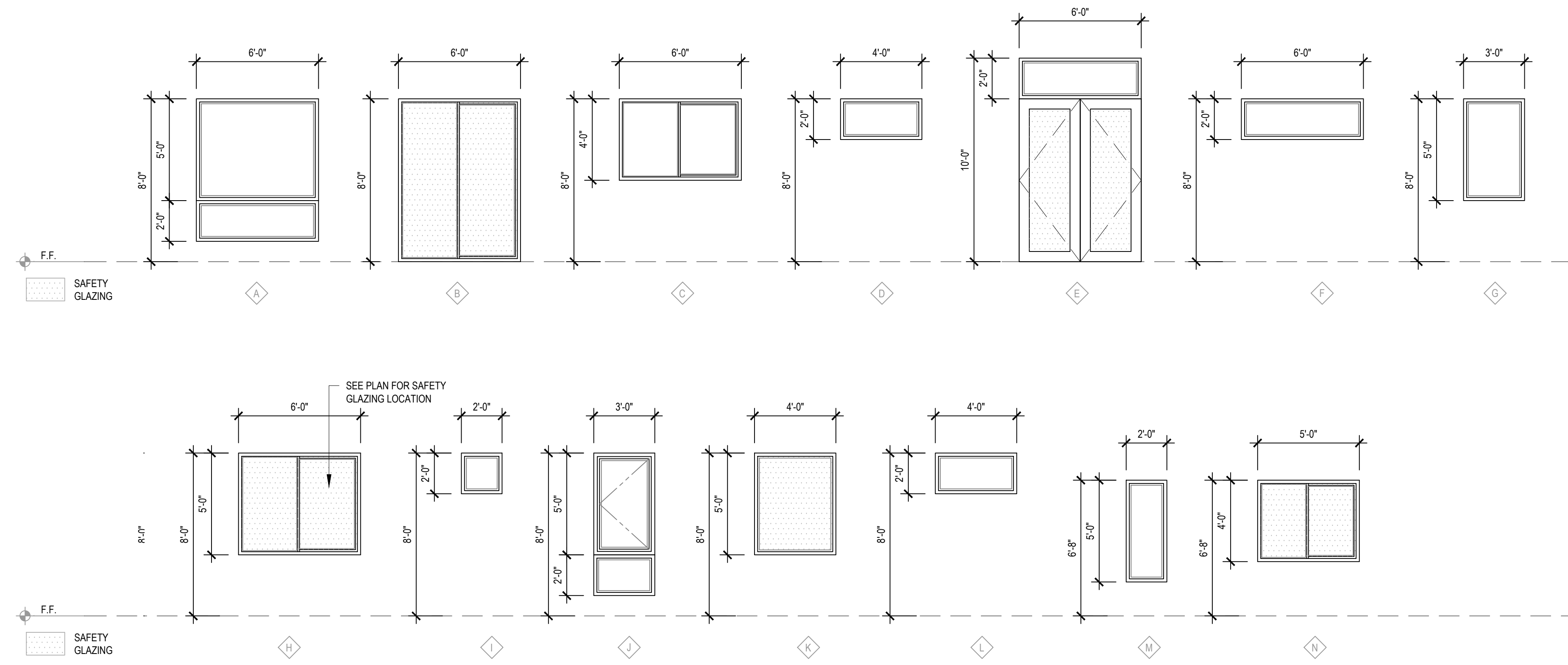
ELEVATIONS

SHEET NUMBER

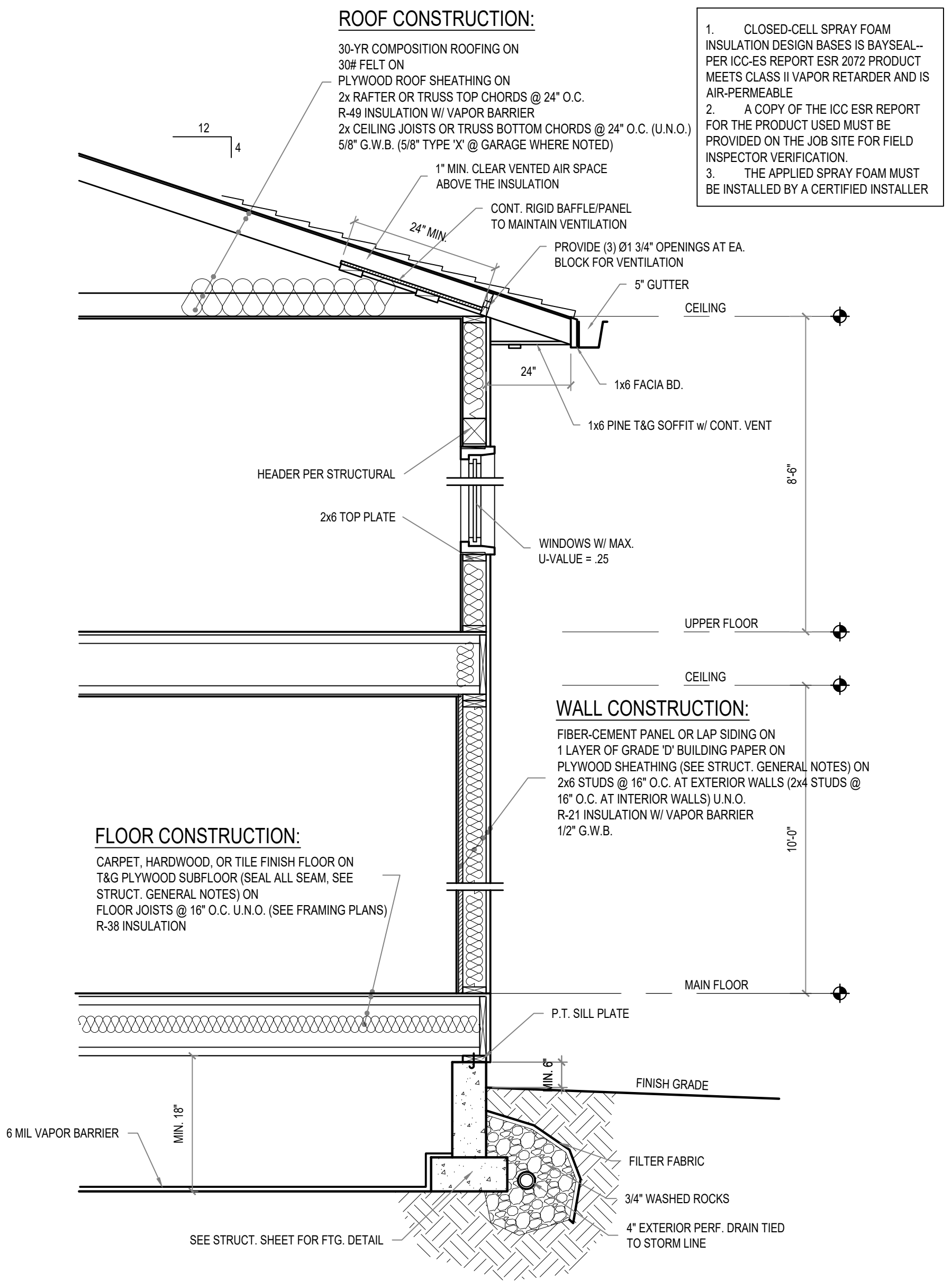
A3.1



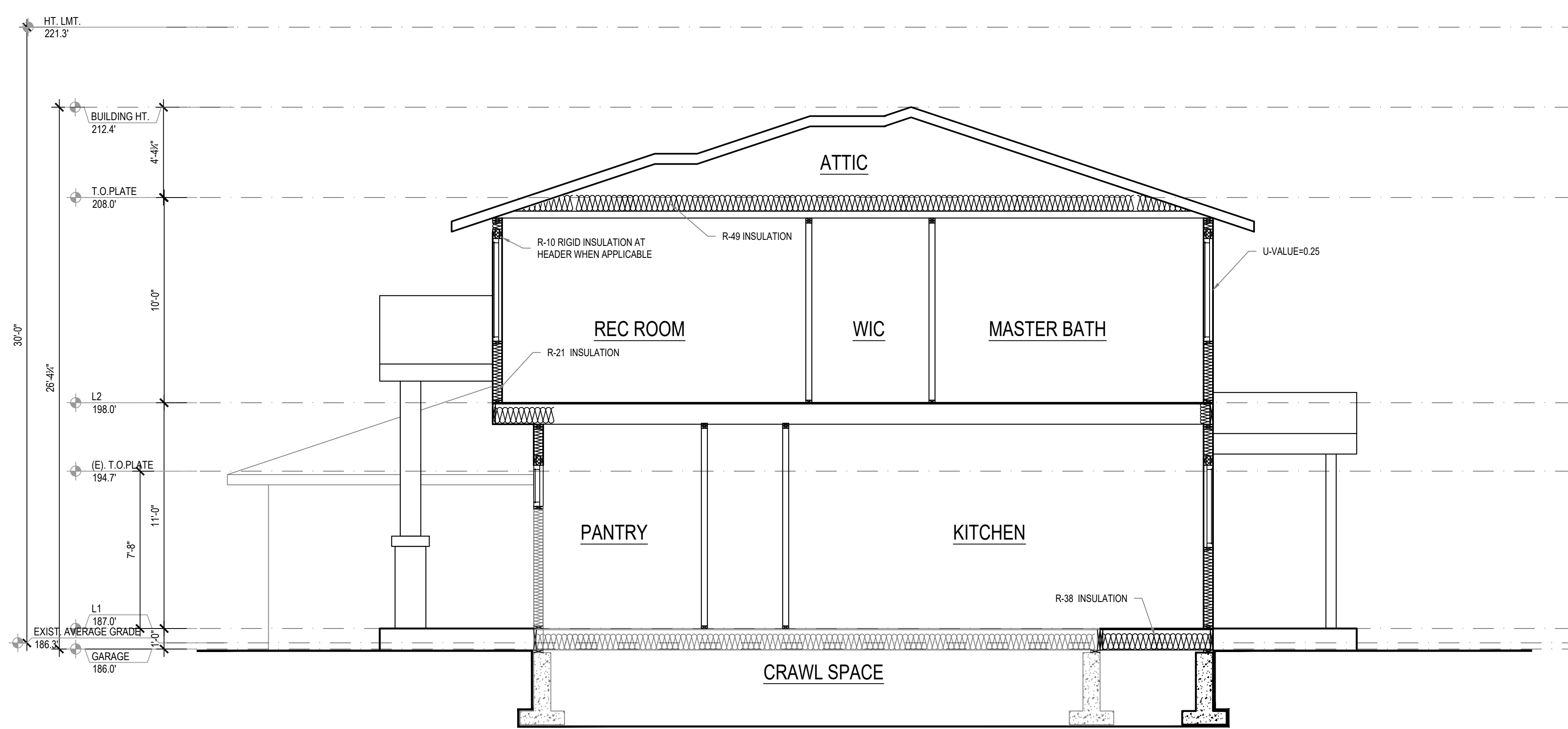
4 TYP. STAIR DETAIL
 1" = 1'-0"



2 WINDOW TYPES
 1/4" = 1'-0"



3 TYP. WALL SECTION
 1/2" = 1'-0"



1 SECTION
 1/4" = 1'-0"

4040 ADDITION
 4040 97TH AVE SE
 MERCER ISLAND WA 98040

MJZ DESIGN
 425.922.5926
 mjz.design.wa@gmail.com

NO.	DATE	DESCRIPTION OF REVISIONS
	06/10/2024	PERMIT SET

ELEVATIONS
 SECTION
 DETAILS

SHEET NUMBER

A4.0